



CITY OF FISHERS AGENDA

BOARD/COMMISSION: Board of Zoning Appeals – Fishers Meeting

DATE: 12/20/2023, at 6:00 PM

DIRECTIONS: Launch Fishers Theater - 12175 Visionary Way, , Fishers, IN 46038

In accordance with the Americans with Disabilities Act (ADA), the City of Fishers will, upon request, provide appropriate aid (i.e. interpreters) and/or assistance leading to effective participation for people with disabilities. Anyone who requires such assistance should [email Kelly Lewark](#), Office Manager, no later than 48 hours before the scheduled event or call at (317) 595-3487.

1. Call to order / Pledge of Allegiance

2. Roll Call

3. Approval of Previous Minutes

a. 10-25-23

4. Public Hearings

a. Biggby Coffee and Other Retail Lot Size Variance – THIS ITEM IS CONTINUED FROM OCTOBER

Parcel: 13-15-12-00-00-029.001

Address: 10404 Olio Rd

Case: VA-23-30

Request: Consideration of a Development Standards Variance from Section 3.3.2.B of the City's Unified Development Ordinance (UDO) to reduce the minimum required lot area from 1 acre to 0.70 acres for a lot split for the development of a new Biggby Coffee location.

Petitioner: Logan Stevens (stevens@carsonllp.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

b. **Claudio Residence Setback Variance**

Parcel: 13-16-07-00-05-007.000

Address: 15584 Provincial Ln

Case: VA-23-31

Request: Consideration of a Development Standards Variance from Section 2:Development Standards, The Grandsubsection of The Boulders PUD to allow a side yard setback of 5 feet from 10 feet, and an aggregate setback of 36 feet from 40 feet.

Petitioner: Delaney McNichols (Delaney@nicholasdesignbuild.com)

Planner: Christy Cashin (cashinc@fishers.in.us)

c. **Ratliff Residence Development Standards Variance**

Parcel: 13-15-02-00-25-046.000Address: 13553 Haven Cove Ln

Case: VA-23-32

Request: Consideration of three Development Standards Variances from Section 3.2.3 R2 Development Standards of the city's Unified Development Ordinance (UDO) to allow lot impervious coverage of 52% from 35%, and a variance from Architectural Design Standards, Section 6.3.4B.3.d. to allow a roof pitch 4/12 from 5/12, and a variance from Architectural Design Standards, Section 6.3.4.B.4.a to allow a front load garage to be set 4' in front of the front facade plane instead of setting back 4' from the front facade plane.

Petitioner: Joe Logan (joelogan2086@gmail.com)

Planner: Christy Cashin (cashinc@fishers.in.us)

d. **Brooks Park Impervious Surface Variance**

Address: 9817 Backstretch Row, Fishers, IN 46040

Case: VA-23-33

Request: Consideration of a Development Standards Variance from the Southeast Fishers Planned Development Ordinance #100305E, as amended to increase the maximum permitted lot coverage from 35% to 45% for 13 proposed single family homes of the Brooks Park Subdivision located at 9698 Winning Ticket Court, 9697 Winning Ticket Court, 9863 Win Star Way, 9876 Backstretch Row, 9856 Backstretch Row, 9836 Backstretch Row, 9798 Backstretch Row, 9758 Backstretch Row, 9777 Backstretch Row, 9817 Backstretch Row, 9857 Backstretch Row, 9877 Backstretch Row and 9917 Backstretch Row.

Petitioner: Amanda Deardorff of Fischer Homes of Indiana
(adeardorff@fischerhomes.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

5. **New Business**

6. **Staff Communication**

7. **Board Signatures – Findings of Fact**

8. **Adjournment**

**CITY OF FISHERS
BOARD OF ZONING APPEALS
DELAWARE TWP COMMUNITY CENTER
MINUTES
October 25, 2023**

The Board of Zoning Appeals convened at 6:00 p.m.

A roll call was taken. Members present: Steve Ferrucci, Tom Grinslade, Jeffrey Silvey, and Howard Stevenson. Greg Lannan was present remotely.

Others present: Ross Hilleary, Rodney Retzner, Kay Prange, Tracy Gaynor, Bre King, Gabrielle Herin, Christy Cashin, Rosalinda Tepner, Mindy Westrick Brown, Logan Stevens, Mindy Tryon, Joe Logan

Mr. Ferrucci confirmed quorum and called the meeting to order.

Mr. Ferrucci asked for a Motion for the approval of the previous minutes. Mr. Stevenson made a Motion to approve, seconded by Mr. Silvey. The Minutes were approved, 5-0.

Public Hearings:

a. Cambridge Lot 484 Impervious Surface Second Variance

Parcel: 13-15-02-00-25-043.000

Address: 13499 Haven Cove Ln

Case: VA-23-26

Request: Consideration of a Development Standards Variance from Section 3.2.3 R2 Residential District Standards of the City's Unified Development Ordinance (UDO) to allow the lot's impervious surface coverage to be 59%.

Petitioner: Joe Logan (jlogan2086@aol.com)

Planner: Bre King, Senior Planner (kingb@fishers.in.us)

Joe Logan, representing the owner, Brian Webster, presented the request to increase the impervious surface coverage to 59% due to a new landscape architect on the project. Bre King presented the Staff Report and the history of the previously approved variances on this property. Staff recommends approval at 57%.

Mr. Ferrucci opened the Public Hearing. Seeing no one from the Public present to speak, he closed the Public Hearing.

Mr. Ferrucci reviewed the history of the variances with Mr. Logan. Mr. Logan assured the Board that he would not be back with any more Variance requests.

Mr. Ferrucci asked for a Motion.

Mr. Grinslade made a Motion to approve with a condition that it be recorded on the property and the impervious surface be capped at 55%. Mr. Silvey seconded. The Motion was approved, 4-1.

b. Woods at Thorpe Creek Section 6 Height Variance

Address: 12098 Shady Knoll Drive, Fishers, IN 46037

Case: VA-23-29

Request: Consideration of a Development Standards Variance from the Cove at Thorpe Creek PUD Ordinance #071921A to increase the maximum permitted height from 35 feet to 40 feet for 15 lots in the Grand Estates portion (northwest of Thorpe Creek).

Petitioner: Nick Weber (nicholas.weber@faegredrinker.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

Mindy Westrick Brown from Faegre Drinker, representing the petitioner, presented the request for a height variance for the Grand Estates portion of the Woods at Thorpe Creek. A Text Amendment is in progress and this variance approval will keep construction moving until the Text Amendment is approved.

Gabrielle Herin presented the Staff Report. The height increase is to 40 ft. for the 5 active permits in the neighborhood. Staff has no recommendation for the Board.

Mr. Ferrucci opened the Public Hearing. Seeing no one from the Public present to speak, he closed the Public Hearing.

In Board discussion, Mr. Ferrucci reviewed the anti-monotony rule and the variety of models. The proposed Text Amendment will go before Plan Commission on Nov. 1 and if approved, City Council on Nov. 20.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve, with the condition that it be recorded on the property and that the variance will be null and void when the Text Amendment is approved. The Motion was seconded by Mr. Stevenson. The Motion was approved, 4-0-1, and Mr. Lannan abstained.

c. Biggby Coffee and Other Retail Lot Size Variance

Parcel: 13-15-12-00-00-029.001

Address: 10404 Olio Rd

Case: VA-23-30

Request: Consideration of a Development Standards Variance from Section 3.3.2.B of the City's Unified Development Ordinance (UDO) to reduce the minimum required lot area from 1 acre to 0.70 acres for a lot split for the development of a new Biggby Coffee location.

Petitioner: Logan Stevens (stevens@carsonllp.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

Logan Stevens presented the request for a lot split. The site layout was reviewed. This is in a residential area and fits in the 2040 plan. Gabrielle Herin presented the Staff Report. This property is zoned C-2. There have been 2 remonstrance comments with concerns about density, traffic, buffering to the residential area. Staff has no recommendation to the Board.

Mr. Ferrucci opened the Public Hearing.

Mindy Tryon (10449 Stonegate Dr.) – Traffic concerns, there is an elementary school close by. This would be a coffee shop and 3 more retail.

Rosalinda Tepner (10541 Stonegate Dr.) -

She is President of the Weatherstone HOA) All of their Board members oppose. Needs a traffic study. Also concern about school buses, Daycare center, backside elevations.

Mr. Ferrucci closed the Public Hearing.

In Board discussion, Mr. Stevenson is concerned about density. Mr. Ferrucci asked about a traffic study. Ross Hilleary suggested a continuance. Mr. Stevens agreed to a Continuance so a traffic study can be done.

Adjournment As there was no other business, the meeting was adjourned at 6:45 p.m.

Respectfully Submitted by:

Kay Prange, Recording Secretary



Board of Zoning Appeals Staff Report

Meeting Date: December 20, 2023

DEPARTMENT CONTACT:

Gabrielle Herin (hering@fishers.in.us)

CASE NUMBER:

VA-23-30

PETITIONER:

Logan Stevens, Carson LLP representative for Aet Saengkeo (stevens@carsonllp.com)

PROPERTY ADDRESS/LOCATION:

10404 Olio Road, generally located at the northeast intersection of Olio Rd & 104th St.

REQUEST: Consideration of a Development Standards Variance from Section 3.3.2.B of the City's Unified Development Ordinance (UDO) to reduce the minimum required lot area from 1 acre to 0.70 acres for a lot split for the development of a new Biggby Coffee location.

APPLICABLE REGULATIONS:

UDO Sec. 3.3.2 "Development Standards"

EXISTING ZONING:

C-2 (Commercial)

FISHERS 2040:

Neighborhood Service Center

LOT SIZE OF PARENT LOT: Approx. 2.17 acres

LOCATION MAP**STAFF RECOMMENDATION**

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

Meeting Date: December 20, 2023

Case Number: VA-23-30

ZONING HISTORY:

The property was rezoned to C-2 in 2010 when the 104th Street and Olio Road intersection was reconstructed, realigning 104th Street with the Springs of Cambridge subdivision entrance. Additionally, in 2017, a variance (VAC-1701-16) was approved to reduce the front setback off Olio Road from 30 feet to 20 feet and the north parking lot setback from 10 feet to 5 feet. Then, in 2019, the Fishers Board of Zoning Appeals approved a variance (VA-19-1) to reduce the front setback off 104th Street from 50 feet to 20 feet.

SURROUNDING LAND USE & ZONING:

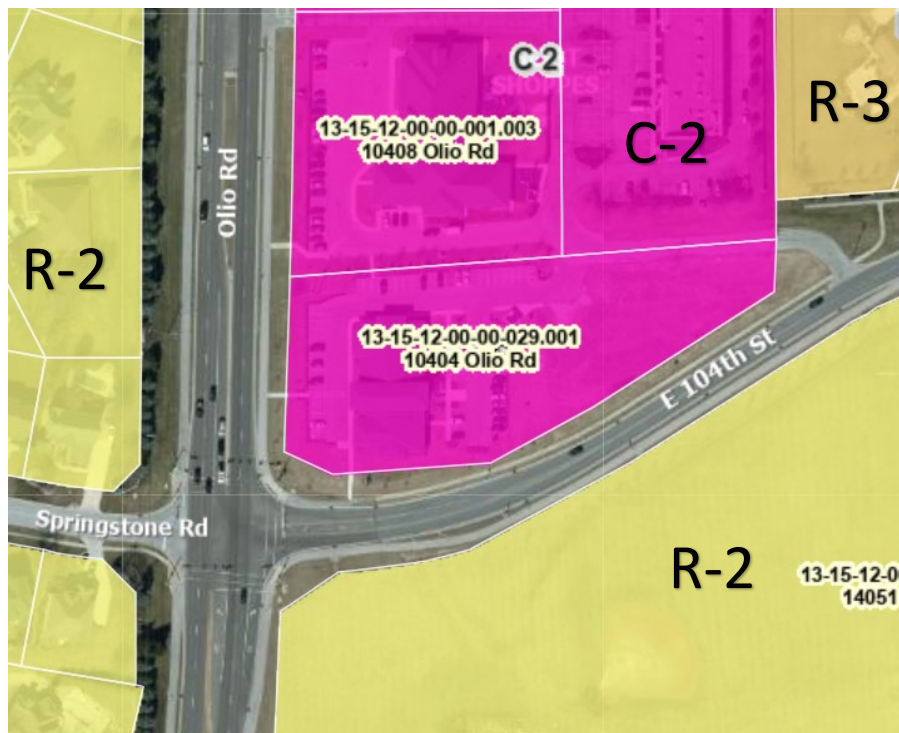
North: C-2 Neighborhood Business District (Daycare and Retail)

East: R2 Residential, R3 Residential (Traditional Single Family)

South: R2 Residential (Elementary School)

West: R2 Residential (Traditional Single Family)

Zoning Map



Meeting Date: December 20, 2023

Case Number: VA-23-30

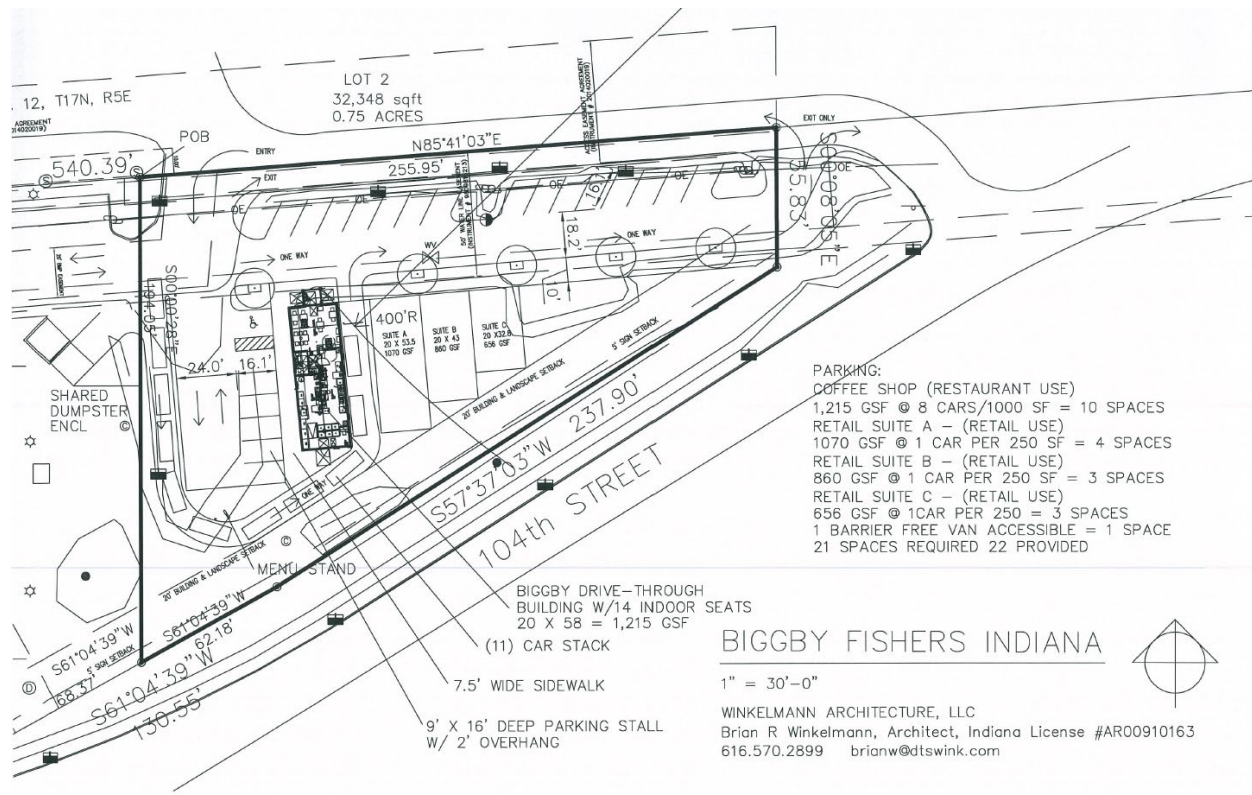
SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, there was a phone call. Rosalind Tepner from the Weatherstone HOA reached out to the planner inquiring about the project on October 18, 2023. She expressed concerns about traffic and the number of buildings proposed on the new parcel.

PETITION OVERVIEW:

Summary of Request

The applicant requested a variance to split off 0.70 acres from the approximately 2.17-acre existing lot. Per the UDO, the minimum required lot size of C-2 lots is 1 acre. The proposed new lot will be used for a 1,215 square coffee shop in one building, and three retail shops totaling 2,586 square feet.



12/12 Update

The Board of Zoning Appeals requested a traffic study of the proposed Biggby Coffee and retail

Meeting Date: December 20, 2023

Case Number: VA-23-30

area. The public hearing was continued to November 15, 2023. The petitioner requested to have the public hearing continued again to December 20, 2023. See Exhibit A for traffic study.

Fishers 2040

The Fishers 2040 Plan identifies this area as a Neighborhood Service Center. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance staff request the following conditions, and any others sought by the Board:

- The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

Meeting Date: December 20, 2023

Case Number: VA-23-30

Exhibit A:
Traffic Study



STEVEN J. FEHRIBACH, P.E.
PRESIDENT

R. MATTHEW BROWN, P.E.
VICE PRESIDENT

KAREN K. COLLINS, P.E.
VICE PRESIDENT

JOSEPH T. RENGEL, P.E.
VICE PRESIDENT

TRANSPORTATION ENGINEERING STUDIES • TRAFFIC IMPACT ANALYSES
STREET DESIGN • HIGHWAY DESIGN • TRAFFIC ENGINEERING
PARKING LOT DESIGN • TRANSPORTATION PLANNING STUDIES
CONSTRUCTION OBSERVATION • SITE ENGINEERING

REGISTRATION
INDIANA
ILLINOIS
KENTUCKY
MICHIGAN
OHIO
MISSOURI
TEXAS

November 29, 2023

Mr. Hatem Mekky, P.E., M.S.C.E.
Director, Department of Engineering
City of Fishers
One Municipal Drive
Fishers, Indiana 46032
mekkyh@fishers.in.us

Re: BIGGBY Coffee and Retail Center
104th Street

Mr. Mekky,

As requested, I have done an additional review of the existing driveway along 104th Street that would access the commercial area, which will include BIGGBY Coffee and additional retail.

A&F Engineering conducted a traffic count at the location of the existing driveway along 104th Street. Currently, the eastbound left turning traffic is 6 vehicles during the AM peak hour. Based on the generated traffic from the coffee shop and retail area as compared to the existing traffic entering the driveway, it has been determined that there will be a minimum number of vehicles turning left into the access point.

A field review of the driveway with respect to the number of existing gaps in the westbound stream of traffic along 104th Street revealed that there are significant gaps to allow left turning movements from 104th Street to occur without causing significant delay to eastbound traffic on 104th street. A review of the existing access point has shown that the width of the driveway is approximately 24 feet. That existing driveway should be widened to 36 feet and the width would extend past the proposed access to BIGGBY Coffee. Therefore, based on the additional information obtained in the field and with the recommended width access point implemented, it is A&F Engineering's opinion that the existing access point along 104th Street will operate in an efficient manner and no left-turn treatment is recommended at this time.

Please let me know if you have any questions.

Sincerely,
A&F Engineering Co., LLC

Steven J. Fehribach, P.E.
President
/cmc

8385 KEYSTONE CROSSING, SUITE 201 - INDIANAPOLIS, INDIANA 46240
TELEPHONE (317) 202-0864 - WWW.AF-ENG.COM



CONSULTANTS

2023 4 12 MICHIGAN PROJECT

OWNER

MARK	DATE	DESCRIPTION
PROJECT NO: 2023 4 12 MICHIGAN PROJECT		
CAD DWG FILE: R1.DWG		
DRAWN BY: --		
CHK'D BY: --		
COPYRIGHT:		
SHEET TITLE		
SCHEME 1 NORTH WEST VIEW		
R1		
SHEET	OF	



CONSULTANTS

2023 4 12 MICHIGAN PROJECT

OWNER

MARK	DATE	DESCRIPTION

PROJECT NO:	2023 4 12 MICHIGAN PROJECT
CAD DWG FILE:	R2.DWG
DRAWN BY:	-
CHK'D BY:	-
COPYRIGHT:	

SHEET TITLE

SCHEME 1 NORTH EAST VIEW

SHEET	R2	OF	-
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Biggby Coffee Building with Three Retail Suites
Old 104th Street
Fishers, Indiana

1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

PRELIMINARY	10-24-2023
ISSUED FOR:	DATE:
PROJECT NUMBER	05-05-WA

A5

STEVEN J. FEHRIBACH, P.E.
PRESIDENT

R. MATTHEW BROWN, P.E.
VICE PRESIDENT

KAREN K. COLLINS, P.E.
VICE PRESIDENT

JOSEPH T. RENGEL, P.E.
VICE PRESIDENT

REGISTRATION

INDIANA
ILLINOIS
KENTUCKY
MICHIGAN
OHIO
MISSOURI
TEXAS

November 29, 2023

Mr. Hatem Mekky, P.E., M.S.C.E.
Director, Department of Engineering
City of Fishers
One Municipal Drive
Fishers, Indiana 46032
mekkyh@fishers.in.us

Re: BIGGBY Coffee and Retail Center
104th Street

Mr. Mekky,

As requested, I have done an additional review of the existing driveway along 104th Street that would access the commercial area, which will include BIGGBY Coffee and additional retail.

A&F Engineering conducted a traffic count at the location of the existing driveway along 104th Street. Currently, the eastbound left turning traffic is 6 vehicles during the AM peak hour. Based on the generated traffic from the coffee shop and retail area as compared to the existing traffic entering the driveway, it has been determined that there will be a minimum number of vehicles turning left into the access point.

A field review of the driveway with respect to the number of existing gaps in the westbound stream of traffic along 104th Street revealed that there are significant gaps to allow left turning movements from 104th Street to occur without causing significant delay to eastbound traffic on 104th street. A review of the existing access point has shown that the width of the driveway is approximately 24 feet. That existing driveway should be widened to 36 feet and the width would extend past the proposed access to BIGGBY Coffee. Therefore, based on the additional information obtained in the field and with the recommended width access point implemented, it is A&F Engineering's opinion that the existing access point along 104th Street will operate in an efficient manner and no left-turn treatment is recommended at this time.

Please let me know if you have any questions.

Sincerely,
A&F Engineering Co., LLC



Steven J. Fehribach, P.E.
President
/cmc



Board of Zoning Appeals Staff Report

Meeting Date: December 20, 2023

DEPARTMENT CONTACT:

Christy Cashin (cashinc@fishers.in.us)

CASE NUMBER:

VA-23-31

PETITIONER:

Delaney McNichols
(Delaney@nicholasdesignbuild.com)

PROPERTY ADDRESS/LOCATION:

15584 Provincial Ln

REQUEST: Consideration of a Development Standards Variance from Section 2: Development Standards, The Grand subsection of The Boulders PUD to allow a side yard setback of 5 feet from 10 feet, and an aggregate setback of 36 feet from 40 feet.

APPLICABLE REGULATIONS:

The Boulders PUD-The Grand subsection
Ordinance 061807A

EXISTING ZONING:

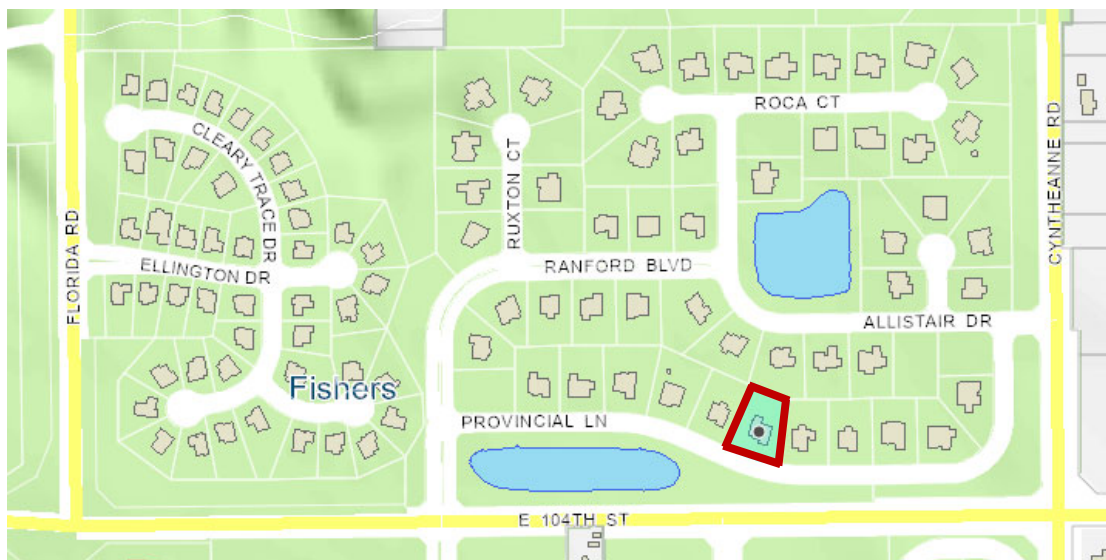
PUDR – The Boulders PUD

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.50 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

ZONING HISTORY:

The Boulders PUD was established on October 20, 2003 (Ordinance 051903C). An amendment was made on August 6, 2007 (Ordinance 061807A) to the development standards for The Grand and The Estates sections. This is where the new side setback of 10 feet for The Grand section was established. On February 7, 2011 (Ordinance 120610F) another amendment was made to the development standards for “The Villas” section. Changed the Villas section to “Prescott of Fishers”. Changed the Grand section to “Ravinia of Fishers”. Changed “The Estates section to “The Boulders of Fishers”.

SURROUNDING ZONING & LAND USE:

North: R2 Residential

East: R2 Residential

South: PUDR – The Boulders PUD

West: PUDR – The Boulders PUD



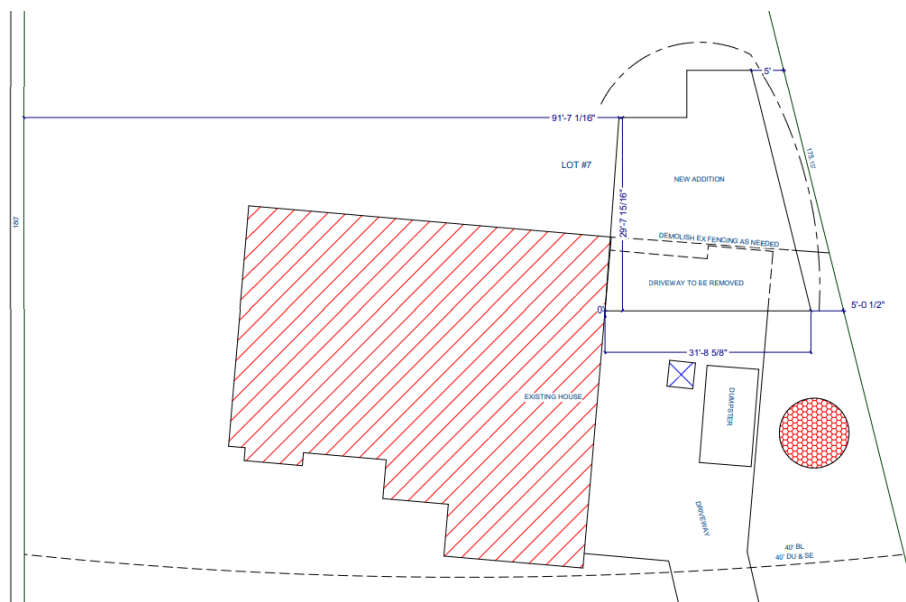
SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

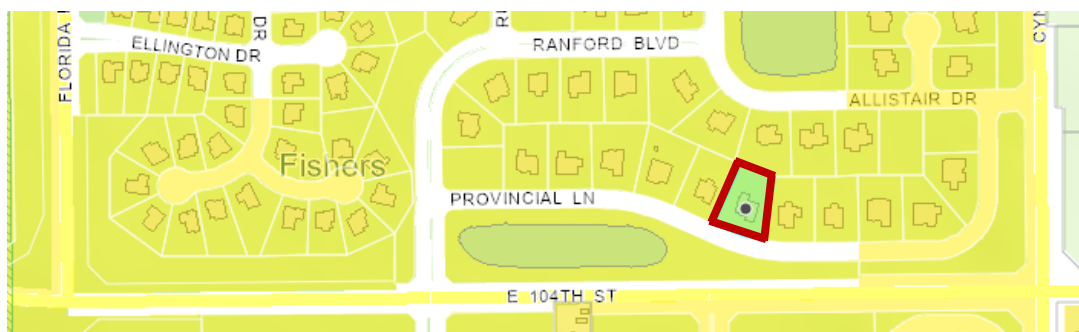
Delaney McNichols of Nicholas Design Build, on behalf of the lot owner (Claudio residence) is requesting Development Standards variances from Section 2: Development Standards, The Grand subsection of The Boulders PUD to allow a side yard setback of 5 feet from 10 feet, and an aggregate setback of 36 feet from 40 feet.



Site plan showing 5 foot setback on eastside property line.

Fishers 2040

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for the Board of Zoning Appeals.

If the Board approves this Variance staff request the following conditions, and any others sought by the Board: The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION☐ Approve☐ Continue☐ Deny☒ No Recommendation

DESIGN GENERAL NOTES:

1. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING APPLICABLE CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS. ANY DEVIATION FROM WHAT IS NOTED IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / DESIGNER PROMPTLY.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL TRADES. THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS INCLUDING BUT NOT LIMITED TO THE ARCHITECTURAL DRAWINGS, STRUCTURAL DRAWINGS, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES.

3. REFERENCE SHEET A601 FOR ALL DOOR AND WINDOW INFORMATION.

4. ALL NEW DOOR FRAMES ARE TO BE 4" FROM ADJACENT FINISHED WALL SURFACE AT DOOR HINGE.

5. ALL MATERIALS LOCATED IN CEILING SHALL BE RATED FOR SUCH INSTALLATION OR PROTECTED TO PROVIDE COMPLIANCE.

GENERAL NOTES:

WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

FINISH NOTES:

RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION. ALL MOLDING ARE TO MATCH EXISTING AS CLOSE AS POSSIBLE IN STYLE AND FINISH UNLESS NOTED OTHERWISE. FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

CLIENT PROPERTY NOTES:

HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

PROPRIETARY NOTES:

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF NICHOLAS DESIGN BUILD. DEVELOPED FOR THE EXCLUSIVE USE OF NICHOLAS DESIGN BUILD. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF NICHOLAS DESIGN BUILD IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM SIGNING CLIENT.

APPLICABLE CODES:

INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018)
INDIANA HANDICAPPED ACCESSIBILITY CODE 1009
ANSI A117.1
ADA ACCESSIBILITY GUIDELINES

CODE SUMMARY:

SCOPE NOTES:

A. THESE DRAWINGS ARE INTENDED TO REPRESENT ONLY THE SCOPE AND APPEARANCE OF THE REAL PROPERTY IMPROVEMENTS, INCLUDING THE PERFORMANCE AND LEVEL OF QUALITY EXPECTED OF ITS COMPONENTS. THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL WORK COMPLETED AND MATERIALS INSTALLED BE IN FULL COMPLIANCE AT A MINIMUM, WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES HAVING JURISDICTIONAL AUTHORITY OVER THE PROJECT.

B. THESE DRAWINGS DO NOT ATTEMPT TO INSTRUCT THE CONTRACTOR IN THE DETAILS OF HIS/HER TRADE. THEY ARE PERFORMANCE SPECIFICATIONS WHICH MEANS IT IS REQUIRED THAT ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT BE INSTALLED IN STRICT CONFORMANCE TO THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS. EXCEPT IN THE CASE WHERE THE DRAWINGS ARE MORE STRINGENT. ANY MISCELLANEOUS ITEMS OR MATERIALS NOT SPECIFICALLY NOTED, BUT REQUIRED FOR PROPER INSTALLATION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR.

PROJECT AREA:

PROJECT AREA
TOTAL: 953 SF

DESIGNER:

NICHOLAS DESIGN BUILD
12502 PROMISE CREEK LN. #434
FISHERS, INDIANA 46038
PH: (317) 335-4706
URL: www.NICHOLASDESIGNBUILD.COM

PRESIDENT
KYLE NICHOLAS
CELL: (317) 607-9465
EM: KYLE@NICHOLASDESIGNBUILD.COM

STRUCTURAL DESIGNER
DELANEY MCNICHOLS
EM: DELANEY@NICHOLASDESIGNBUILD.COM

PROJECT DESIGNER
MIKE MCGUIGAN
CELL:
EM: MMCUGUIGAN@NICHOLASDESIGNBUILD.COM

15584 Provincial Lane
Fishers, IN 46040

CITY OF FISHERS SUBMITTAL SET

PROJECT RENDERING



CONSULTANTS:

STRUCTURAL ENGINEER:MECHANICAL:

INDEX TO DRAWINGS:

DRAWING INDEX	
PAGE	Title
G101	Cover Sheet
C101	Site Plan
A101	Foundation Plan
A102	Proposed Floor Plan
A103	Roof / Framing Plan
E101	Electrical Plan (Location Only)
A201	Exterior Elevations
A301	Foundation / Walls / Roof Sections
A202	Renderings
A203	Renderings

PLAN SYMBOLS:

	FLOOR ELEVATION
	ELEVATION
	WALL SECTION FLAG
	INTERIOR ELEVATIONS
	DETAIL SYMBOL
	NORTH ARROW

CONTRACTOR

NICHOLAS
DESIGN • BUILD
12502 PROMISE CREEK LANE
SUITE #434
FISHERS, IN 46038
317.335.4706

ENGINEER

ENGINEER

CONTACT
INFO / STAMP

Claudio Addition

15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

Date:

REVISION: DATE:

#1

.00.00.00.

#2

.00.00.00.

#3

.00.00.00.

#4

.00.00.00.

PLOT SCALE:

1/4" = 1'-0"

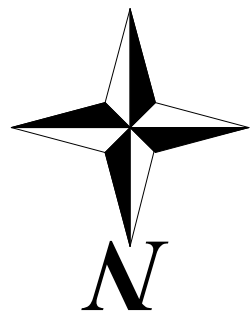
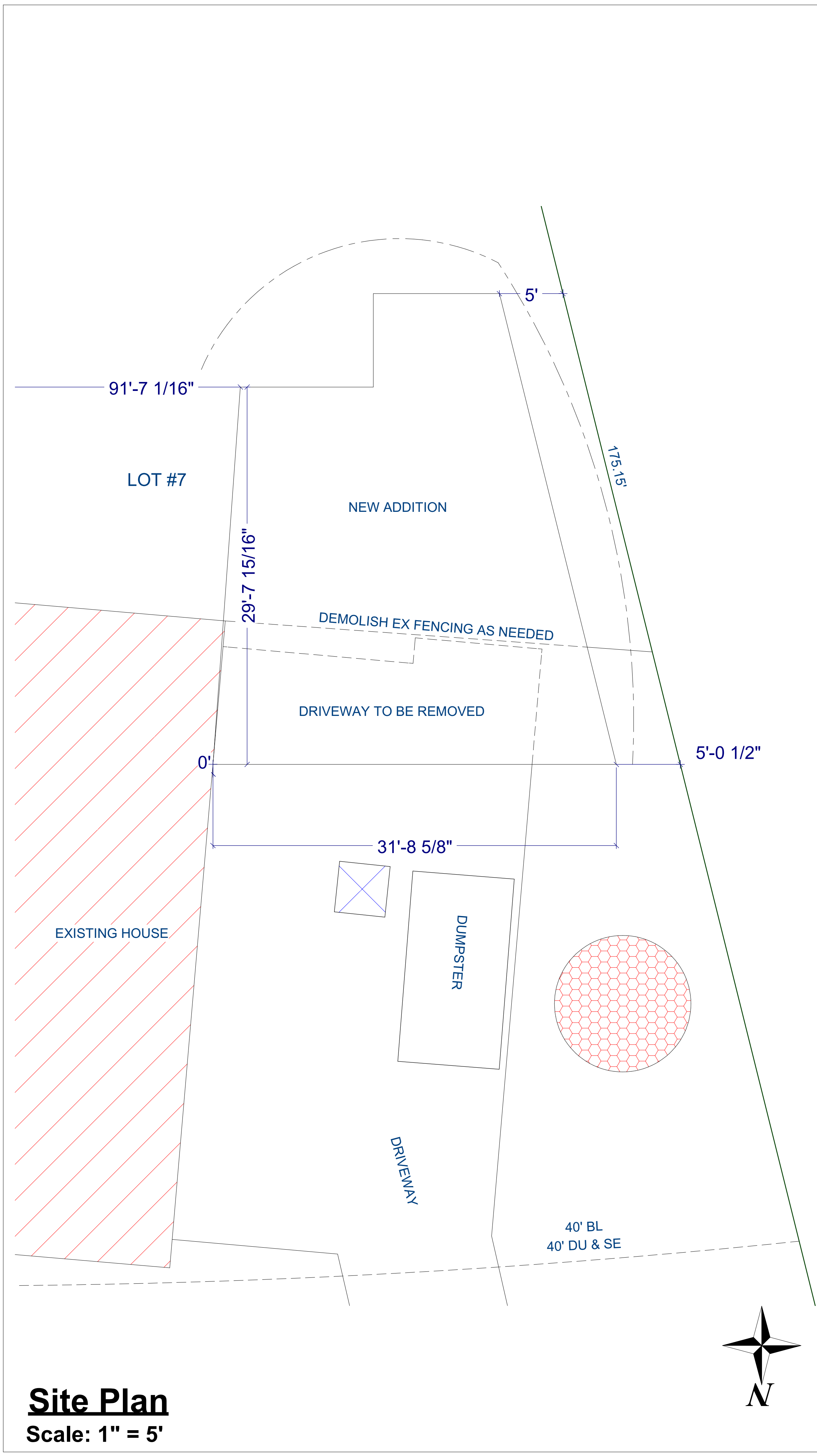
DATE

11/6/2023

Cover Sheet

G101

Client Signature: _____ Date: _____

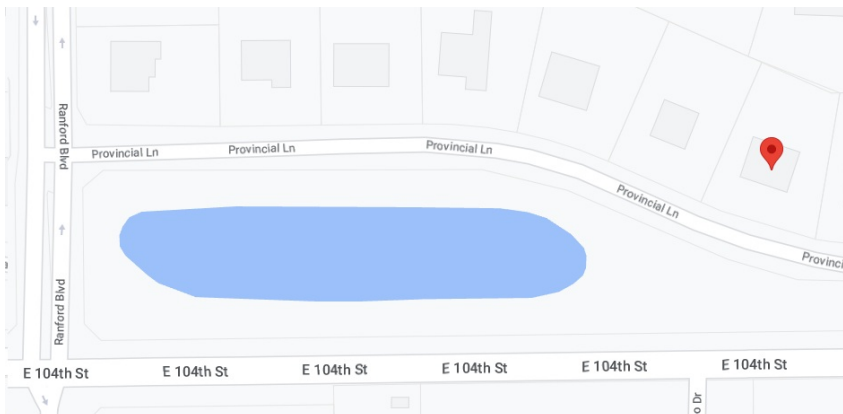


Site Plan
Scale: 1" = 5'

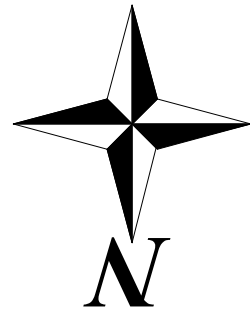
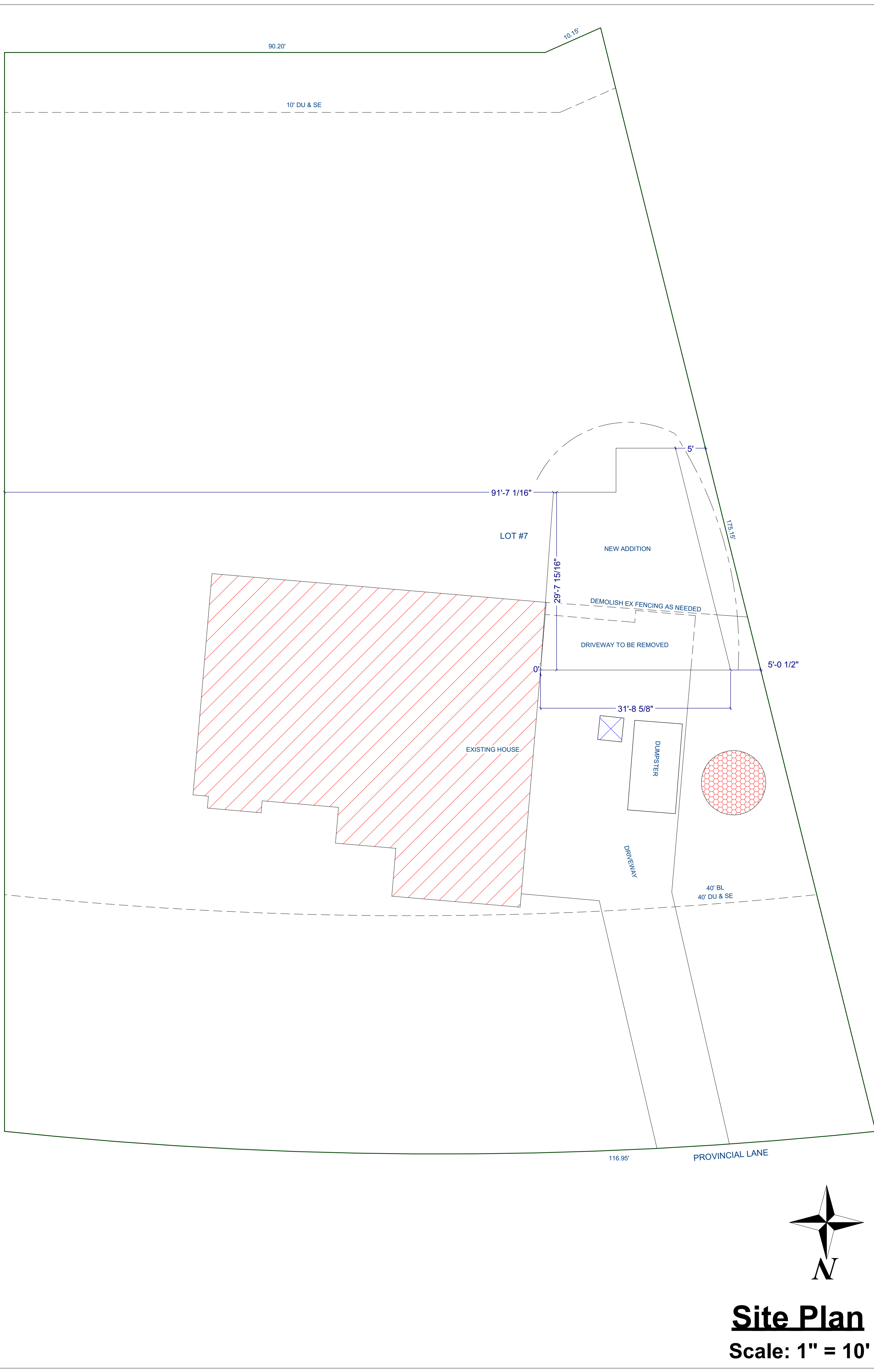
- EROSION NOTES:**
1.) Silt fence will be installed as needed per the Erosion Plan shown.
 2.) Excess top soil stock pile to be stored in the fashion of a temporary berm as needed. Stock pile location will be indicated on the Erosion Plan. This location may be adjusted according to space and safety. All soil stock piles to be placed within the silt fence area. All excess top soil to be hauled away and disposed of properly.
 3.) Clean out / wash out location noted on Erosion plan. Clean out to be a wood box or vinyl carry bag. All clean out containers will be dried out and disposed of in an approved dumpster for disposal.
 4.) All disturbed top soil areas to be seeded and strawed as needed.
 5.) In the even that no existing top soils or hard scapes are to be disturbed, all work will be performed without heavy equipment and will be performed from the ground or on ladders / scaffolding. All grasses and sod to be protected with tarps or sheet goods. All sheet goods to be removed daily.
 6.) Any and all public drainage and storm drains within the construction area to be covered with filtration materials. All filtration materials to be maintained through the duration of the project.
 7.) All loose fill materials including but not limited to rock, sand, and other fines are to be stored on site with proper ground protection and located on the erosion plan provided.
 8.) Existing sidewalk and driveway curb to be have new curb cut for install of temporary drive.
 9.) Temporary drive and staging to have sod and top soil removed and geo textile fabric installed with gravel installed over.

Erosion Legend

- Silt Fence:**
- Stock Pile:**
- Clean Out:**
- Seed and Strew:**
- Fill Materials:**

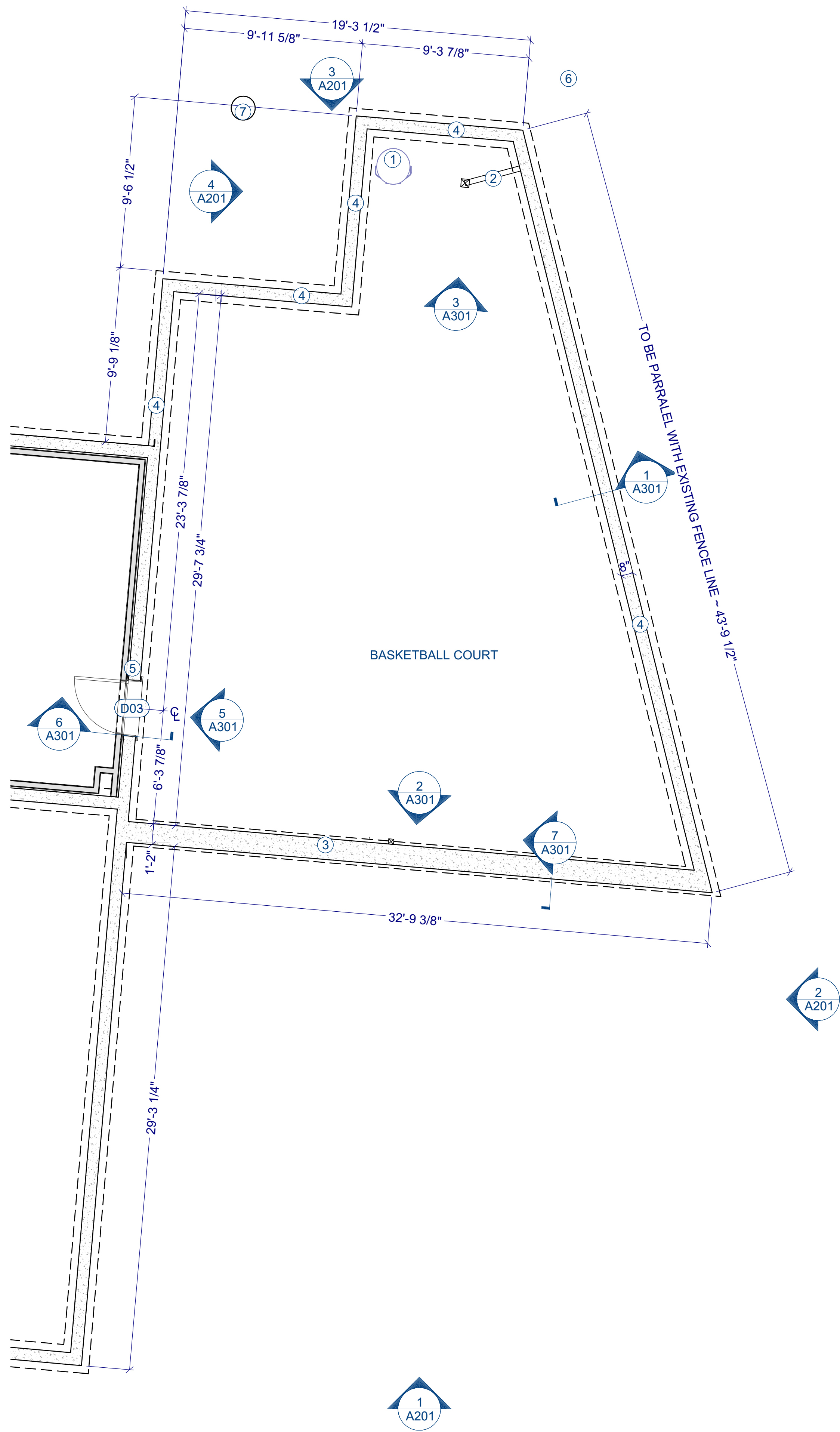


Vicinity Map
Not To Scale



Site Plan
Scale: 1" = 10'

CONTRACTOR NICHOLAS DESIGN • BUILD 12502 PROVISE CREEK LANE SUITE #434 FISHERS, IN 46038 317.335.4706	
ENGINEER ENGINEER CONTACT INFO / STAMP	
Claudio Addition 15584 Provincial Lane Fishers, IN 46040 Year Build: 2017	
Client Initials: _____ Date: _____	
REVISION:	DATE:
#1	.00.00.00.
#2	.00.00.00.
#3	.00.00.00.
#4	.00.00.00.
PLOT SCALE:	
1/4" = 1'-0"	
DATE	
11/6/2023	
C101	



WORK SCOPE	
①	INSTALL SUMP PIT AND PUMP - UNDER SLAB RELOCATE ANY VENTING PIPES REQUIRED
②	STAIR SUPPORTS AND FRAMING SEE SECTION PAGE FOR DETAILS.
③	14" CONCRETE WALL TO SUPPORT NEW STUD WALL ABOVE AND RAILING.
④	8" CONCRETE WALL TO SUPPORT NEW STUD WALL ABOVE.
⑤	CUT DOOR OPENING INTO EXISTING CONCRETE FOUNDATION. CONFIRM EXACT DOOR LOCATION WITH CLIENT BEFORE CUTTING.
⑥	SPRINKLER LINES AND EQUIPMENT REMOVAL IN DESIGNATED AREAS.
⑦	POUR 12" FOOTER 36" BELOW GRADE FOR PORCH POST.

DOOR SCHEDULE					
NUMBER	LABEL	QTY	SIZE	R/O	DESCRIPTION
D01	16080	1	16080	194"X99"	GARAGE-GARAGE DOOR P02
D02	3068	1	3068 R EX	38"X83"	EXT. HINGED-DOOR E21
D03	3068	1	3068 R EX	38"X83"	EXT. HINGED-SLAB

WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	14" CONCRETE STEM WALL
	INTERIOR-4
	8" CONCRETE STEM WALL

Foundation Plan
Scale: 1/4" = 1'-0"

CONTRACTOR
NICHOLAS
DESIGN • BUILD
12502 PROMISE CREEK LANE
SUITE #434
FISHERS, IN 46038
317.335.4706

ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

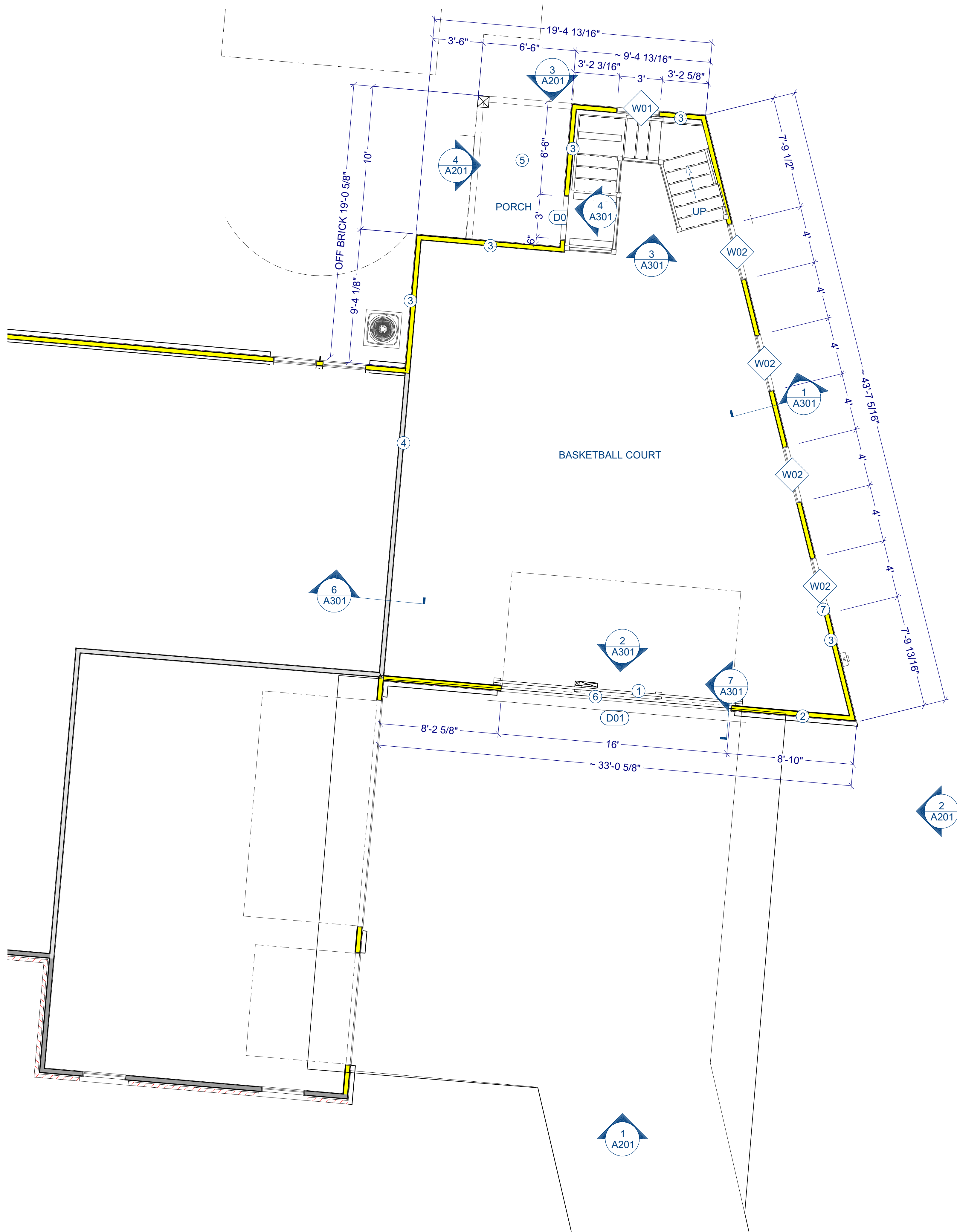
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REVISION:	DATE:
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PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023

A101



WORK SCOPE	
①	RAILING TO BE INSTALLED AND MOUNTED TO THE WALL FOR EXTRA SUPPORT.
②	2X4 STUD WALL ON TOP OF FOUNDATION WALL WITH BRICK WAINSCOTING.
③	2X4 STUD WALL ON TOP OF FOUNDATION WALL.
④	EXISTING STUD WALL TO REMAIN. BRICK TO BE DEMOLISHED AND HAULED AWAY.
⑤	NEW MONOLITHIC SLAB TO BE POURED FOR PORCH.
⑥	GARAGE DOOR TO NOW BE OPERABLE.
⑦	FRAME AND INSTALL WINDOWS ACCORDING TO SCHEDULE. TYPICAL.

DOOR SCHEDULE					
NUMBER	LABEL	QTY	SIZE	R/O	DESCRIPTION
D01	16080	1	16080	194"X99"	GARAGE-GARAGE DOOR P02
D02	3068	1	3068 R EX	38"X83"	EXT. HINGED-DOOR E21
D03	3068	1	3068 R EX	38"X83"	EXT. HINGED-SLAB

WINDOW SCHEDULE					
NUMBER	LABEL	QTY	SIZE	R/O	DESCRIPTION
W01	3050FX	1	3050FX	37"X61"	FIXED GLASS
W02	4016AW	4	4016AW	49"X19"	SINGLE AWNING

WALL SCHEDULE	
2D SYMBOL	WALL TYPE
	BRICK-4
	DECK RAILING/FENCE
	INTERIOR RAILING
	INTERIOR-4
	SIDING-4

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ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

Date:

REVISION:	DATE:
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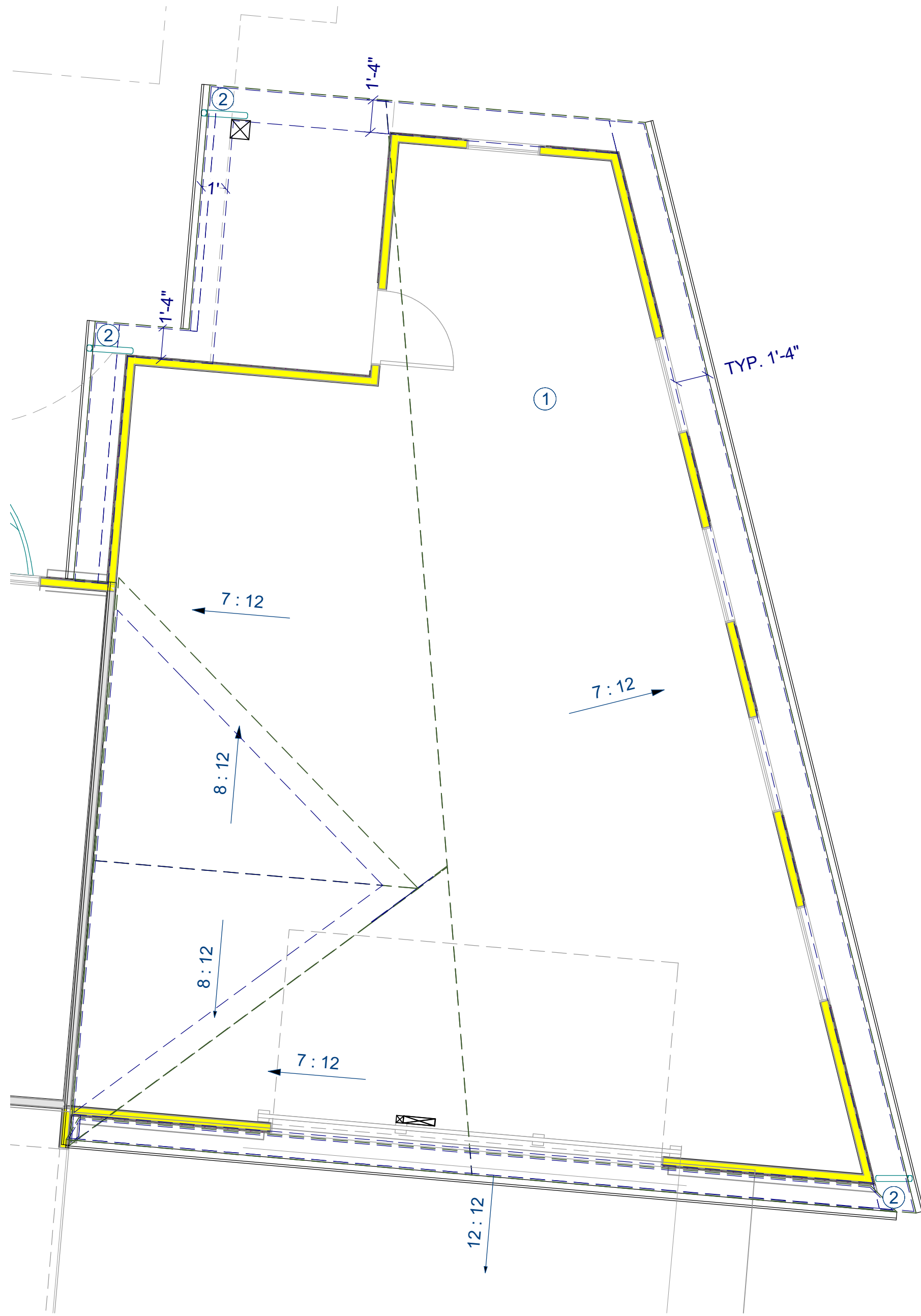
PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023

Proposed Floor Plan
Scale: 1/4" = 1'-0"

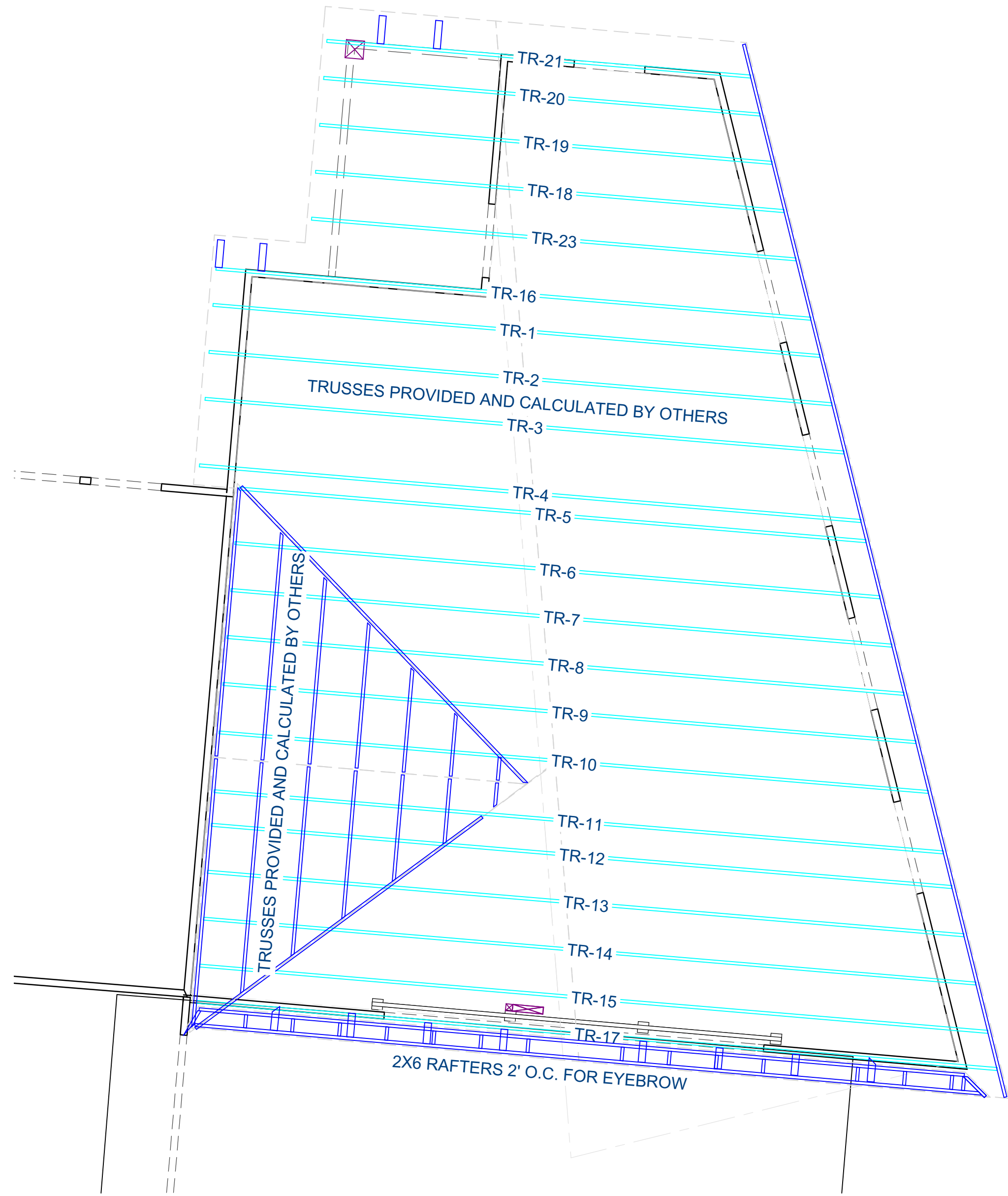
A102

NOTE SCHEDULE	
①	FRAME NEW TRUSSES, SHEATHING, PER PROPOSED PLAN THE CEILING WILL BE DRYWALLED AND VAULTED.
②	FURNISH & INSTALL 5-6" ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.



1
A103

Roof Layout



2
A103

Roof Framing

Roof / Framing Plan
Scale: 1/4" = 1'-0"

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317.335.4706

ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

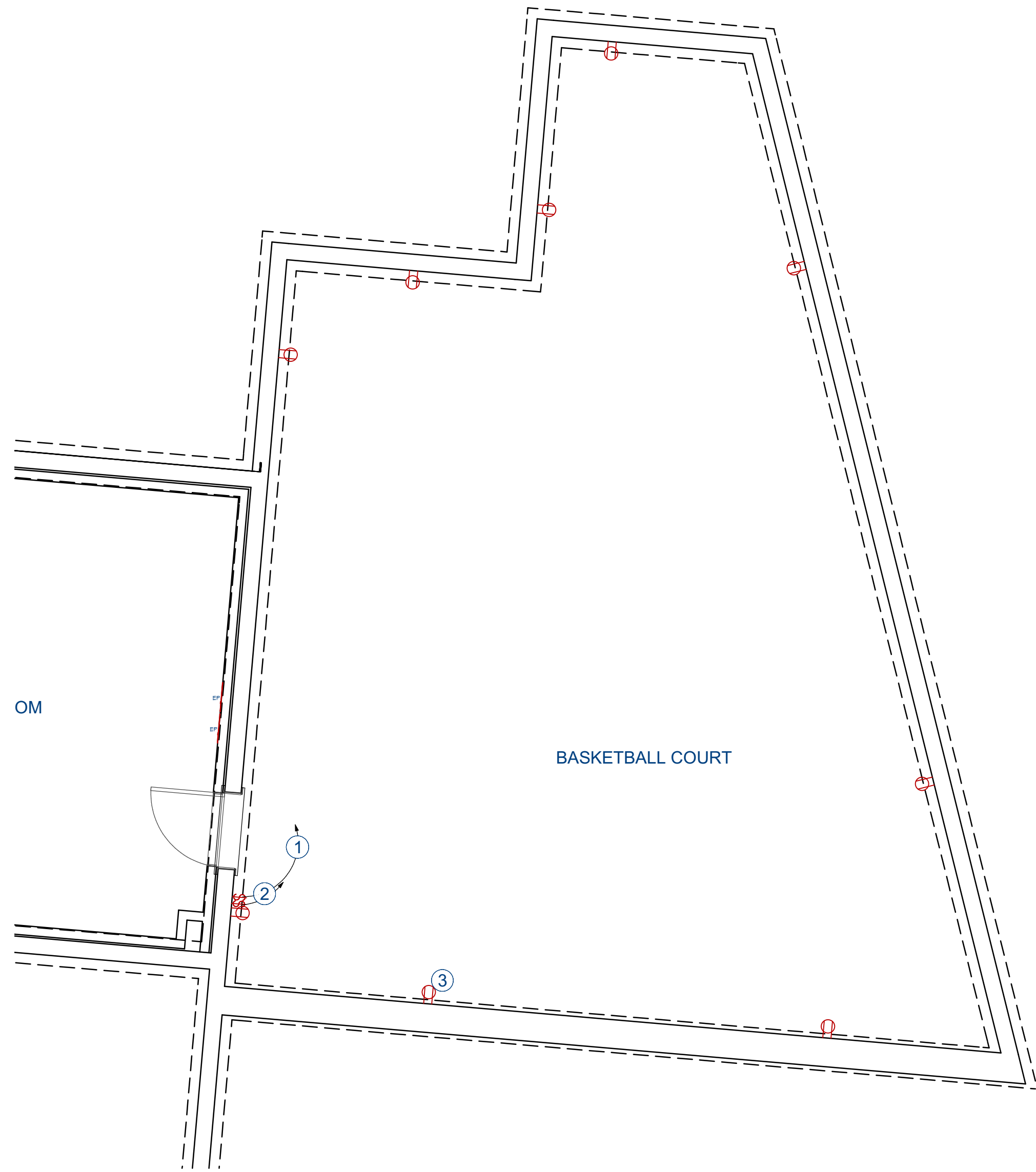
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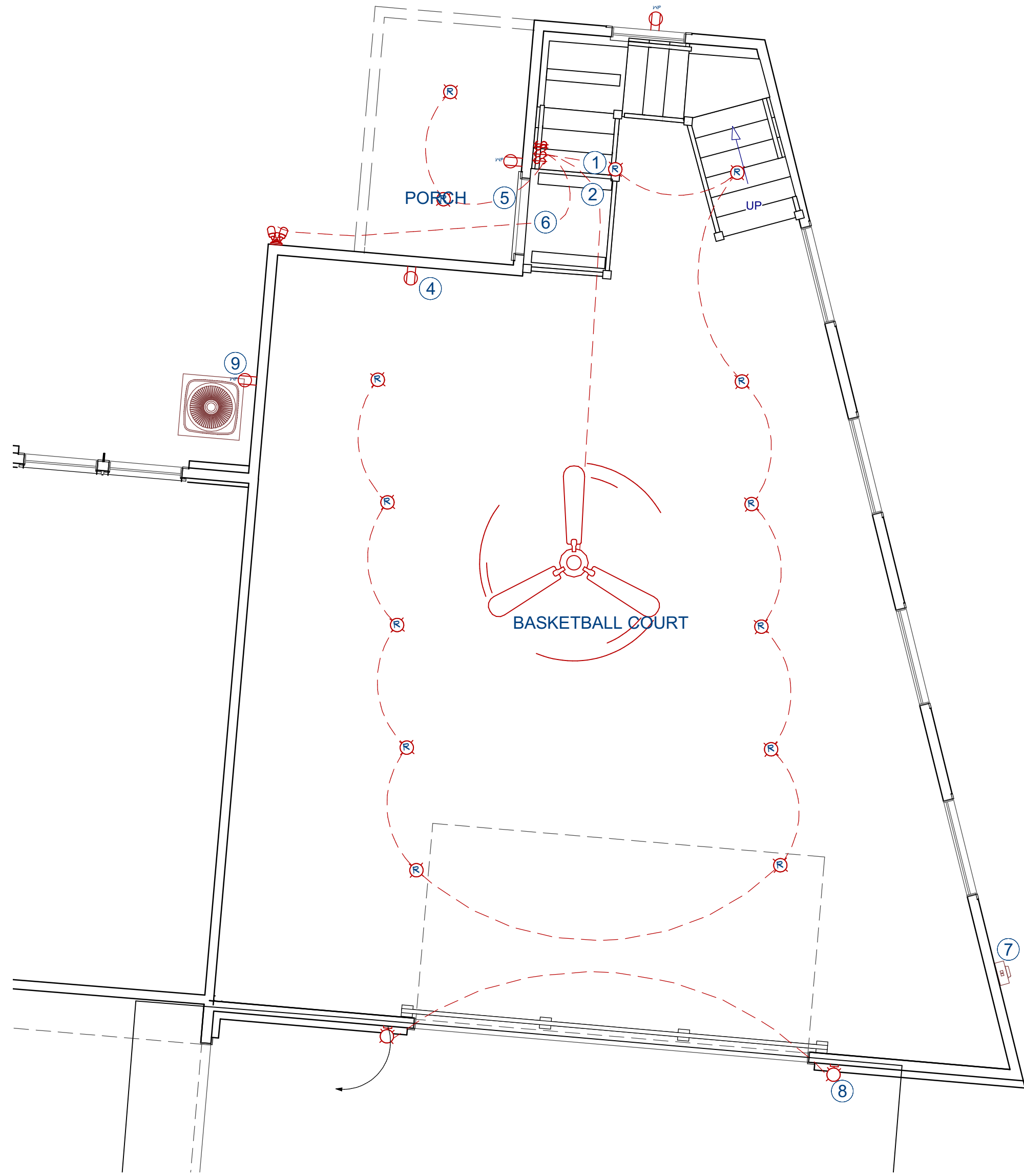
PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023

A103

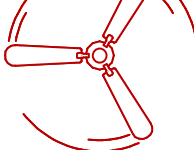


1
E101 Foundation
Electrical



2
E101 First Level
Electrical

WORK SCOPE	
1	ONE SWITCH TO CAN LIGHTS ABOVE.
2	ONE SWITCH TO FAN ABOVE.
3	RECEPTACLES LOCATED TO CODE. TYP.
4	RECEPTACLES LOCATED FOR FUTURE SCOREBOARD. SEE CLIENT AND SPECIFICATION OF HEIGHT ON WALL.
5	ONE SWITCH TO CAN LIGHT ON PORCH.
6	ONE SWITCH TO FLOOD LIGHT ON PORCH.
7	ELECTRICAL PANEL TO BE RELOCATED TO NEW LOCATION.
8	NEW COACH LIGHTS TO BE SWITCHED FROM CURRENT HOME SWITCH.
9	REWIRE ANY ELECTRICAL FOR A/C RELOCATION.

ELECTRICAL SCHEDULE		
2D SYMBOL	QTY	DESCRIPTION
	1	2 GANG SWITCH
	1	3 GANG SWITCH
	10	DUPLEX
	3	DUPLEX WEATHERPROOF
	2	ELECTRICAL PANEL - RECESSED
	1	GFCI
	4	MINER'S SCONCE
	14	RECESSED DOWN LIGHT 6
	1	SECURITY CAMERA 2 MOTION SENSOR FLOOD LIGHT
	1	SINGLE POLE SWITCH
	1	3 BLADE CEILING FAN

Electrical Plan (Location Only)
Scale: 1/4" = 1'-0"

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FISHERS, IN 46038
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Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

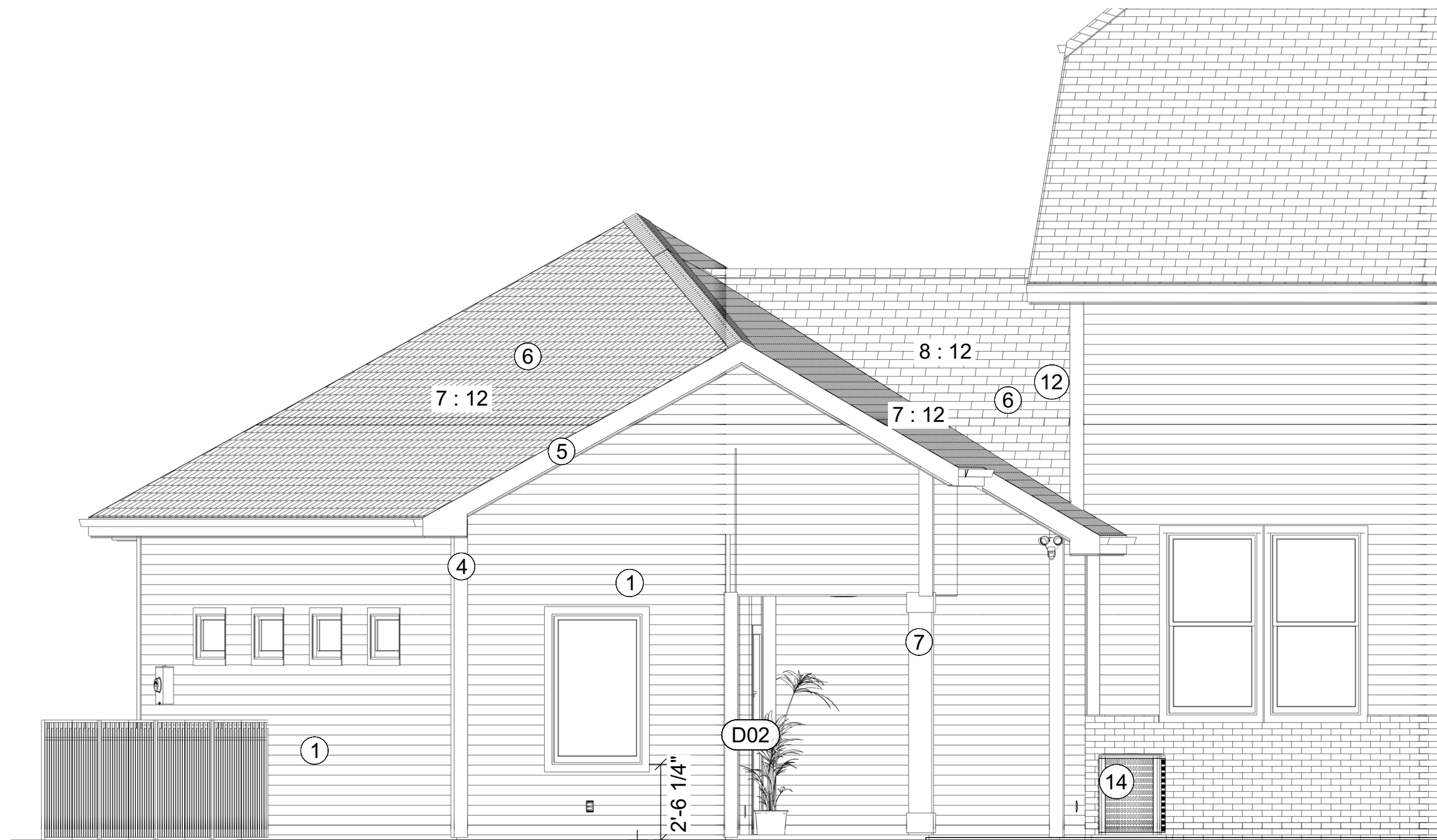
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PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023

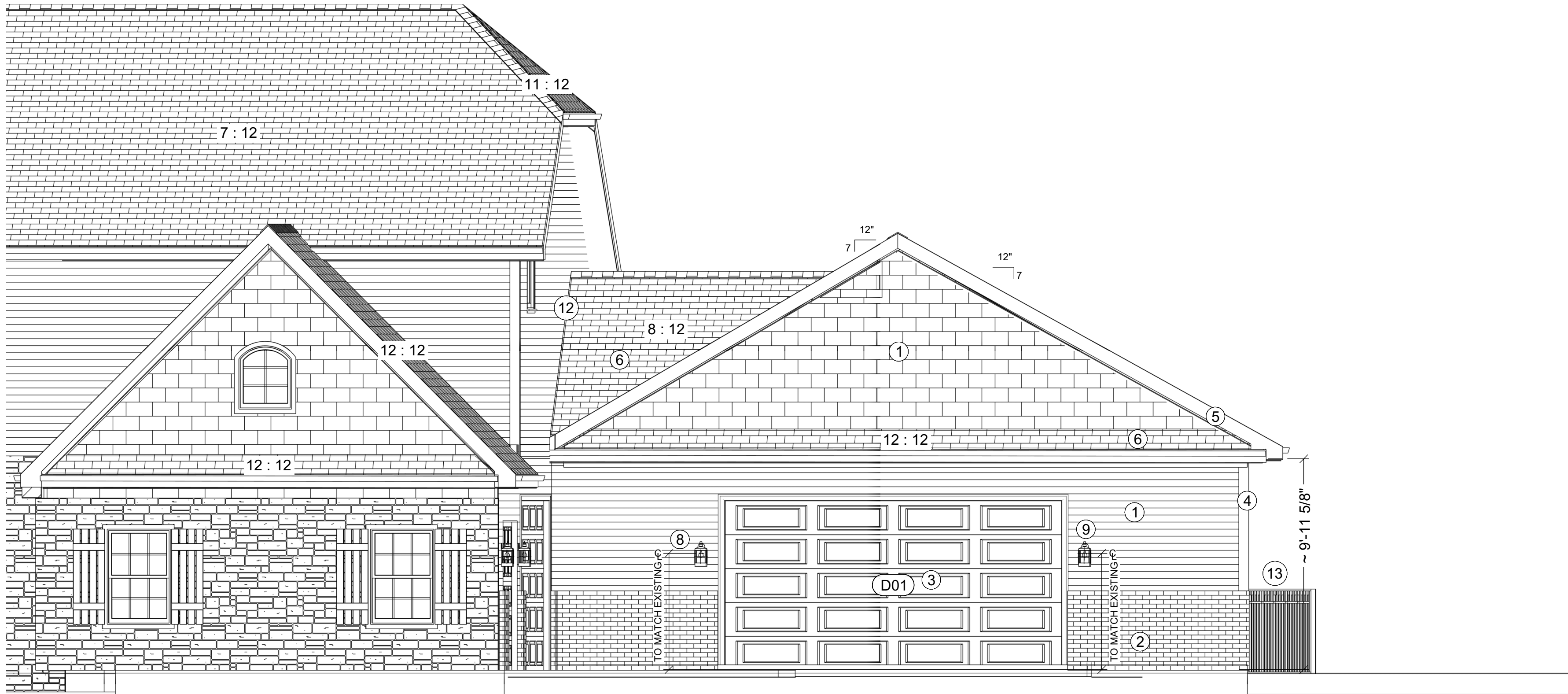
E101



3
A101 Side Elevation
South



2
A101 Side Elevation
East



1
A101 Side Elevation
North

WORK SCOPE	
①	SIDING TYPE AND COLOR TO MATCH EXISTING HOME.
②	BRICK TYPE, HEIGHT AND COLOR TO MATCH EXISTING HOME.
③	GARAGE DOOR TO BE FIXED. STYLE TO MATCH THE EXISTING GARAGE DOORS.
④	TRIM TYPE AND COLOR TO MATCH EXISTING HOME.
⑤	ROOF TRIM TYPE AND COLOR TO MATCH EXISTING HOME.
⑥	SHINGLES TYPE AND COLOR TO MATCH EXISTING HOME.
⑦	10X10 POST TO BE TRIMMED OUT AND STAINED. CONFIRM STAIN WITH CLIENT.
⑧	GARAGE SCONCE LIGHT TO BE REPLACED WITH EXISTING DEMOLISHED FIXTURE. HEIGHT TO MATCH EXISTING PLACEMENT.
⑨	GARAGE SCONCE LIGHT TO BE INSTALLED FROM SELECTION TO MATCH EXISTING FIXTURES . HEIGHT TO MATCH EXISTING PLACEMENT.
⑩	REPAIR EXISTING SIDING AND TRIM AS NEEDED.
⑪	REPAIR EXISTING DRIVEWAY AS NEEDED. PROTECT AS MUCH AS POSSIBLE FROM DAMAGE.
⑫	INSTALL FLASHING TO MATCH AS NECESSARY.
⑬	REPAIR FENCE AS NEEDED. GATE ADDED BACK TO THIS LOCATION.
⑭	NEW AIR CONDITIONER LOCATION.
⑮	NEW LOCATION OF ELECTRICAL METER, HEIGHT TBD BY ELECTRICIAN.

Exterior Elevations
Scale: 1/4" = 1'-0"

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SUITE #434
FISHERS, IN 46038
317.335.4706

ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
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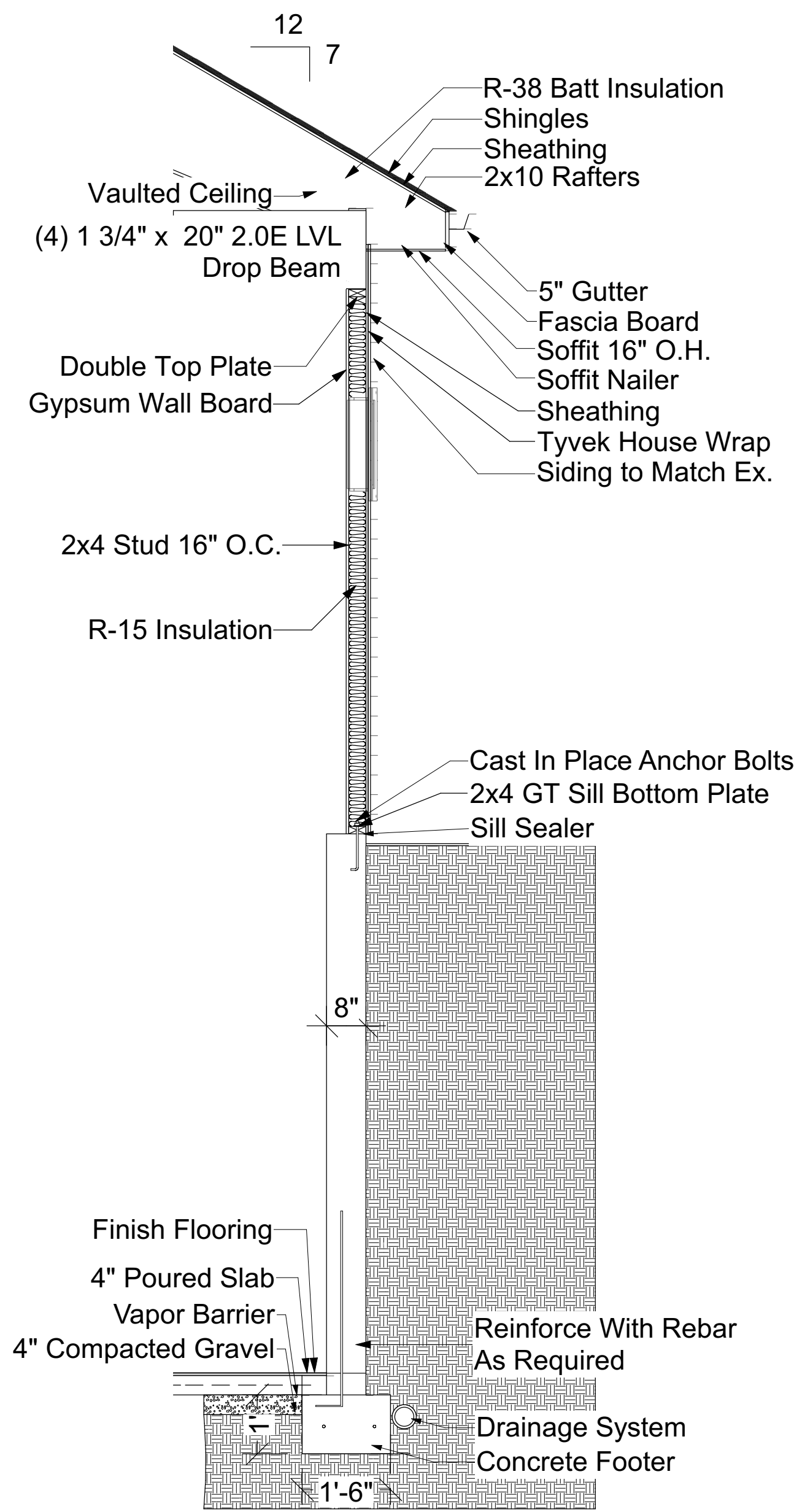
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PLOT SCALE:
1/4" = 1'-0"

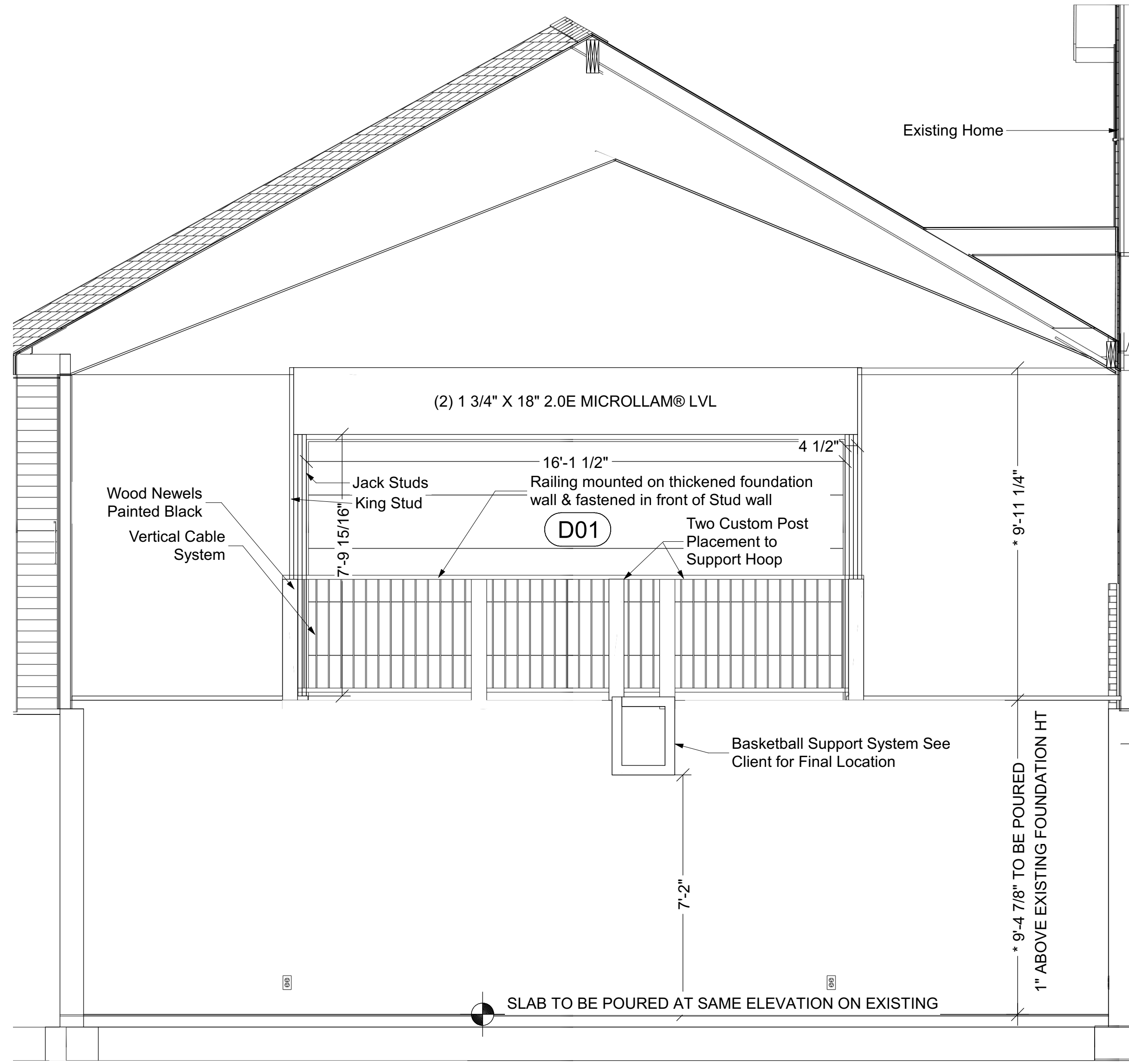
DATE
11/6/2023

A201



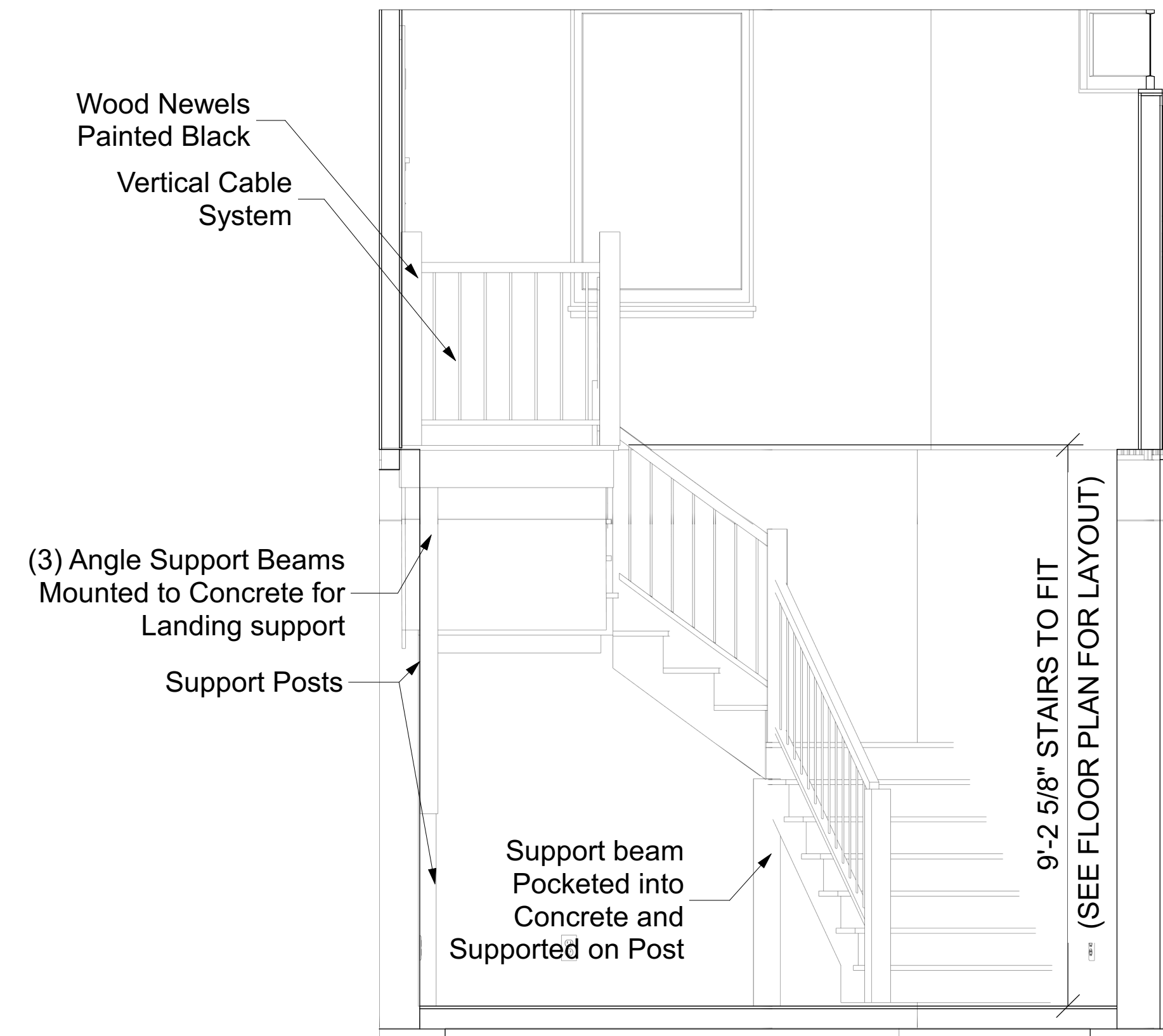
1
A101

Eave Wall & Foundation Section



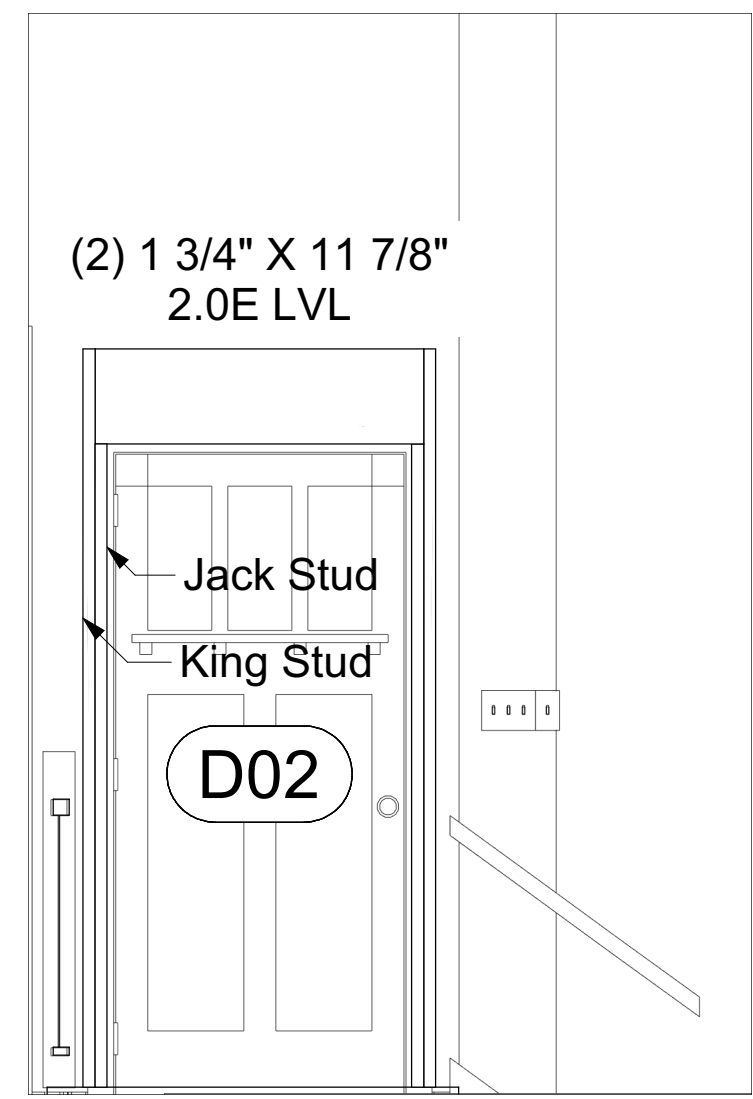
2
A101

Gable Wall Section (NTS)



3
A101

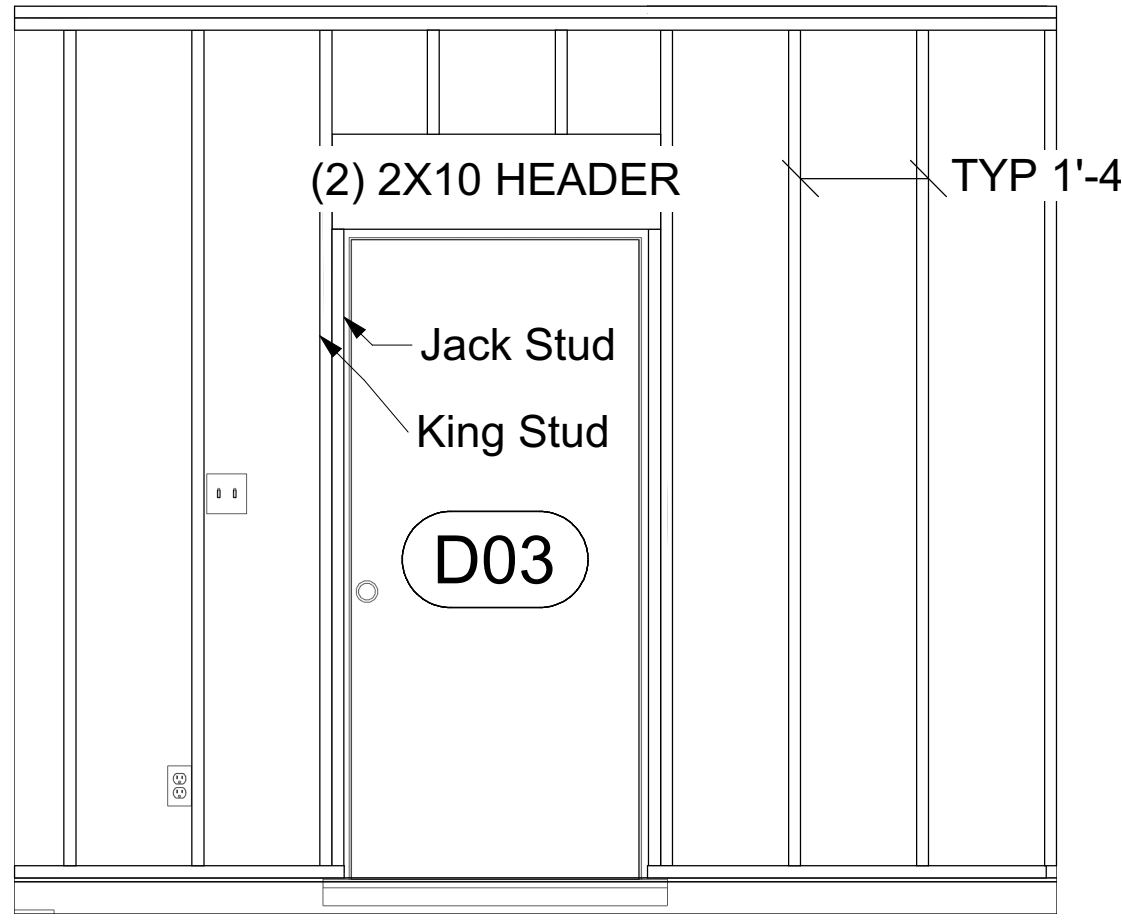
Stairs Section



4
A101

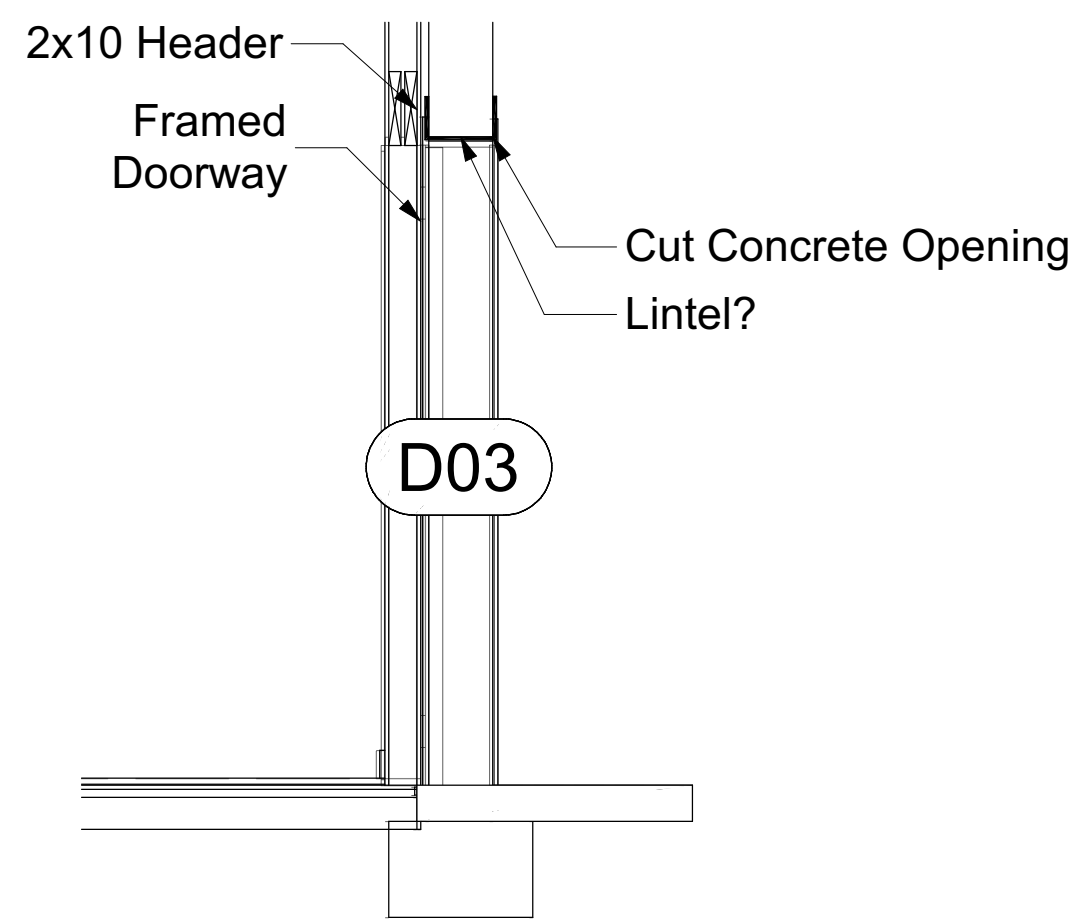
Doorway Section

Stud Wall in Workout Room Behind Concrete Foundation Wall



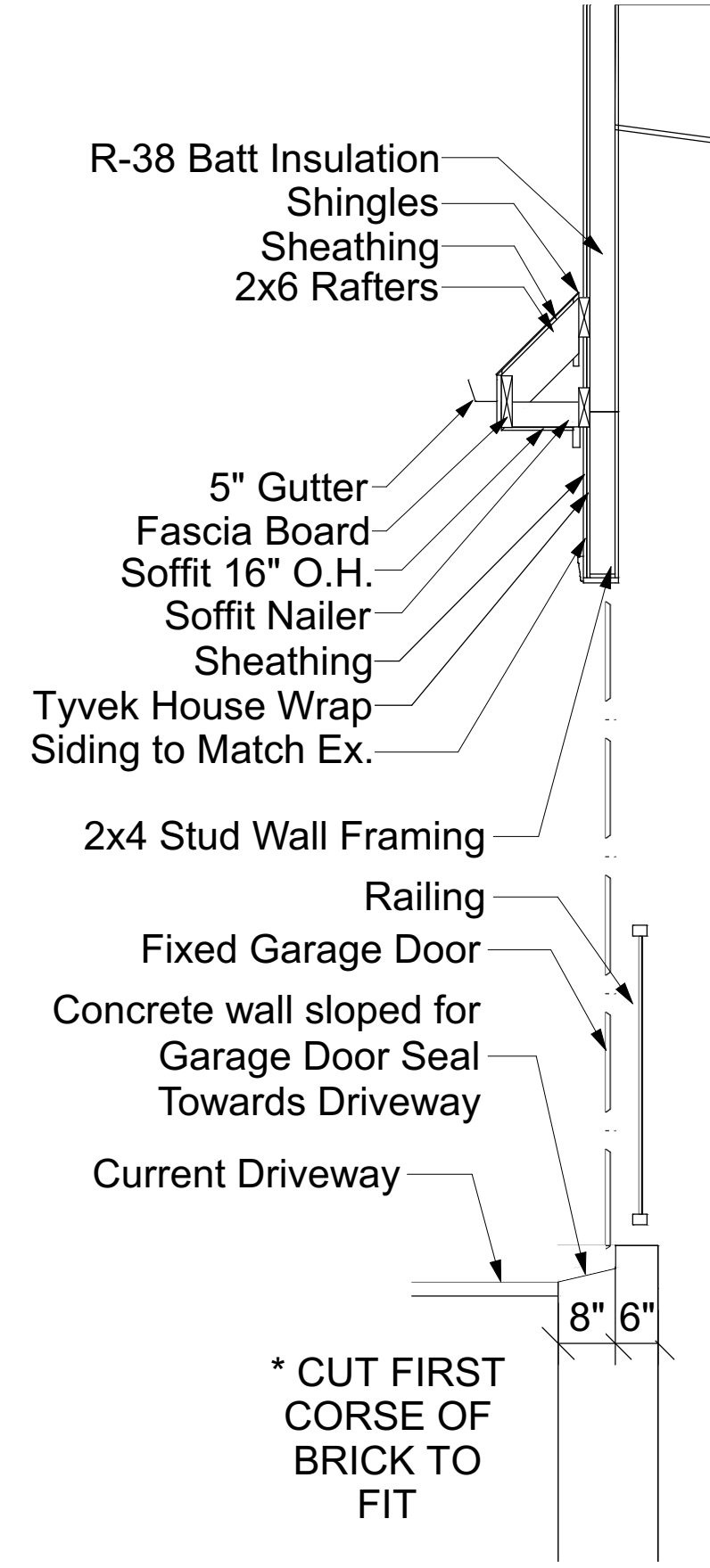
5
A101

Basement Doorway Section



6
A101

Basement Doorway Section



6
A101

Garage Door Section

Foundation / Walls / Roof Sections

Scale: 1/2" = 1'-0"

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SUITE #434
FISHERS, IN 46038
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ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

Date:

REVISION:	DATE:
#1	00.00.00
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PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023

A301



Renderings A202

CONTRACTOR
NICHOLAS
DESIGN + BUILD
12502 PROMISE CREEK LANE
SUITE #434
FISHERS, IN 46038
317.335.4706

ENGINEER
ENGINEER
CONTACT
INFO / STAMP

Claudio Addition
15584 Provincial Lane Fishers, IN 46040
Year Build: 2017

Client Initials:

Date:

REVISION:	DATE:
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#3	.00.00.00.
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PLOT SCALE:
1/4" = 1'-0"

DATE
11/6/2023



Renderings A203

CONTRACTOR

NICHOLAS

DESIGN • BUILD

12502 PROMISE CREEK LANE

SUITE #434

FISHERS, IN 46038

317.335.4706

ENGINEER

ENGINEER

CONTACT

INFO / STAMP

Claudio Addition

15584 Provincial Lane Fishers, IN 46040

Year Build: 2017

Client Initials:

Date:

REVISION: DATE:

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PLOT SCALE:

1/4" = 1'-0"

DATE

11/6/2023

Page 29 of 44



Board of Zoning Appeals Staff Report

Meeting Date: December 20, 2023

DEPARTMENT CONTACT:

Christy Cashin (cashinc@fishers.in.us)

CASE NUMBER:

VA-23-32

PETITIONER:

Joe Logan (joelogan2086@gmail.com)

PROPERTY ADDRESS/LOCATION:

13553 Haven Cove Ln

REQUEST: Consideration of three Development Standards Variances from Section 3.2.3 R2 Development Standards of the City's Unified Development Ordinance (UDO) to allow lot impervious coverage of 52% from 35%, and a variance from Architectural Design Standards, Section 6.3.4.B.3.d. to allow a roof pitch 4/12 from 5/12, and a variance from Architectural Design Standards, Section 6.3.4.B.4.a to allow a front load garage to be set 4' in front of the front facade plane instead of setting back 4' from the front facade plane.

APPLICABLE REGULATIONS:

Sec. 3.2.3, Sec. 6.3.4.B.3.d., Sec. 6.3.4.B.4.a
of the City's Unified
Development Ordinance (UDO)

EXISTING ZONING:

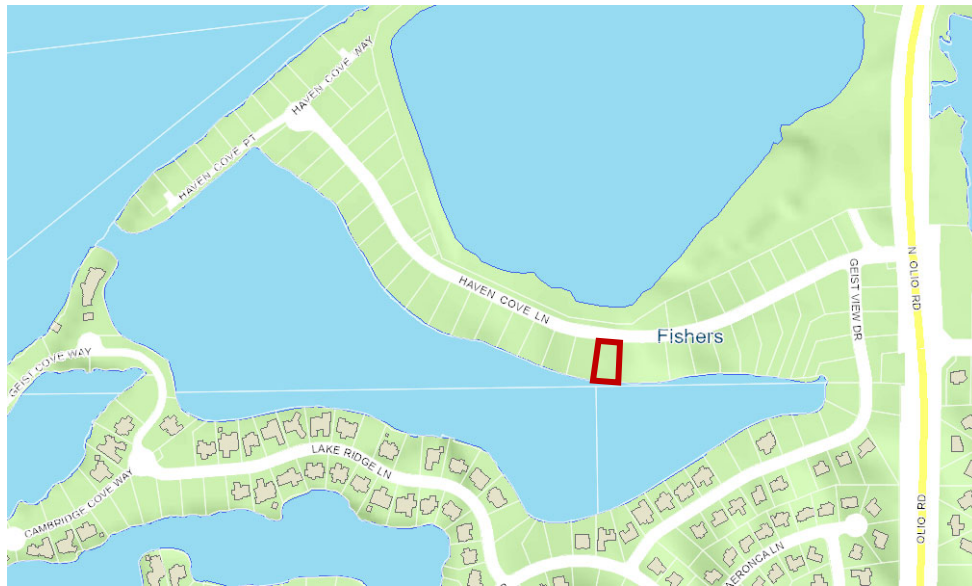
PUDM – Marina PUD

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.43 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

ZONING HISTORY:

The Marina PUD was established on September 7, 2010 (Ordinance 041210). The Marina PUD defaults to the R2 Development Standard from the Unified Development Ordinance (UDO) for impervious surface coverage (UDO Section 3.2.3.B.5b), roof standards (UDO Section 6.3.4.B.3.d.), and automobile storage standards (UDO Section 6.3.4.B.4.a.).

SURROUNDING ZONING & LAND USE:

North: Land Owned by Utility Company for Reservoir

East: PUD-M- Mariana PUD, Single Family Home

South: Geist Reservoir

West: PUD-M- Mariana PUD, Single Family Home



SUMMARY OF PUBLIC COMMENTS:

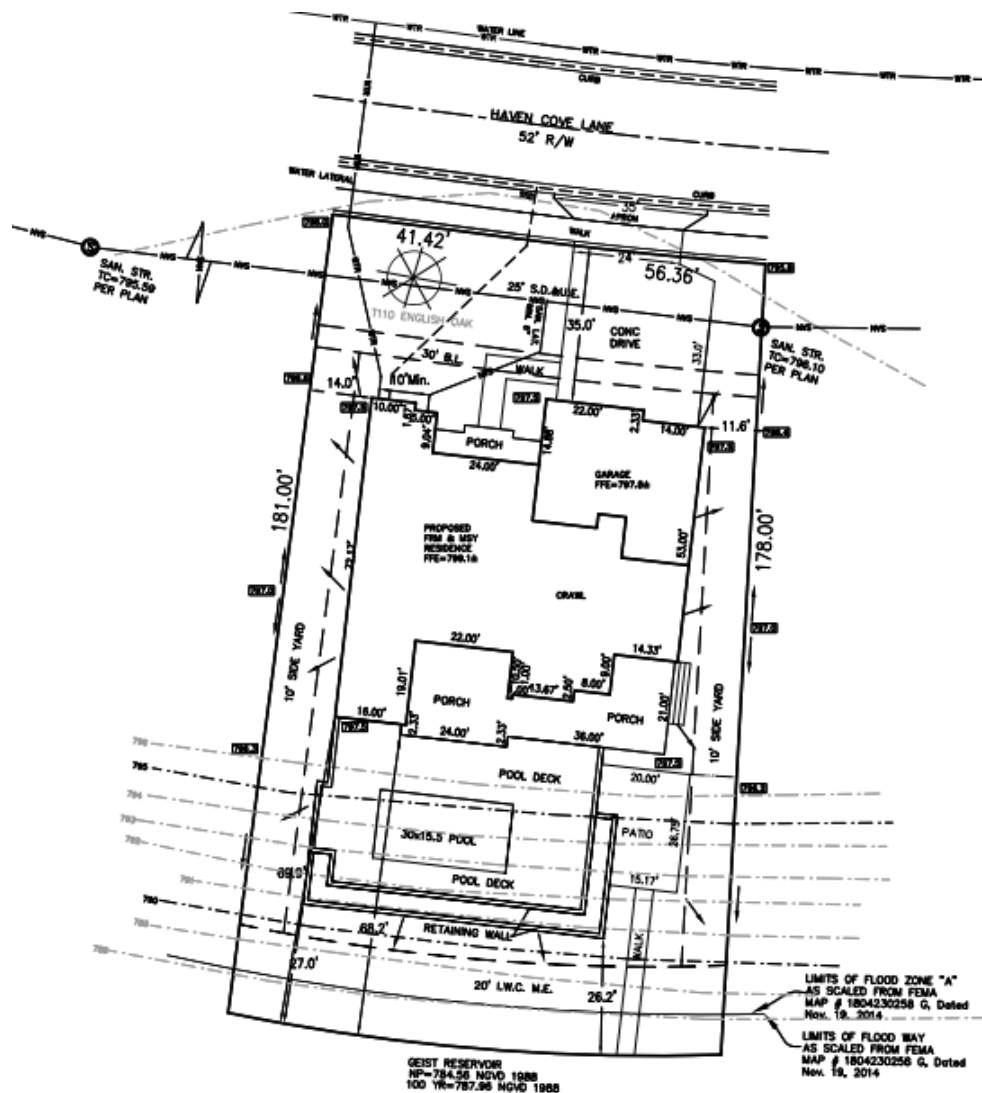
At the time of writing this staff report, no public comments were received.

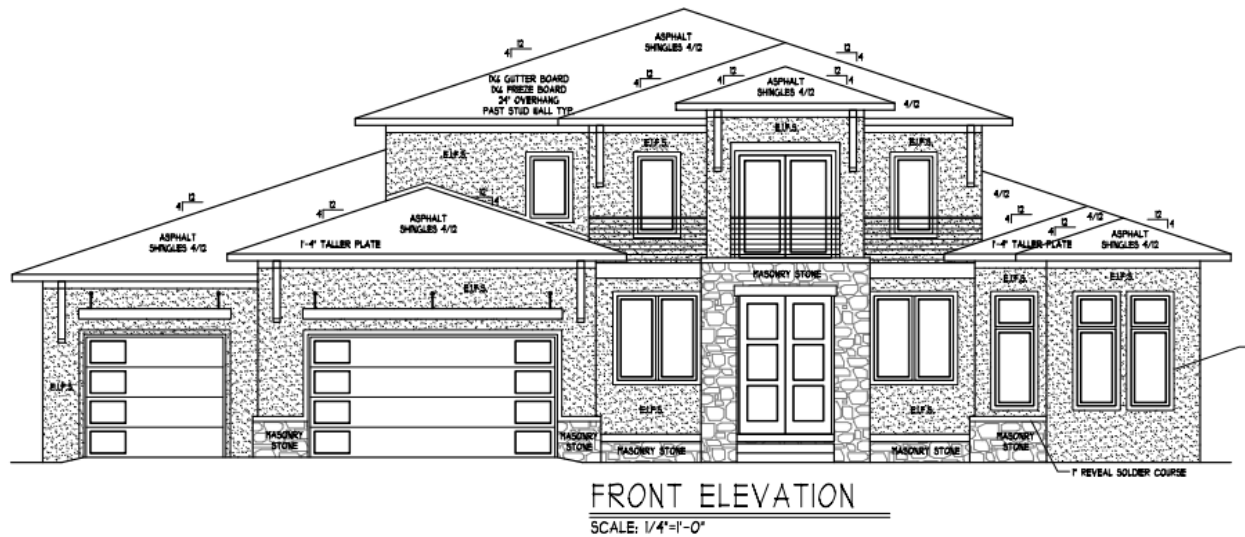
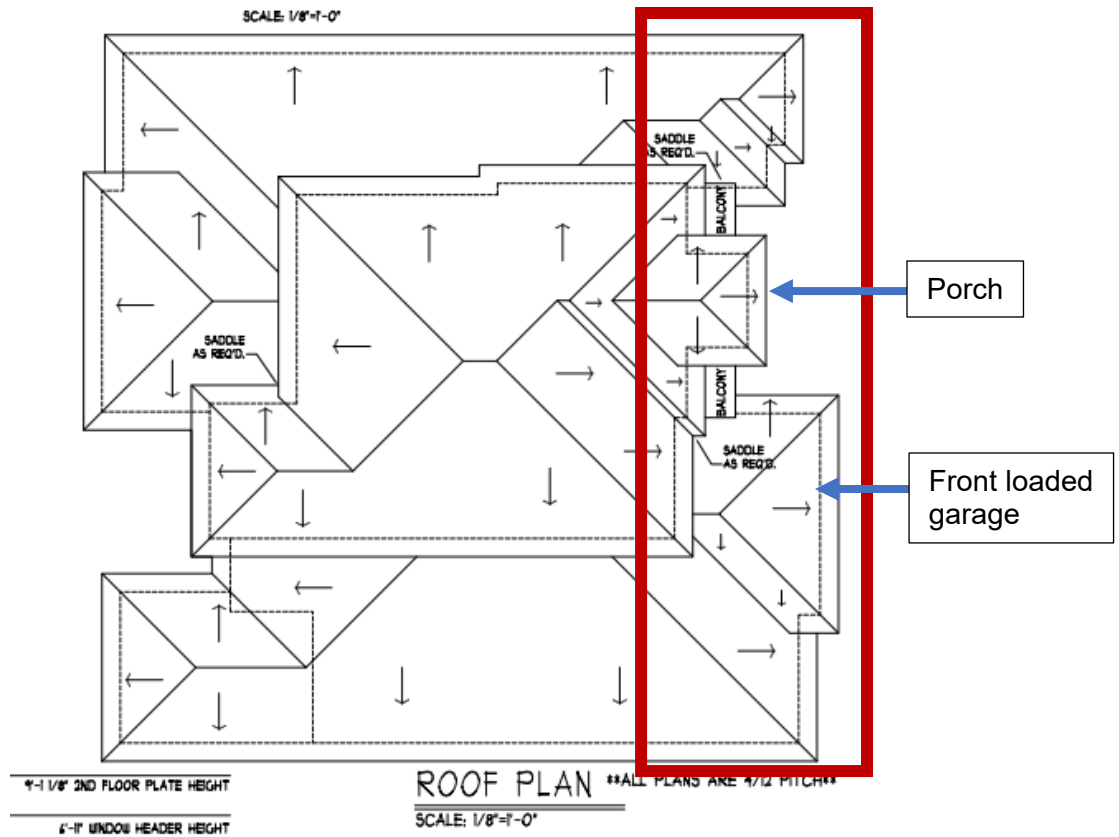
PETITION OVERVIEW:

Summary of Request

Joe Logan, on behalf of Tony and Kathy Ratliff, the lot owner, is requesting Development Standards variances to allow impervious surface coverage of 52% from 35%, a variance to allow a roof pitch 4/12 from 5/12, and a variance to allow a front load garage to be set 4' in front of the front facade plane instead of setting back 4' from the front facade plane.

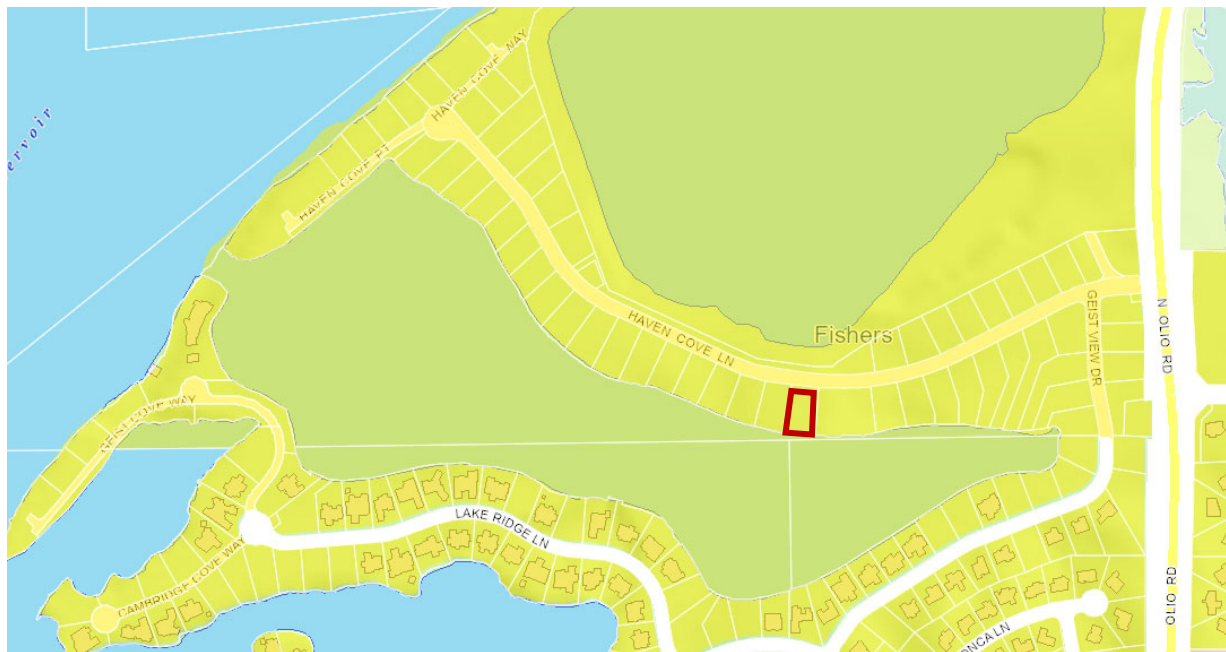
The request for 52% impervious coverage allows for future deck and pool development on the property.





Fishers 2040

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance staff request the following conditions, and any others sought by the Board: The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

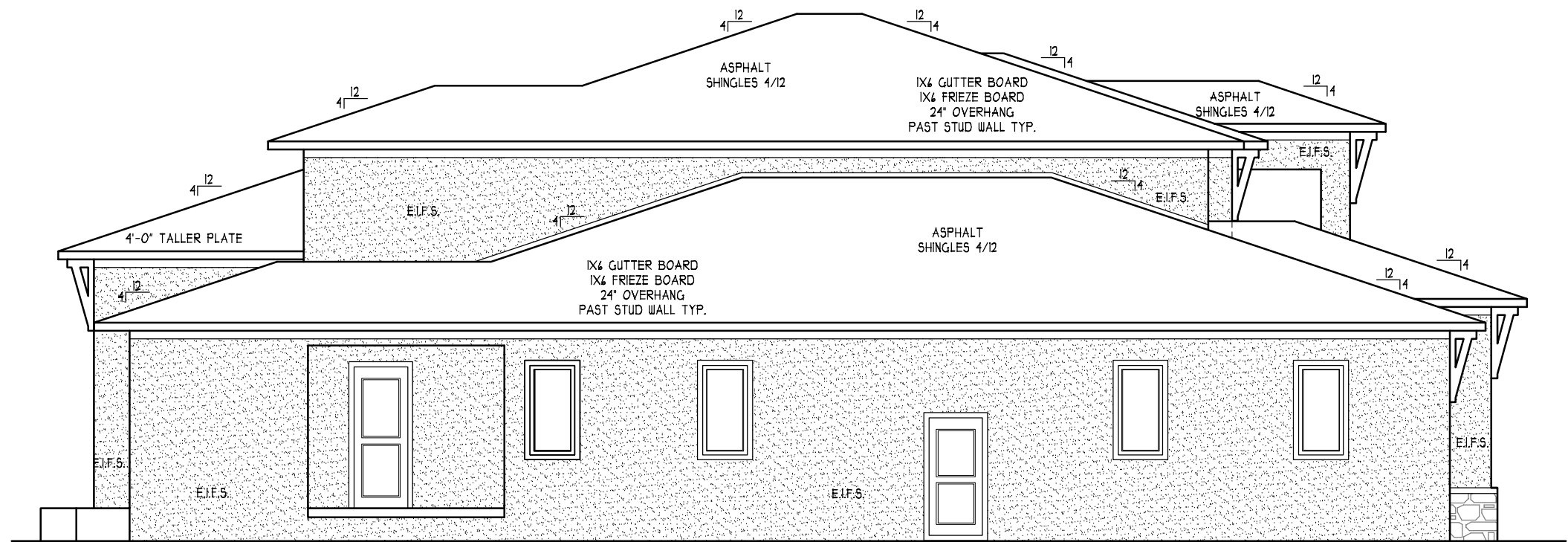
STAFF RECOMMENDATION

☐ Approve

☐ Continue

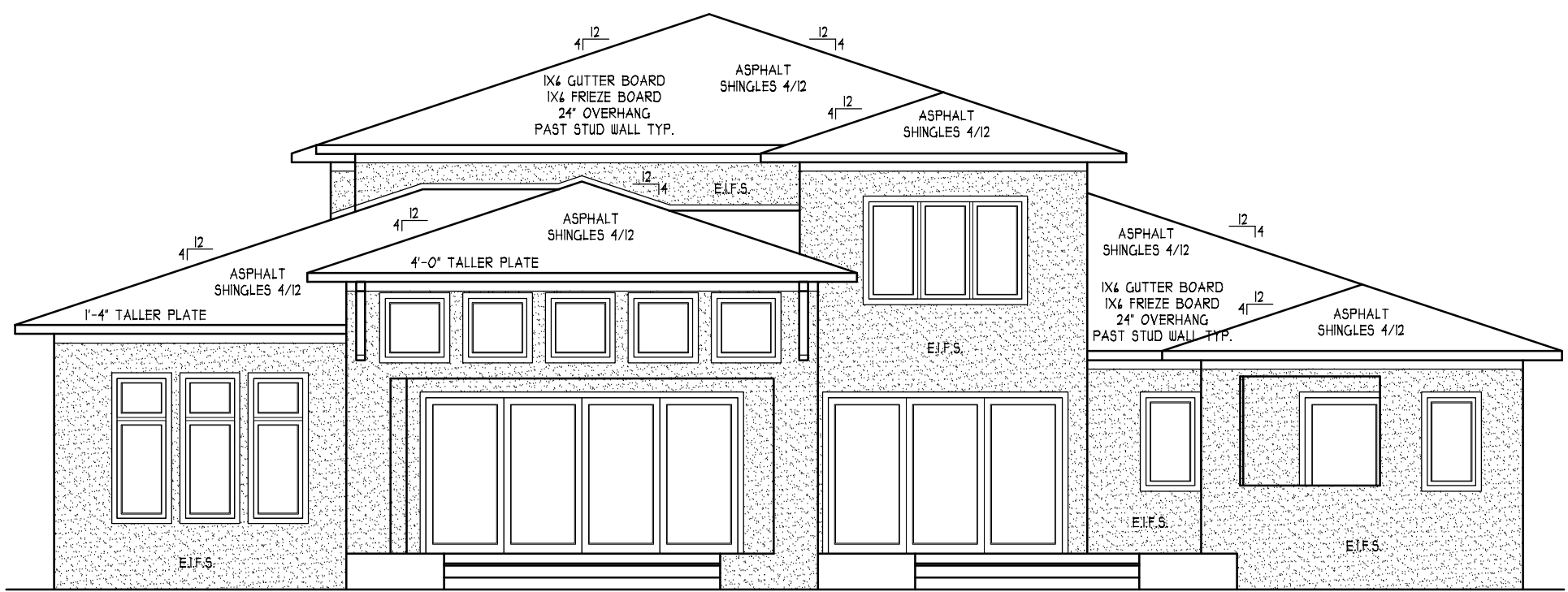
☐ Deny

☒ No Recommendation



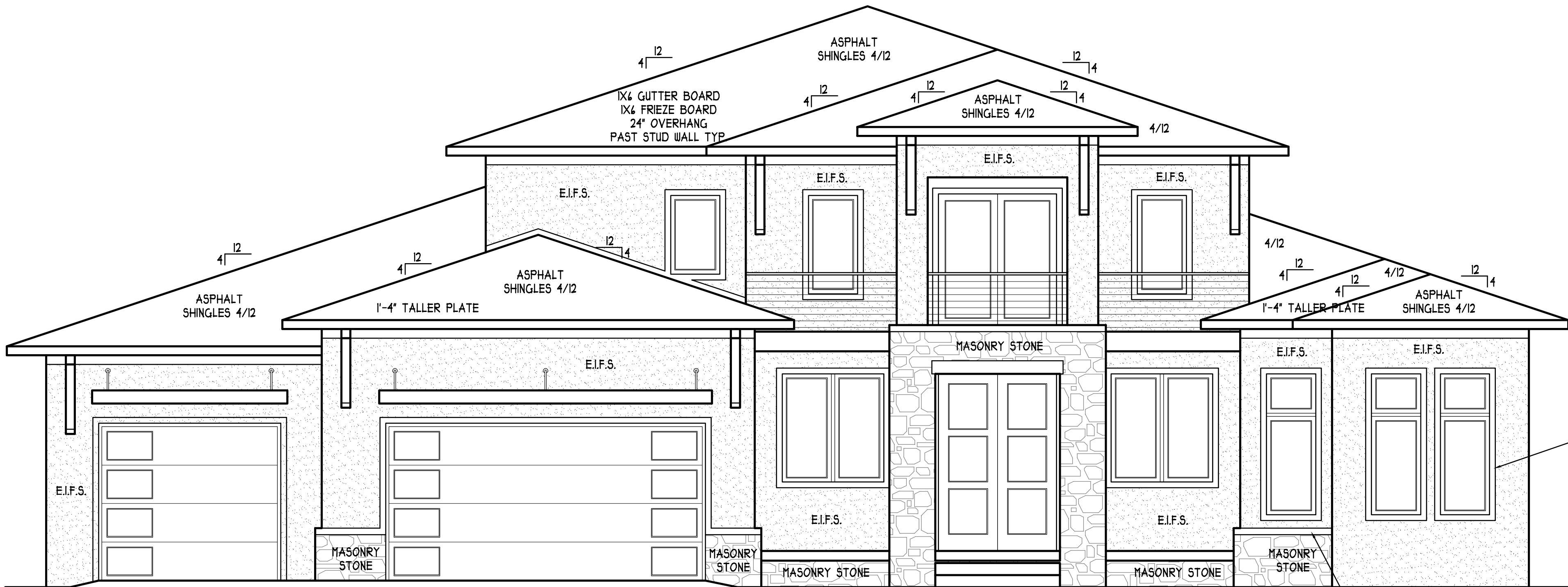
LEFT ELEVATION

SCALE: 1/8"=1'-0"



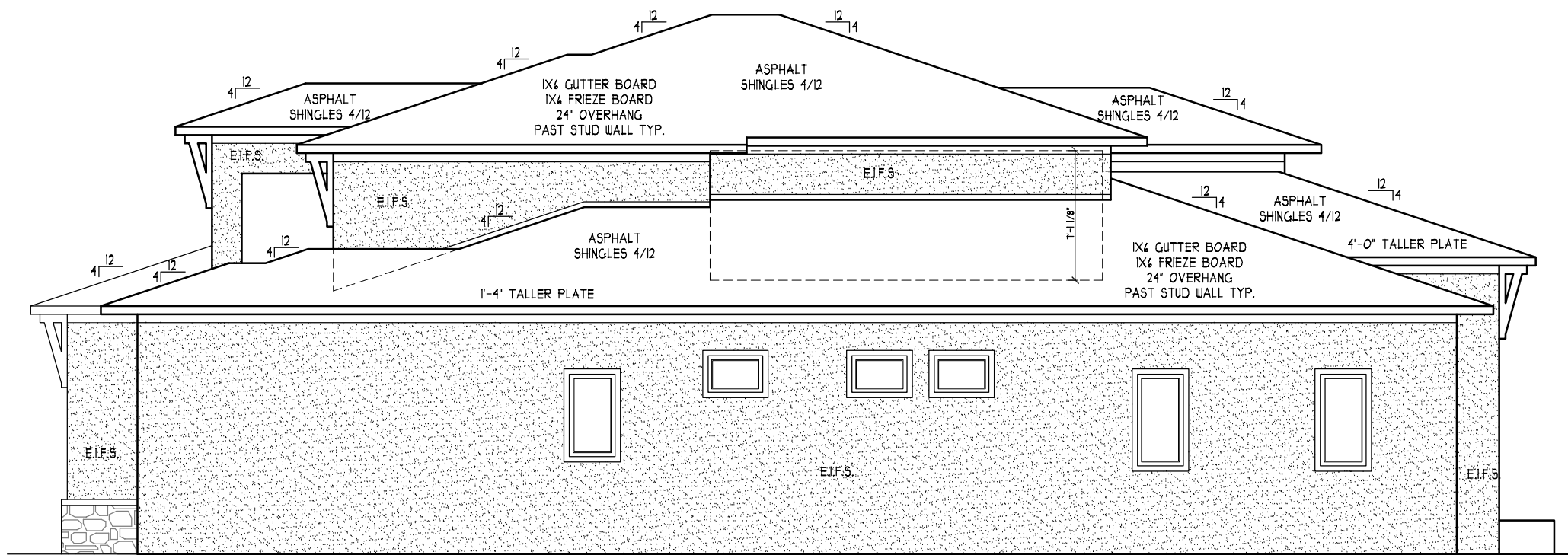
REAR ELEVATION

SCALE: 1/8"=1'-0"



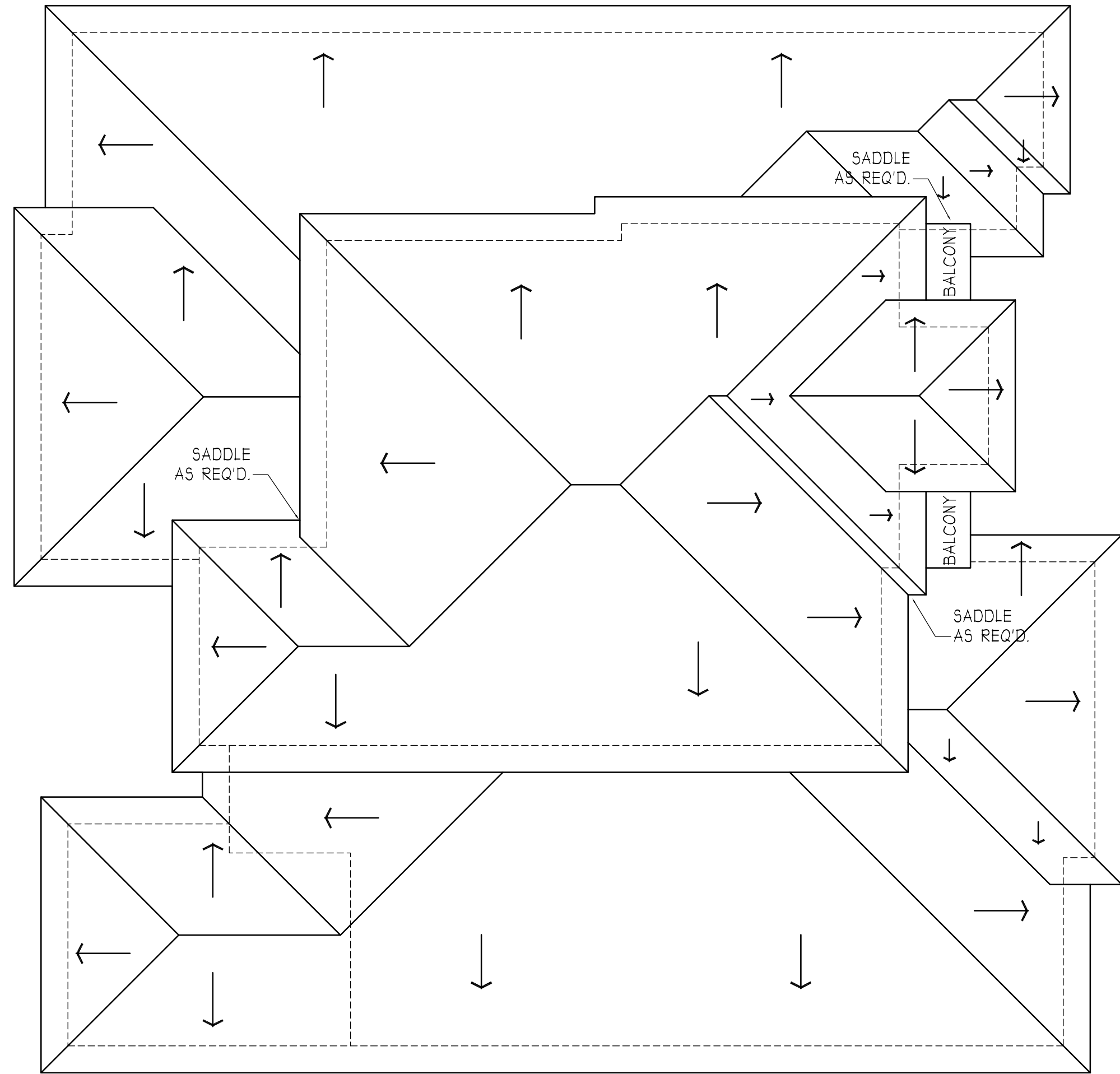
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/8"=1'-0"



ROOF PLAN

ALL PLANS ARE 4/12 PITCH

SCALE: 1/8"=1'-0"

GENERAL ELEVATION NOTES:

1. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
2. VERIFY LOCATIONS, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH BUILDER.
3. ALL ROOF, CHIMNEY AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.

SQUARE FOOTAGE TABLE

FOUNDATION	
CRAWL SPACE	0 SF
FIRST FLOOR	
FINISHED SQUARE FOOTAGE	3275 SF
GARAGE SQUARE FOOTAGE	1042 SF
SCREEN PORCH SQUARE FOOTAGE	462 SF
COVERED PORCH SQUARE FOOTAGE	458 SF
FRONT PORCH SQUARE FOOTAGE	139 SF
SECOND FLOOR	
FINISHED SQUARE FOOTAGE	1125 SF
ATTIC SPACE SQUARE FOOTAGE	450 SF
TOTAL FINISH SQ. FT.	4400 SF
TOTAL SQUARE FOOTAGE	4400 SF

***NOTE**

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL MEMBERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

SCALE	1/4"=1'-0"
DRAWN BY	MUS
CHECKED	MUS

REVISIONS	
DATE	

PROJECT	RATLIFF RESIDENCE
SHEET TITLE	LOT 481 SPRING OF CAMBRIDGE
ELEVATIONS	

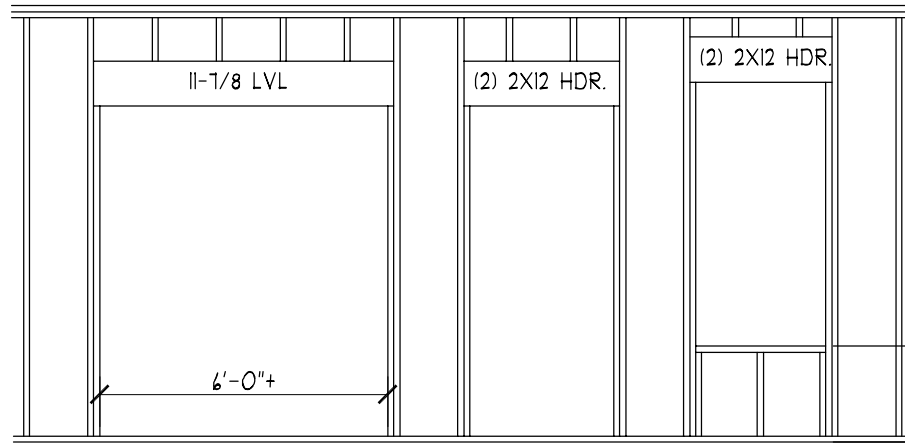
CLIENT INFORMATION	
--------------------	--

SHAW A DESIGN	WHERE DRAFTING MEETS DESIGN
NOBLESVILLE, INDIANA 46060	EMAIL: SHAWADESIGN@GMAIL.COM

SHEET NO	A-1
OF	4
DATE	10/23/23
DWN NO	2

FOUNDATION PLAN

SCALE: 1/4"=1'-0"



WINDOW & DOOR FRAMING DTL.

SCALE: 1/4"=1'-0"

GENERAL FOUNDATION PLAN NOTES:

1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
3. ALL FOUNDATION ANCHORS SHALL BE 4'-0" ON CENTER AND 2 PER CORNER.
4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 4" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
5. ALL WORK IS TO BE PERFORMED AND PROVIDED, TO MEET OR EXCEED LOCAL BUILDING CODES.
6. VERIFY ALL MASONRY LINTEL SIZES AND TYPES WITH BUILDER PRIOR TO PERFORMING WORK.

SQUARE FOOTAGE TABLE

FOUNDATION	
CRAWL SPACE	0 SF
FIRST FLOOR	
FINISHED SQUARE FOOTAGE	3275 SF
GARAGE SQUARE FOOTAGE	1042 SF
SCREEN PORCH SQUARE FOOTAGE	462 SF
COVERED PORCH SQUARE FOOTAGE	458 SF
FRONT PORCH SQUARE FOOTAGE	139 SF
SECOND FLOOR	
FINISHED SQUARE FOOTAGE	1125 SF
ATTIC SPACE SQUARE FOOTAGE	450 SF
TOTAL FINISH SQ. FT.	4400 SF
TOTAL SQUARE FOOTAGE	4400 SF

IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP. TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

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DRAWN BY	MUS
CHECKED	MUS

DATE	REVISIONS

PROJECT	RATLIFF RESIDENCE
	LOT 481 SPRING OF CAMBRIDGE
SHEET TITLE	FOUNDATION PLAN

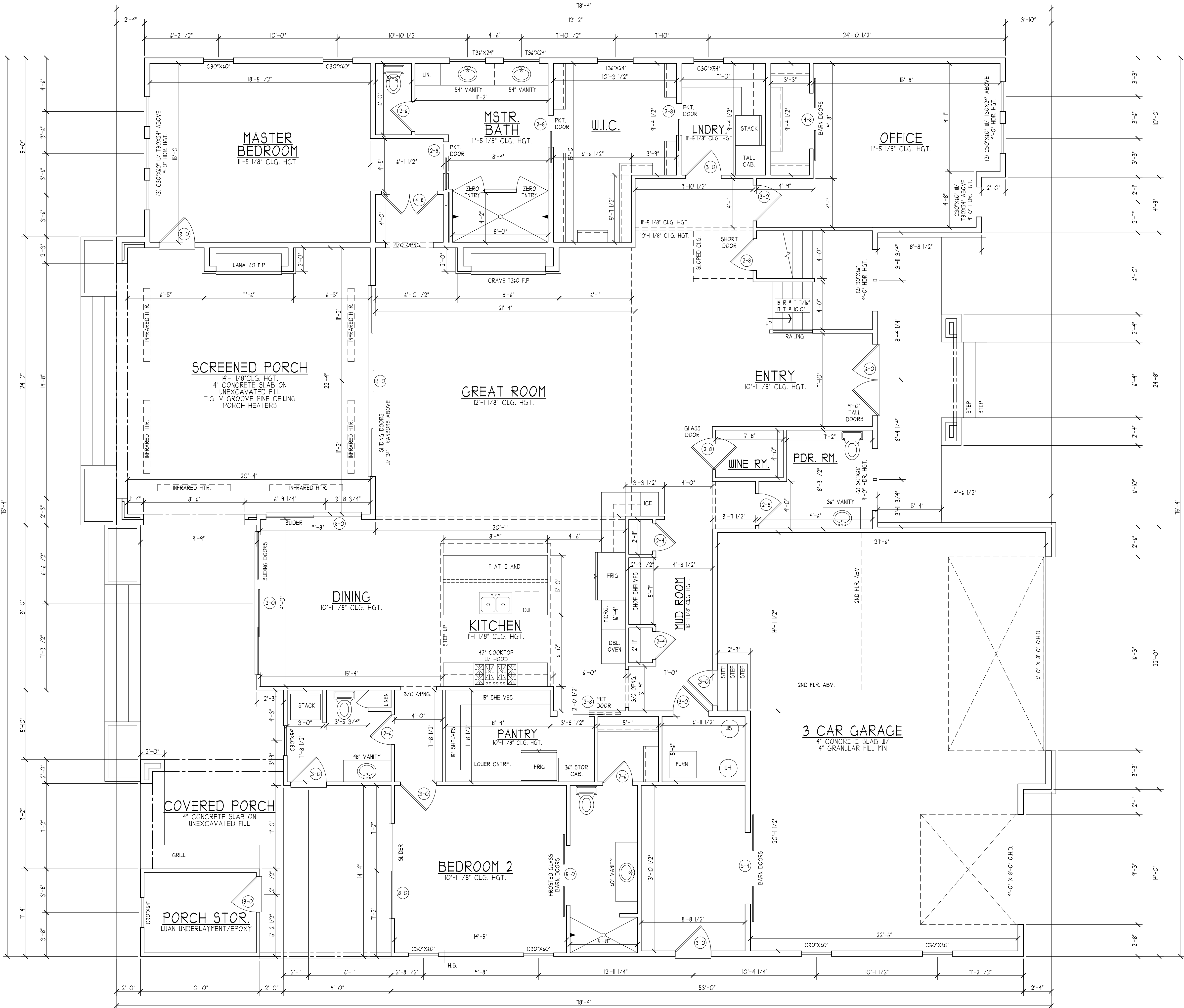
CLIENT INFORMATION

SHAWCAD DESIGN
WHERE DRAFTING MEETS DESIGN
NORFOLK, INDIANA 46060
EMAIL: SHAWCADDESIGN@GMAIL.COM

SHEET NO	A-2
OF	4
DATE	10/23/23
DWN NO	2

FIRST FLOOR PLAN

SCALE: 1/4"=1'-0" WALL HEIGHT - 10'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X6 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X6 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- CONFIRM ALL HEADER HEIGHTS AND SIZES PRIOR TO START OF FRAMING. ALL OPENINGS ARE TO BE 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE.
- VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH OWNER/BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
- VERIFY LOCATION, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH OWNER/BUILDER.
- INSULATE HIDDEN AREAS OR ASSEMBLIES BEFORE COVERING.
- BUILDER/LUMBER SUPPLIER SHALL SPECIFY SIZES OF DIMENSIONAL LUMBER FOR FLOOR AND ROOF SYSTEMS. NOTIFY BUILDER/LUMBER SUPPLIER IMMEDIATELY OF ANY DISCREPANCIES.
- STEEL LINTELS OR WOOD BEARING AREAS, PROPERLY SIZED, ARE TO BE PROVIDED OVER ALL OPENINGS TO SUPPORT MASONRY VENEER.
- ALL ROOF AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.
- ALL BEDROOM EGRESS WINDOWS TO MEET MIN. CLEAR OPENING OF 5.7 FT2 UNLESS NOTED OTHERWISE. ONE WINDOW MINIMUM NEEDED PER BEDROOM.

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NOTES
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8'-0" TALL DOORS ON FIRST FLOOR

SCALE	1/4"=1'-0"
DRAWN BY	MUS
CHECKED	MUS

DATE	REVISIONS

PROJECT	RATLIFF RESIDENCE
	LOT 481 SPRING OF CAMBRIDGE
SHEET TITLE	FIRST FLOOR PLAN

CLIENT INFORMATION

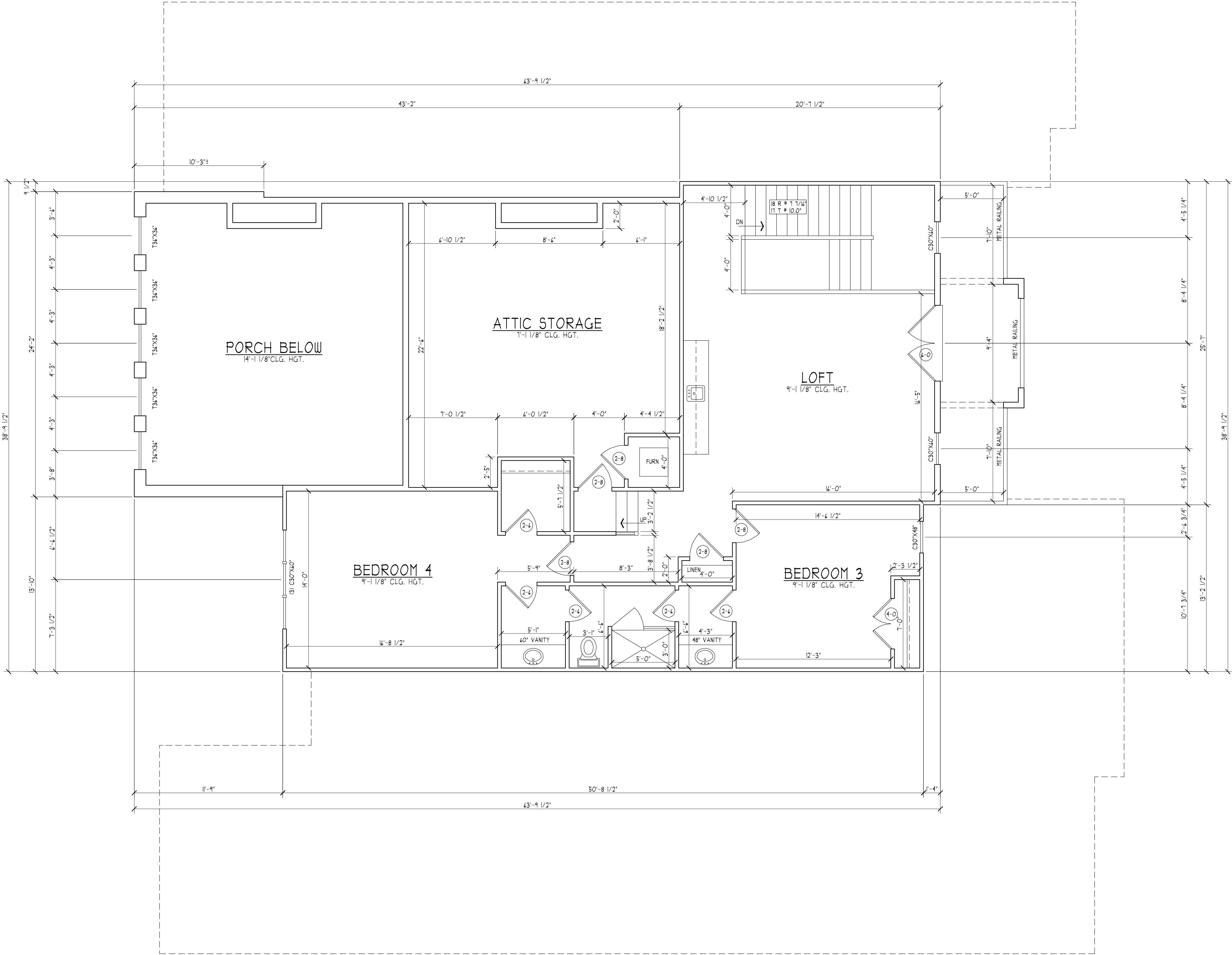
SHAW DESIGN
WHERE DRAFTING MEETS DESIGN
NORFOLK, INDIANA 46060
EMAIL: SHAWDESIGN@GMAIL.COM

SHEET NO	A-3
OF	4
DATE	10/23/23
DWN NO	2

SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

WALL HEIGHT - 8'-1 1/8"



GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR WALLS ARE 2X4 OR 2X4 AS SHOWN. EXTERIOR WALLS ARE 2X4 OR 2X4 W/ ONE LAYER OF 1/2" SHEATHING. ALIGN EXTERIOR OF SHEATHING WITH FOUNDATION WALL. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
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DRAWN BY	MUS
CHECKED	MUS

DATE	REVISIONS

PROJECT	RATLIFF RESIDENCE
SHEET TITLE	LOT 481 SPRING OF CAMBRIDGE
	SECOND FLOOR PLAN

CLIENT INFORMATION

SHAWCAD DESIGN
WHERE DRAFTING MEETS DESIGN
NORFOLK, VIRGINIA 23502
EMAIL: SHAWCADDESIGN@GMAIL.COM

SHEET NO	A-4
OF	4
DATE	10/23/23
DWN NO	2

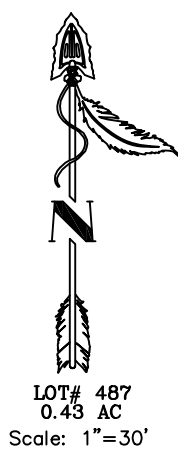
PLOT PLAN

Prepared For:
Timothy Homees, LLC

Property Description:

Lot Number 487 in The Springs of
Cambridge, Section 12, an Addition
in Hamilton County, Indiana, as per
plat thereof recorded as Instrument
Number 2008023949 found in the
Office of the Recorder of Hamilton
County, Indiana.
Address: 13553 Haven Cove Lane

000.0	PROPOSED GRADE PER PLAN
—	GROUND WATER FLOW
—	SUBJECT PROPERTY
—	CENTER LINE
—	RIGHT OF WAY
—	FLOW LINE OF SWALE
—	SANITARY SEWER LINE
— STM —	STORM SEWER LINE
—	SUB SURFACE DRAIN
—	EASEMENT LINE
—	BUILDING SETBACK LINE
—	CONTOUR MINOR
—	CONTOUR MAJOR
— SF —	SILT FENCE



MINIMUM SETBACKS

Min. Side = 10 Feet
Min. Rear = 20 Feet
or at Elevation 787.96 (NAVD 88)
Whichever is Greater

LOCATION OF UTILITIES AND THE
LATERALS ON PLOT PLAN ARE
GENERAL LOCATIONS PER PLAN AND
SHOULD BE VERIFIED IN THE FIELD.

THIS PLOT PLAN WAS PREPARED BASED
ON INFORMATION TAKEN FROM RECORD
PLATS, SUBDIVISION PLANS, RECORD
DRAWINGS AND PLANS PROVIDED BY
CLIENT. IT IS THE RESPONSIBILITY OF
THE CONTRACTOR TO VERIFY SITE
CONDITIONS PRIOR TO CONSTRUCTION
AND NOTIFY HOME BUILDER SERVICES
LLC OF ANY DISCREPANCIES.

EROSION CONTROL NOTE:

1. Builder shall maintain in good repair all existing erosion control measures necessary to soil erosion for said site during the construction period. Refer to the erosion control for the home builder publication by IDNR Division of Soil Conservation for additional information.
2. Finished grades to be in conformance with subdivision grading plan and plot plan; Excess soil to be disposed of in approved fill area.
3. All sediment tracked onto roadway to be removed by scraping at the end of each work day.
4. All disturbed areas to be permanently seeded after finished grading has occurred.
5. All sediment control practices to be maintained during construction process to ensure proper functioning.

MINIMUM NUMBER OF TREES ON LOT IS 3 AND 1 NEEDS TO BE A CANOPY TREE.

- 1) THE FOUNDATION PLANTINGS SHALL BE LOCATED WITHIN 20 FEET OF THE FOUNDATION WALL.
- 2) AT LEAST 1 SHRUB AND/OR ORNAMENTAL TREE SHALL BE PLANTED EVERY 10 LINEAL FEET OF BUILDING CIRCUMFERENCE. NON-RESIDENTIAL BUILDINGS MAY BE EXCLUDE THE DOCK OPENINGS.
- 3) ALL LOTS SHALL HAVE MINIMUM OF 4 SHRUBS PLANTED ALONG THE FOUNDATION FACING ALONG THE FOUNDATION FACING A STREET. CORNER LOTS SHALL INSTALL 4 SHRUBS PER SIDE FACING STREET.

NOTE:
BUILDER TO ENSURE POSITIVE
FLOW AWAY FROM STRUCTURE.

CONTOURS DEPICTED ARE EXISTING
CONDITIONS PER SITE DEVELOPMENT
PLAN.

NOTE: PER HSE'S
"STANDARDS FOR DESIGN
AND CONSTRUCTION OF
BUILDING SEWERS" THE
LOWEST ELEVATION TO HAVE
GRAVITY SANITARY SERVICE
MUST BE A MINIMUM OF
ONE (1) FOOT ABOVE THE
LOWEST TOP OF CASTING
ELEVATION OF EITHER THE
FIRST UPSTREAM OR
DOWNSTREAM MANHOLE ON
THE PUBLIC SEWER TO
WHICH THE CONNECTION IS
TO BE MADE.
IF THE VERTICAL
SEPARATION CANNOT BE
MAINTAINED, THEN THE
HOMEOR BUILDINGOWNER
MUST INSTALL EITHER AN
I&A TANK OR A
GRINDER/EFFLENT PUMP

NOTE: ELEVATIONS MUST BE
SET TO ENSURE DRAINAGE
AWAY FROM MANHOLES AND
TOP OF CASTING
ELEVATIONS SET AT TWO
TENTH (0.20) FEET ABOVE
FINISHED GRADE

HSE DOES NOT PERMIT
CLEAR WATER SOURCES TO
DISCHARGE INTO SANITARY
SEWERS.

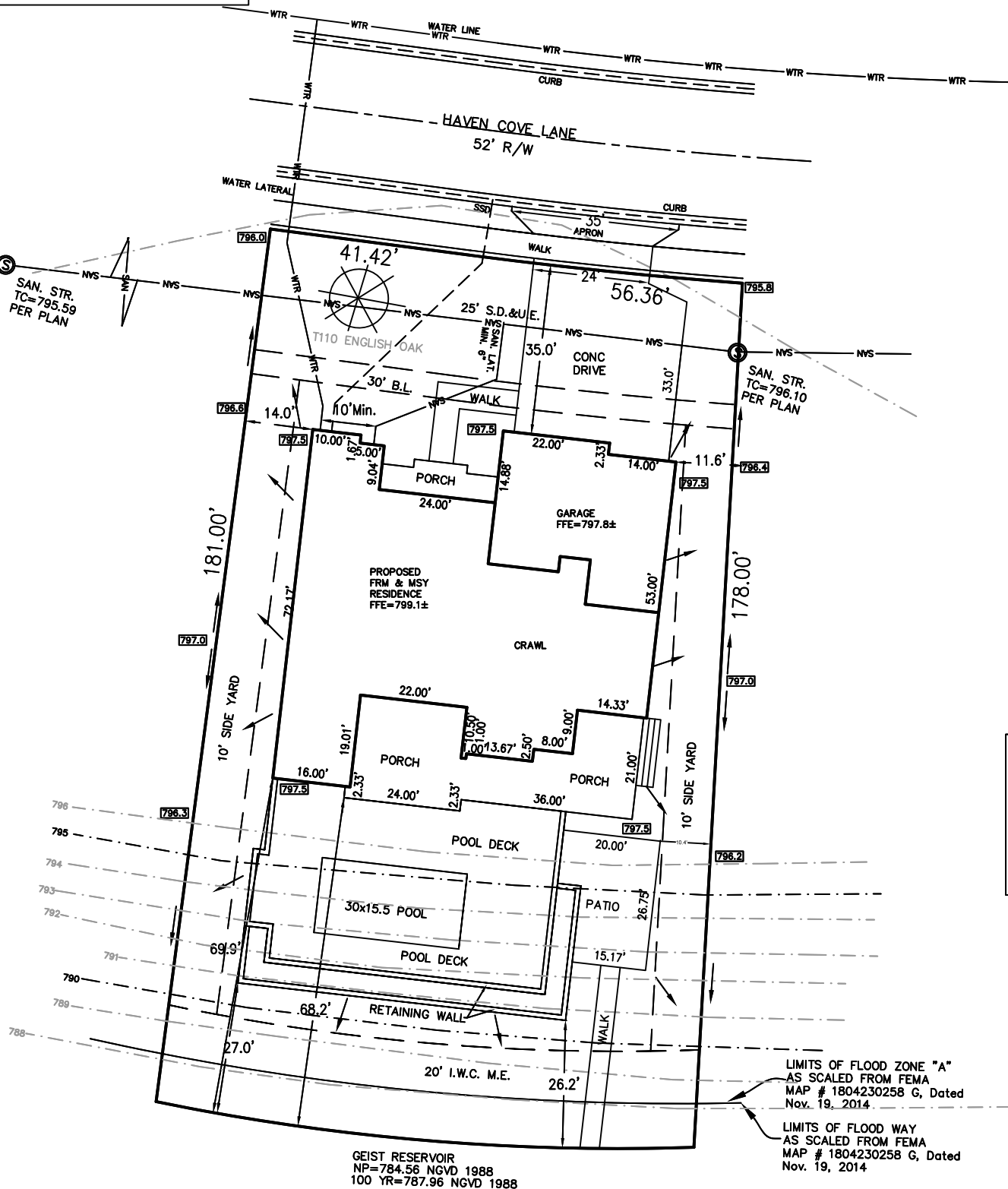
NOTE: PAVEMENT OR
CONCRETE, INCLUDING
DRIVEWAYS AND SIDEWALKS,
MUST NOT BE CONSTRUCTED
ON OR WITHIN ONE(1) FOOT
HORIZONTAL DISTANCE OF
ANY SANITARY SEWER
CASTING. THE ONLY
EXCEPTION IS A TYPE 2
CLEAN-OUT CASTING IN A
SIDEWALK OR DRIVEWAY.

NOTE: THE 100 YEAR BASE
FLOOD ELEVATION FOR THIS
LOT IS 787.96 (PER
DEVELOPMENT PLAN
PREPARED BY CRIPE
ARCHITECTS AND ENGINEERS.

NOTE: THE FPG (FLOOD
PROTECTION GRADE) FOR THIS
LOT IS 789.96 (PER
DEVELOPMENT PLAN
PREPARED BY CRIPE
ARCHITECTS AND ENGINEERS).

LOT COVERAGE
LOT = 18,917 S.F.
RESIDENCE AND DRIVE = 6,639 S.F.
POOL, PATIO, PRI WALK & POOL
DECK= 3,439 S.F.

LOT COVERAGE=53.3%



LIMITS OF FLOOD ZONE "A"
AS SCALED FROM FEMA
MAP # 1804230258 G, Dated
Nov. 19, 2014

LIMITS OF FLOOD WAY
AS SCALED FROM FEMA
MAP # 1804230258 G, Dated
Nov. 19, 2014

GEIST RESERVOIR
NP=784.56 NGVD 1988
100 YR=787.96 NGVD 1988



Date: Aug. 21 2023



BROOKS
PARK

Buckling Horse Ct

FARMS
AT
BROOKS
PARK

Kings Horse Way

13-15-12-00-39-022.000
0 Win Star Way

Backstretch Row

Winning Ticket Ct

13-15-12-00-54-027.000
0 Winning Ticket Ct

13-16-07-00-08-039.000
0 Copper Saddle Bend

13-15-12-00-00-013.004
0 E 96th St

13-15-12-00-00-013.005



Board of Zoning Appeals Staff Report

Meeting Date: December 20, 2023

DEPARTMENT CONTACT:

Gabrielle Herin (hering@fishers.in.us)

CASE NUMBER:

VA-23-33

PETITIONER:

Amanda Deardorff
(adeardorff@fischerhomes.com)

PROPERTY ADDRESS/LOCATION:

Brooks Park Subdivision, generally located
along Backstretch Row and Winning Ticket Ct

REQUEST: Approval of a Variance of Development Standards from the Southeast Fishers Planned Development Ordinance #100305E, as amended to increase the maximum permitted lot coverage from 35% to 45% for 13 proposed single-family homes of the Brooks Park Subdivision.

APPLICABLE REGULATIONS:

Exhibit H of Ord. No.
100305E

EXISTING ZONING:

Southeast Fishers PUD
(Ord. No. 100305E)

FISHERS 2040:

Suburban Residential

LOT SIZE: Approx. 4.71 acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

ZONING HISTORY:

This area of the Brooks Park Subdivision was rezoned to PUD-M in 1980 as part of the Southeast Fishers PUD. The 23 specific parcels are part of the area consisting of traditional single-family homes or Area B-1 (Ord. No. 100305E).

In August 2023, the current petitioner received an approval to increase the maximum permitted height of the abovementioned parcels from 35 feet to 40 feet for proposed single-family homes.

SURROUNDING LAND USE & ZONING:

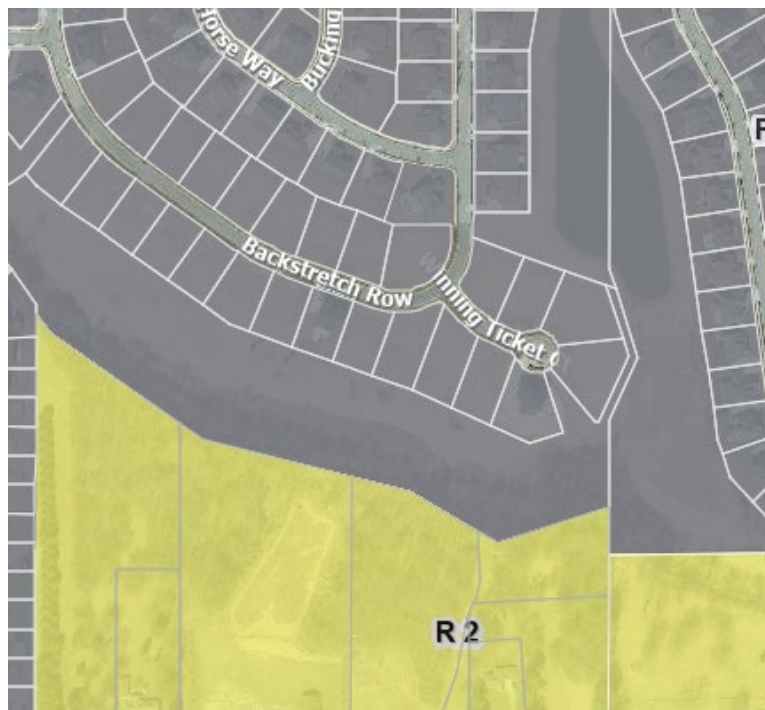
North: PUD-M- Traditional Single Family

East: PUD-M- Traditional Single Family

South: R-2-Place of Worship, Un-platted Single Family Residential, Woods.

West: PUD-M- Traditional Single Family

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

Fischer Homes purchased 23 lots of the Brooks Park Subdivision (within the Southeast Fishers PUD) from a custom home builder. The petitioner realized that at least two homes exceeded the maximum impervious surface area of the existing PUD during the residential permit process. After reviewing all the lots, they found 13 would exceed the impervious surface area: 120, 124, 125, 173, 174, 175, 177, 179, 180, 182, 184, 185, and 187. The petitioner applied to increase the maximum permitted impervious surface area of those 13 lots from 35% to 45%.

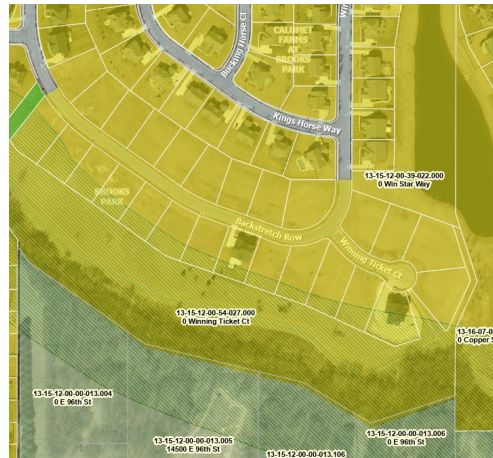
The following lots have submitted for a Residential Building Permit and are not meeting the PUD impervious surface area maximum along with their associated address:

- Lot #120: 9698 Winning Ticket Court
- Lot #175, 9836 Backstretch Row

The following are the lots that will not meet the PUD impervious surface area maximum along with their associated address:

- Lot #124: 9697 Winning Ticket Court
- Lot #125: 9863 Win Star Way
- Lot #173, 9876 Backstretch Row
- Lot #174, 9856 Backstretch Row
- Lot #177, 9798 Backstretch Row
- Lot #179, 9758 Backstretch Row
- Lot #180, 9777 Backstretch Row
- Lot #182, 9817 Backstretch Row
- Lot #184, 9857 Backstretch Row
- Lot #185, 9877 Backstretch Row
- Lot #187, 9917 Backstretch Row

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



Staff has no recommendation for this request.

- The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation