



CITY OF FISHERS AGENDA

In accordance with the Americans with Disabilities Act (ADA), the City of Fishers will, upon request, provide appropriate aid (i.e. interpreters) and/or assistance leading to effective participation for people with disabilities. Anyone who requires such assistance should [email Kelly Lewark](#), Office Manager, no later than 48 hours before the scheduled event or call at (317) 595-3487.

The public may [stream the meeting online](#). Members of the public may [submit comments online](#).

BOARD/COMMISSION: Board of Zoning Appeals – Fishers Meeting

DATE: 6/26/2024, at 6:00 PM

DIRECTIONS: Launch Fishers, 12175 Visionary Way, Fishers, Indiana 46038

- 1. Call to order / Pledge of Allegiance**
- 2. Roll Call**
- 3. Approval of Previous Minutes**
 - a. 5-22-24 DRAFT
- 4. Public Hearings**
 - a. **14047 Northcoat Place Short Term Rental Special Exception**
Parcel: 13-11-22-00-09-021.000
Address: 14047 Northcoat Place Fishers, IN 46038
Case: 117623
Request: Consideration of a Special Exception to allow for a short-term rental use (E.g., Airbnb, Vrbo) on a property zoned for Single Family Residential zoned R5 – Residential.
Petitioner: Andrew Wert (awert@cchalaw.com) on behalf of the property owners
Planner: Ross Hilleary (hillearyr@fishers.in.us)

- b. **14398 Worthington Blvd Variance**
Parcel: 19-11-20-01-05-034.000
Address: 14398 Worthington Blvd
Case: VA-24-11
Request: Consideration of a Development Standards Variance from Section 6.3.4.B.4.a. Residential Design of the City's Unified Development Ordinance (UDO) to allow a front loaded garage 10 feet in front of the front façade, from the 4 foot behind the front façade setback requirement.
Petitioner: John Cross (john@wootonhoylelaw.com)
Planner: Christy Cashin (cashinc@fishers.in.us)
- c. **Holiday Inn Express at 106th & Kincaid Variance**
Parcel: 15-14-12-00-21-001.000
Address: 10570 Kincaid Dr
Case: VA-24-13
Request: Consideration of Development Standards Variance from Section 6.11.3.B.3. Parking & Loading Standards of the City's Unified Development Ordinance (UDO) to allow 5 foot setback on the south and an 4 foot setback on the west side of the property, from the 10 foot setback requirement. Also, the consideration of Development Standards Variance from Section 6.11.8. Off Street Parking Schedule of the UDO to allow a reduction in parking from 103 required to 89 proposed.
Petitioner: E. Davis Coots (dcoots@chwlaw.com)
Planner: Christy Cashin (cashinc@fishers.in.us)
- d. **13302 Haven Cove Ln – Yepes Family Variances**
Parcel: 13-15-02-00-25-012.000
Address: 13302 Haven Cove Ln
Case: VA-24-12
Request: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 45%, and to permit small sections of 4.5/12 roof pitch instead of the minimum 5/12 roof pitch required for a new single family home and pool deck.
Petitioner: Joe Logan (joelogan2086@gmail.com)
Planner: Gabrielle Herin (hering@fishers.in.us)
- e. **13662 Kingston Dr – Martin Pool Party Variance**
Parcel: 13-15-11-00-17-039.000
Address: 13662 Kingston Drive
Case: VA-24-14
Request: Consideration of a Development Standards Variance from UDO Section 3.2.3 to increase the maximum allowed impervious surface percentage from 35% to 45% for a proposed pool.
Petitioner: Troy Terew (troy@truenorthindy.com)
Planner: Gabrielle Herin (hering@fishers.in.us)

- 5. New Business**
- 6. Staff Communication**
- 7. Board Signatures – Findings of Fact**
- 8. Adjournment**

**CITY OF FISHERS
BOARD OF ZONING APPEALS
MINUTES
LAUNCH FISHERS AUDITORIUM
May 22, 2024**

The Board of Zoning Appeals convened at 6:00 p.m.

A roll call was taken. Members present: Steve Ferrucci, Tom Grinslade, Howard Stevenson. Jeffrey Silvey and Greg Lannan were not present.

Others present: Ross Hilleary, Kevin Martin, Kay Prange, Rob McMurray, Christy Cashin, Gabrielle Herin, Rodney Retzner, Greg and Kim Troyer, John Coy, Randy Buhr, Charlie Watson

Mr. Ferrucci confirmed quorum and called the meeting to order. Mr. Ferrucci explained to the Petitioners that since there were only 3 members present, that we had a quorum for the meeting, but decisions would have to be unanimous. All Petitioners agreed to proceed.

Mr. Ferrucci asked for a Motion for the approval of the previous minutes. Mr. Stevenson made a Motion to approve, seconded by Mr. Grinslade. The Minutes were approved, 3-0.

Public Hearings:

a. 10929 Innisbrooke Lane

Parcel: 19-15-09-00-14-019.000

Address: 10929 Innisbrooke Lane

Case: VA-24-9

Request: Consideration of a Development Standards Variance from Section 3.2.4 R3 Development Standards of the City's Unified Development Ordinance (UDO) to increase the maximum permitted impervious surface area from 40% to 48%.

Petitioner: John Coy (john@coylandscaping.com)

Planner: Christy Cashin (christyc@fishers.in.us)

John Coy and Christy Cashin presented the Variance request for a pool and deck. Fishers Stormwater has reviewed and no comments from the Public have been received. Staff has no recommendation.

Mr. Ferrucci opened the Public Hearing. As there was no one from the Public to speak, he closed the Public Hearing.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve the recording of the approval with the County, seconded by Mr. Stevenson. The Motion was approved, 3-0.

b. 13423 Nottingham Road

Address: 13423 Nottingham Road

Case: VA-24-10

Request: Consideration of a development standard variance to allow a 33-foot setback, where the minimum setback allowed is 40-feet. The petitioner is also requesting a development standard variance to allow a garage 7 feet in front of the front façade.

Petitioner: Gregory and Kim Troyer

Planner: Grace Wiley (wileyg@fishers.in.us)

Greg Troyer and Grace Wiley presented the Variance request to move the garage 7 feet closer to the ROW. The HOA has approved. Staff has no recommendation. No Public Comments have been received.

Mr. Ferrucci opened the Public Hearing. As there was no one from the Public to speak, he closed the Public Hearing.

Mr. Ferrucci asked for a Motion. Mr. Stevenson made a Motion to approve the recording of the approval with the County, seconded by Mr. Grinslade. The Motion was approved, 3-0.

New Business- none

Adjournment As there was no other business, the meeting was adjourned at 6:10 p.m.

Respectfully Submitted by: _____

Kay Prange, Recording Secretary

Welcome to Your Getaway at Fisher's Airbnb!

14047 Northcoat Place
Fishers, IN 46038

Dear Guest,

We are excited to welcome you to your getaway at our Fisher's Airbnb! I'm Amish Patel, at your service, and committed to ensuring your stay is comfortable and enjoyable. We're thrilled you've chosen to stay with us, and we aim to provide peace and happiness during your time here.

Check-In and Check-Out Details

- Check-in is available after 3 PM
- Check-out time: 11 AM

Access Instructions

For access, the smart lock code is [REDACTED]. Simply push the brand on top of the keypad to lock the door. Please keep this code confidential and limit its use to the registered Airbnb guests.

Wi-Fi Connectivity

Enjoy our high-speed Wi-Fi for all your internet needs. Connect to "ATT Wifi" using the password [REDACTED].

Parking Options

You are welcome to park in the garage, driveway, or along the street in front of the property.

Highlights of Your Stay

Don't miss out on our special amenities:

- Provided Refreshments: We've arranged some light refreshments in the kitchen. Feel free to indulge! Settle in and feel right at home.
- Executive Office, fully stocked for all your work needs
- Bar area featuring some delightful surprises
- A serene outdoor resting area for relaxation

Important House Rules

For everyone's comfort, please adhere to the following house rules:

- Please observe quiet hours from 10 PM to 6 AM.
- No smoking inside the property. Smoking is permitted in designated outdoor areas only.
- Pets are not allowed unless specifically approved in advance.
- No parties or events. Small gatherings may be considered with prior approval.
- Please dispose of garbage properly in the designated bins.
- Conserve energy by turning off lights and electronics when not in use.
- Use appliances for their intended purposes and handle all property amenities with care.

We're here to make your stay as memorable and comfortable as possible. Should you need anything, please don't hesitate to reach out. Feedback received through reviews is invaluable in the Airbnb community. We'd deeply appreciate your thoughts after your stay, and we hope to see you again soon!

Warm regards,

Amish Patel



Board of Zoning Appeals Staff Report

Meeting Date: June 26, 2024

DEPARTMENT CONTACT:

Ross Hilleary (hillearyr@fishers.in.us)

CASE NUMBER:

Special Exception 117623

PETITIONER:

Andy Wert (<mailto:awert@cchalaw.com>)

PROPERTY ADDRESS/LOCATION:

14047 Northcoat Place Fishers, IN 46038

REQUEST: Consideration of a Special Exception to allow for a short-term rental use (E.g., Airbnb, Vrbo) on a property zoned for Single Family Residential zoned R5 – Residential.

APPLICABLE REGULATIONS:	EXISTING ZONING:	FISHERS 2040:
Unified Development Ordinance (UDO)	R5 – Residential	Suburban Residential

LOT SIZE: .16 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

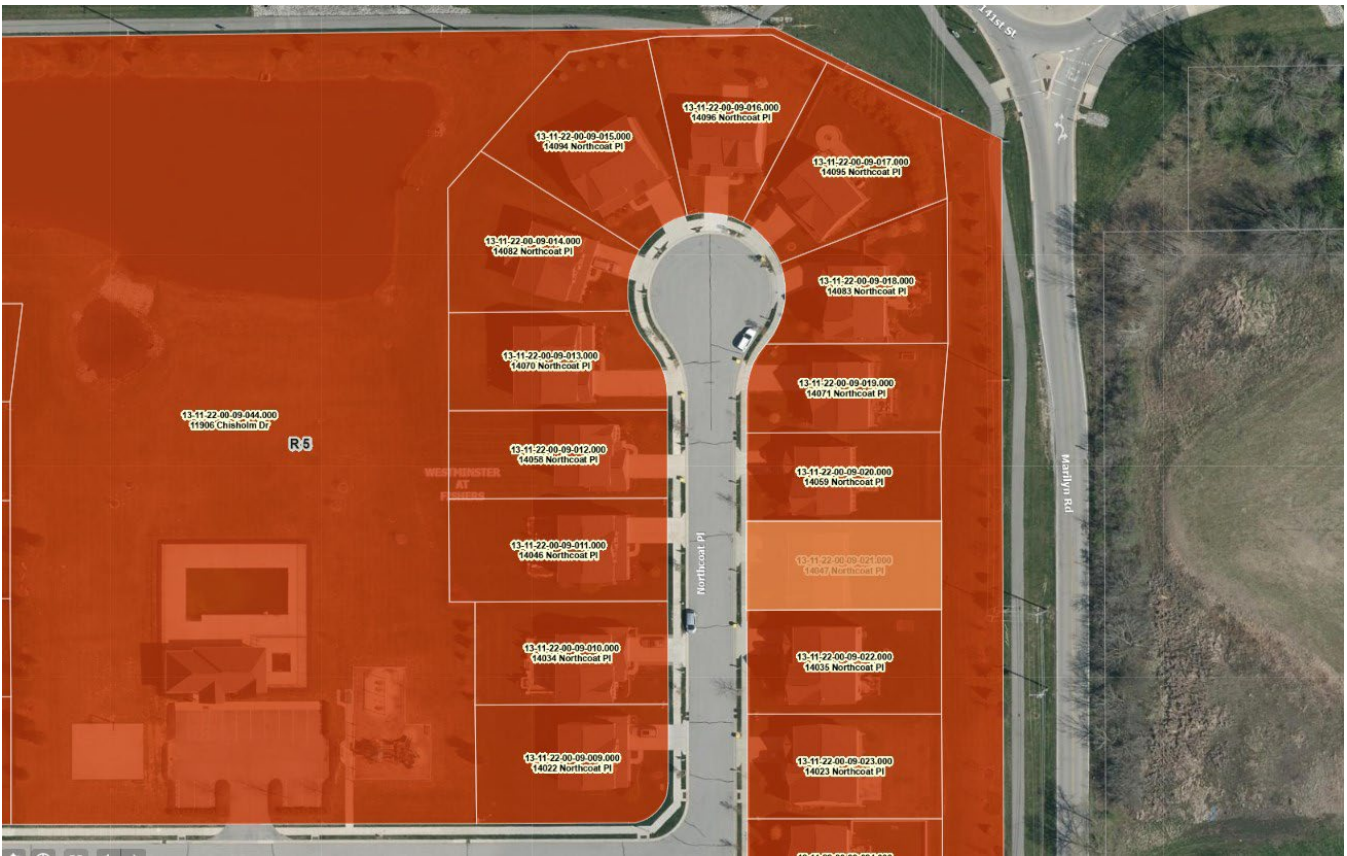
Meeting Date: June 26, 2024
Case Number: Special Exception 117623

ZONING HISTORY:

This property is zoned R5 – Residential is part of the Westminster at Fishers subdivision. The property is .16 acres. The adcaent lots are R5 - Residential as well, with the Noblesville corporate limits on the east side of N Marilyn Road.

SURROUNDING LAND USE & ZONING:

- North: R5 – Residential (Single-Family)
- East: Noblesville
- South: R5 – Residential (Single-Family)
- West: R5 – Residential (Single-Family)



Zoning Map

SUMMARY OF PUBLIC COMMENTS:

At the time of writing this Staff Report there has been no public comments.

PETITION OVERVIEW:

Andrew West representing the property owners, Amish & Neha Patel has requested a special exception from the Unified Development Ordinance to allow for a short-term rental, (E.g., Airbnb, Vrbo). The State of Indiana does not allow municipalities to limit short-term rentals when it relates to home-occupation, meaning the property owner must live at the residence.

This does not meet our home-occupation standards, and therefore requires this special exception to allow short-term rentals.

The property owners live in Carmel, Indiana.



Image courtesy of Airbnb.com

STAFF RECOMMENDATION:

Per County Records, Amish & Neha Patel have owned this property since March 2015. There is no

Meeting Date: June 26, 2024

Case Number: Special Exception 117623

open, ongoing, or closed property reports or code enforcement cases on record.

The property is currently listed on Airbnb as an Entire home rental (6 guest, 3 bedrooms, 2.5 baths) with 11 5-star reviews as of June 20, 2024. The listing can be found at: <https://shorturl.at/NU2Oz>

The Petitioner has provided their rules and procedures as an Attachment.

Staff has NO RECOMMENDATION.

If the Board approves this Special Exception for short-term rental staff request the follow the following conditions, and any others sought by the Board:

1. The special exception is tied to the user and specific use. If the current property owner was to sell or vacate the property, the special exception would be void.
2. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

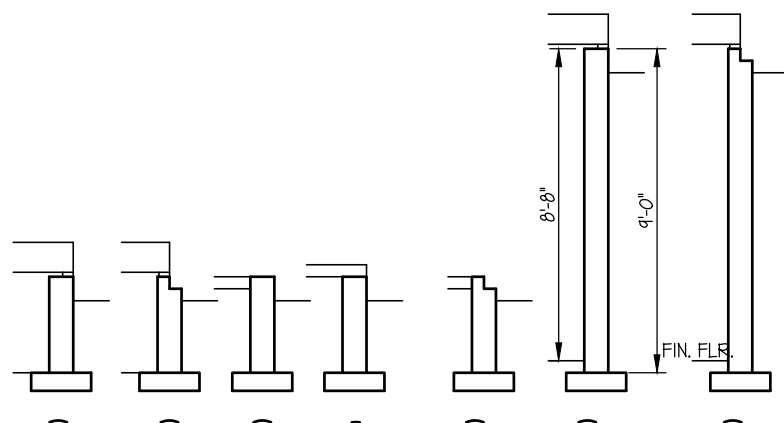
STATEMENT OF INTENT

14398 WORTHINGTON BLVD, FISHERS, INDIANA 46038

The Petitioner, Davis Building Group, LLC, owns the subject property. The prior dwelling burned down, and Petitioner is rebuilding a new single-family dwelling using the existing foundation. The existing foundation existed in a manner consistent with the proposed plot plan and other dwellings in the neighborhood that have a front loaded garage located in front of the front façade plane.

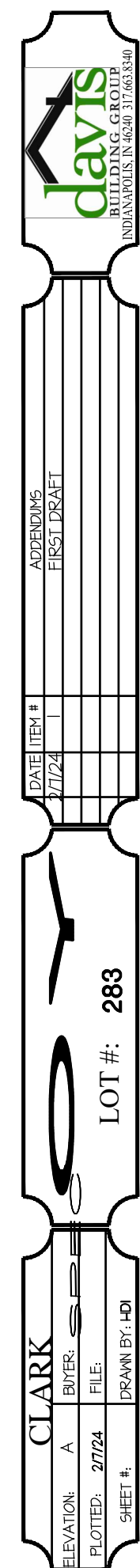
Request:

1. Variance of developmental standard UDO 6.3.4.B.4 to permit front loaded garage 10' in front of front façade (4' setback from front façade plan required).



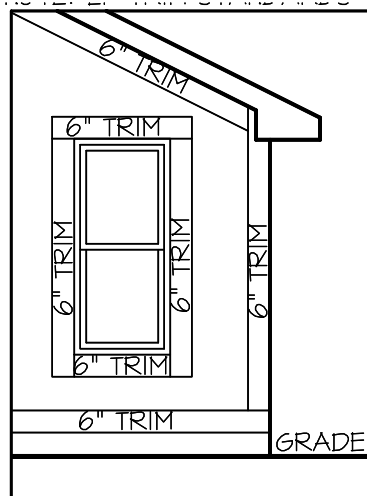
SCALE: 3/16" = 1'-0"

CLARK - TRADITIONAL	
AREA SCHEDULE	
FIRST FLOOR	1 247 SF
GARAGE	466 SF
FRONT PORCH	43 SF
REAR PORCH	60 SF
TOTAL SQFT	1 247 SF

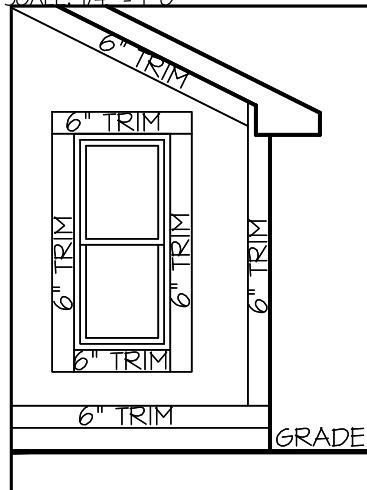
[illegible]

ELEVATIONS ARE DRAWN AS CRAWL OR BASEMENT FOUNDATION.

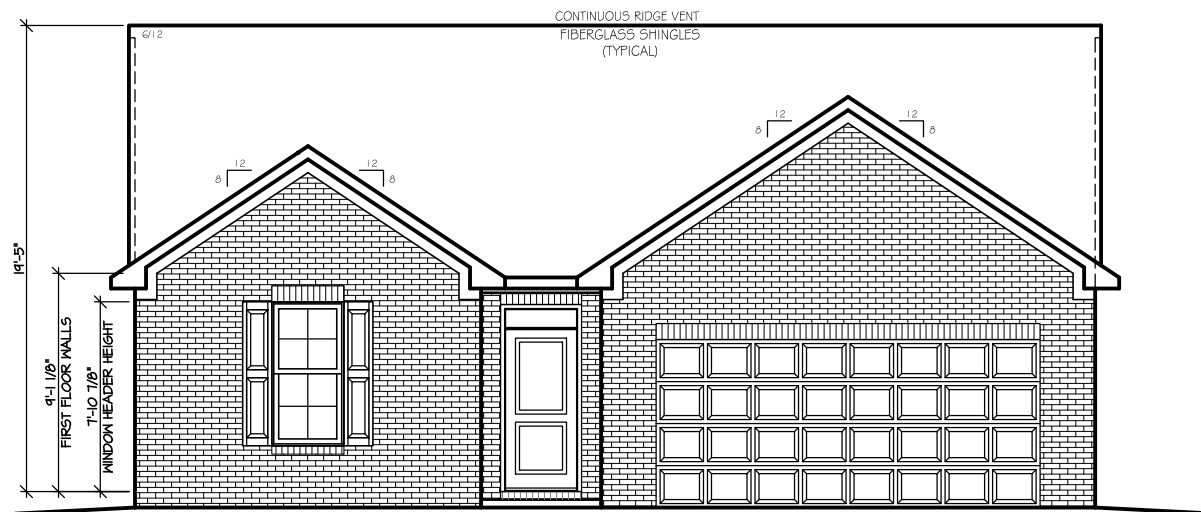
GRADE WILL VARY DUE TO SITE AND FOUNDATION CONDITIONS.



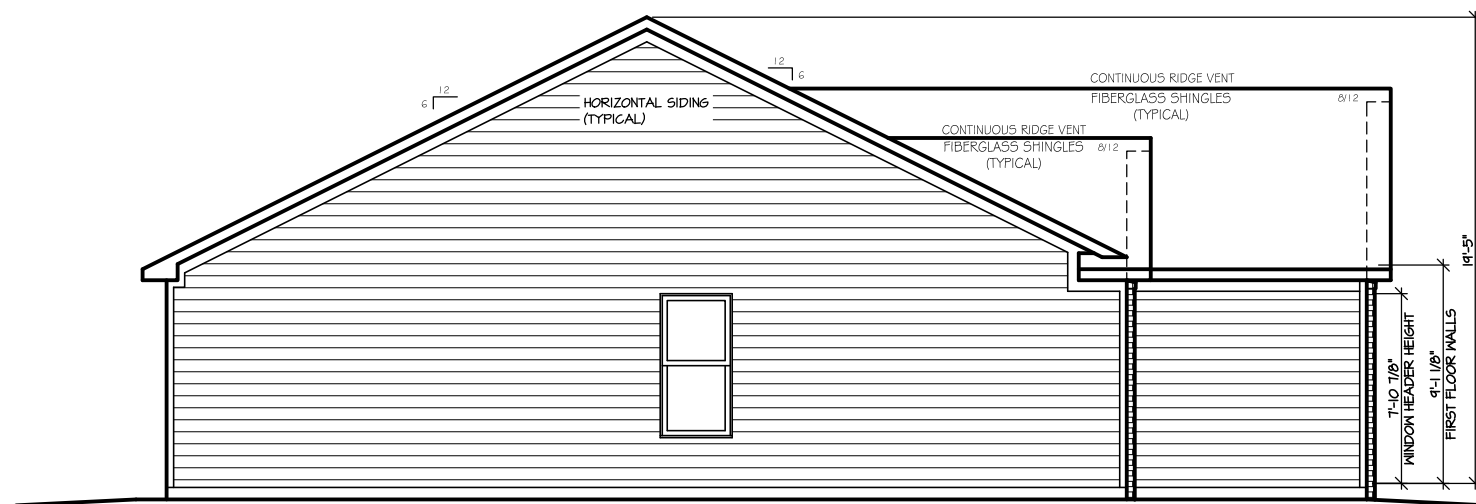
SCALE: 1/4" = 1'-0"



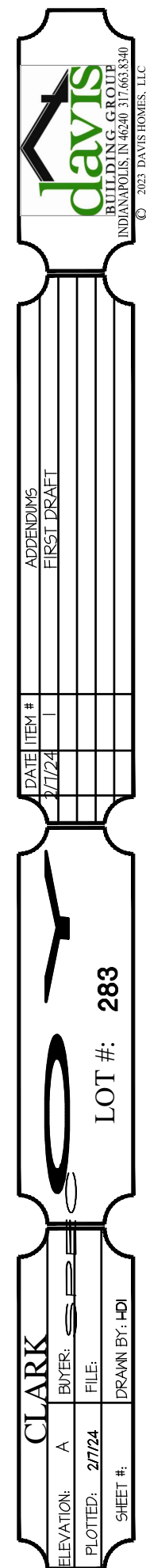
SCALE: 1/4" = 1'-0"



SCALE: 1/8" = 1'-0"



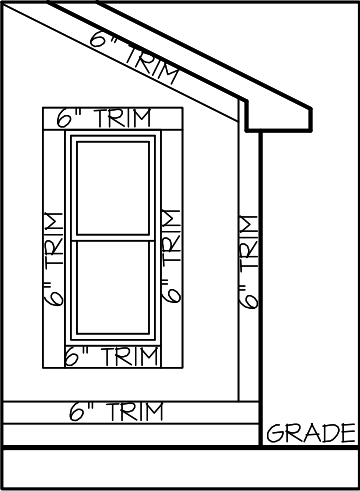
SCALE: 1/8" = 1'-0"



ELEVATION NOTES

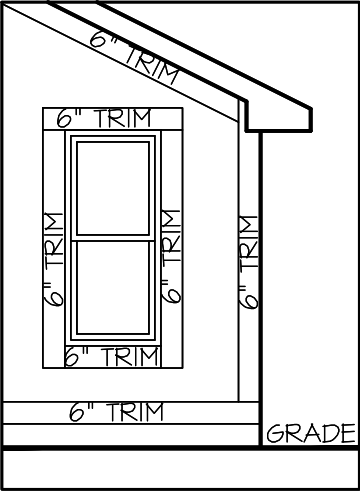
ELEVATIONS ARE DRAWN AS GRAVEL OR BASEMENT FOUNDATION.

GRADE WILL VARY DUE TO SITE AND FOUNDATION CONDITIONS.



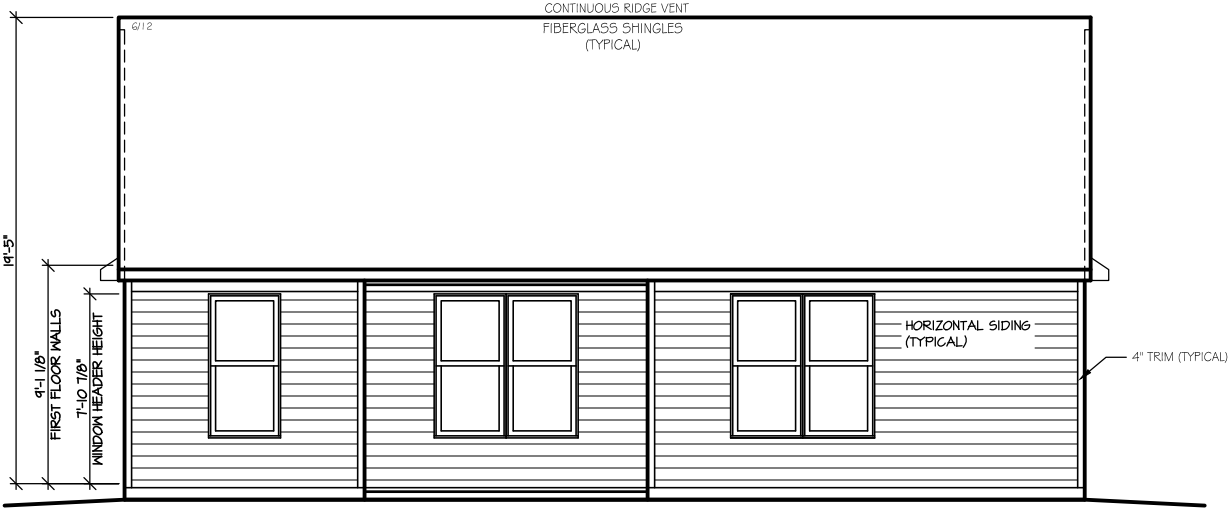
FRONT TRIM DETAIL

SCALE: 1/4" = 1'-0"



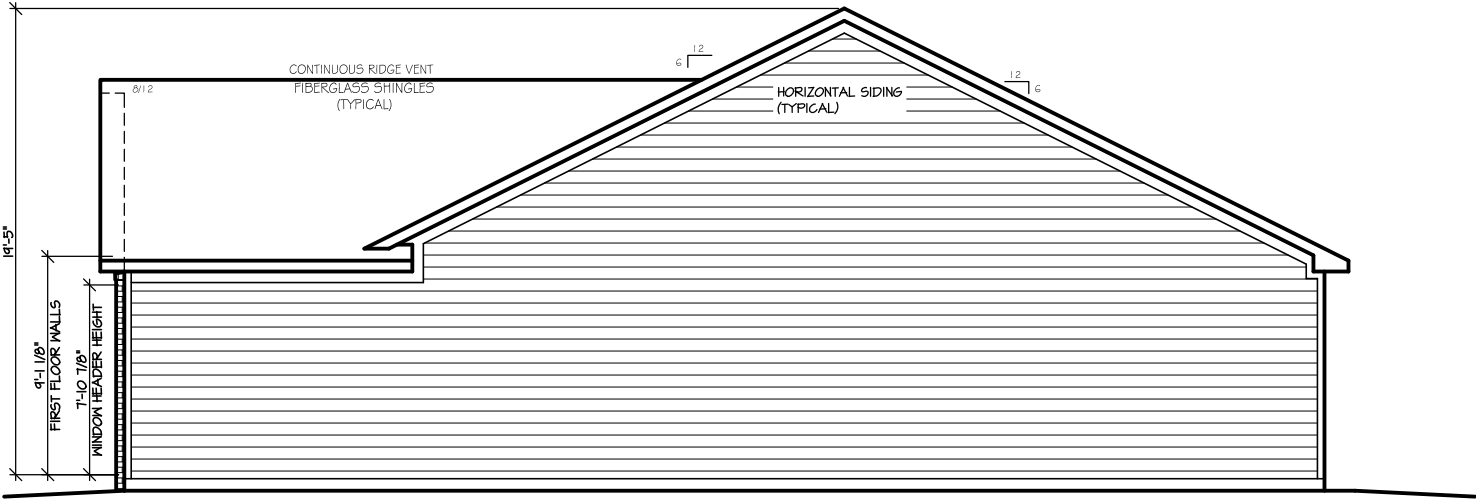
SIDES AND REAR TRIM DETAIL

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

CLARK

ELEVATION: A

PLOTTED: 27/24

SHEET #:

BUYER: A

FILE: 27/24

DRAWN BY: HDI

DATE

27/24

ITEM #

1

ADDENDUMS

FIRST DRAFT

LOT #:

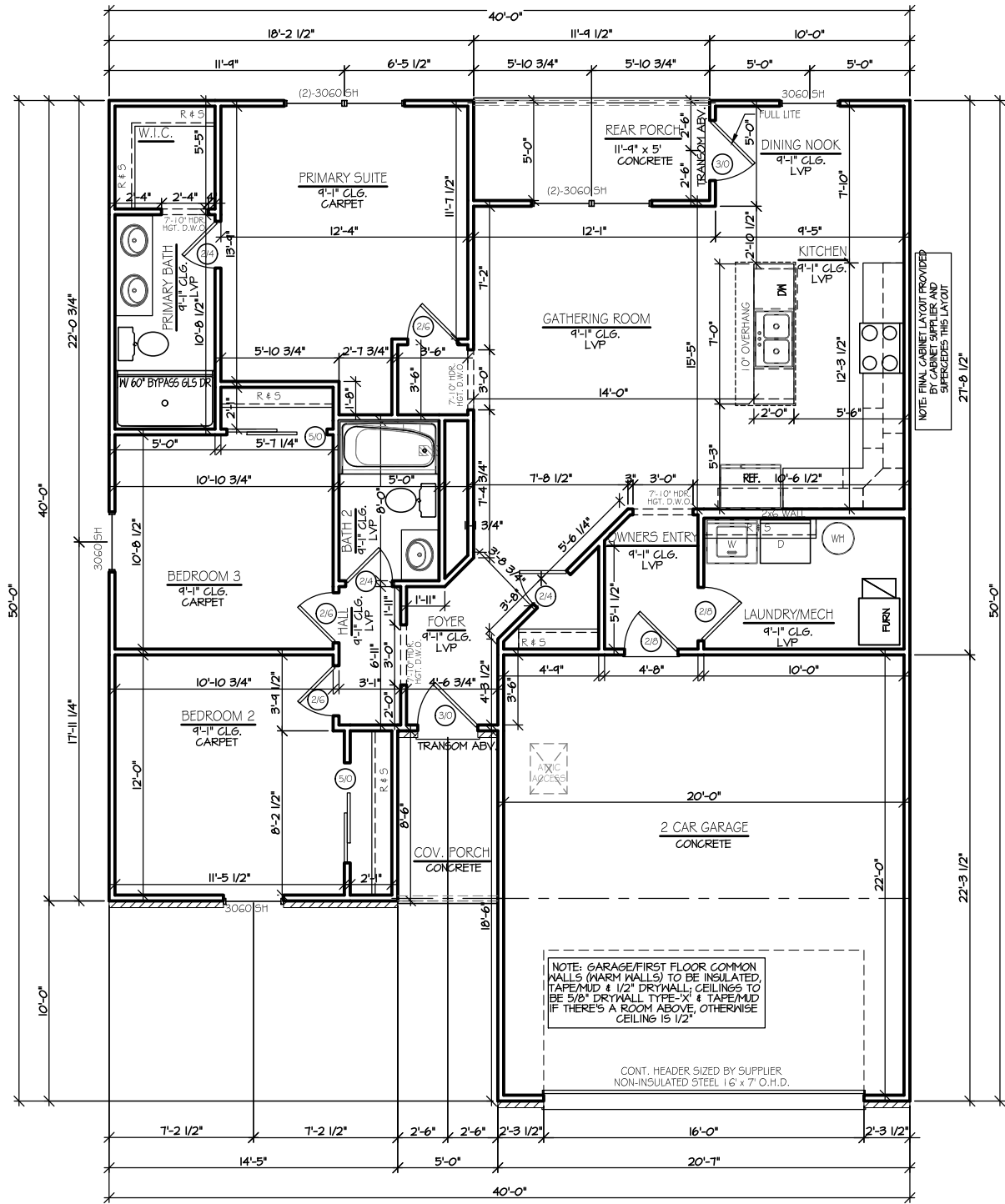
283

davis

BUILDING GROUP

INDIANAPOLIS, IN 46240 317.663.8340

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FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

***** FRAMER NOTE *****

FRAMER TO INSTALL PROPER BLOCKING UNDER BEARING WALLS, WALLS PARALLEL TO JOIST AND AT CANTILEVERS, ETC. PER MANUFACTURERS SPECIFICATIONS.

NOTE: NO JOIST HANGERS REQUIRED FOR SQUASH BLOCKS.

FRAMER NOTES

STEP FLASH ALL CORNER BOARDS.
ROLL FLASH ALL SHED ROOFS.
TRIM TOP OF FIREPLACE CHASE AT ROUGH FRAME STAGE TO PREVENT INSIDE WATER DAMAGE.
AT BRICK ELEVATIONS, FURR-OUT PYFON AND TRIM 4 1/4" FOR BRICK.

*** NOTE ***

FOUR PORCH SLAB 1 1/2" PAST PORCH BLOCK ON SIDES AND FRONT

ANCHOR STRAPS TO BE INSTALLED 8" FROM CORNERS & 48" O.C. MAX.

NOTE:

ANCHOR BOLTS TO BE INSTALLED 8" FROM CORNERS AND 72" O.C. MAX.

ALL FLOOR JOIST ARE 11-1/8" WOOD-I-BEAMS (WLB).

ALL WINDOW AND DOOR HEADERS TO BE (2) 2 x 12s UNLESS OTHERWISE NOTED.

ALL MULLED WINDOWS HEADERS TO BE LVL UNLESS OTHERWISE NOTED.

CLARK

ELEVATION: A

PLOTTED: 2/7/24

SHEET #:

BUYER: S E P

FILE:

DRANN BY: HDI

DATE

ITEM #

2/7/24

1

ADDENDUMS

FIRST DRAFT

LOT #:

283

davis

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SCALE: $1/8" = 1'-0"$



SCALE: 3/16" = 1'-0"

FRAMER NOTES

NOTE

FOUR PORCH SLAB 1-1/2" PAST
PORCH BLOCK ON SIDES AND FRONT

ANCHOR STRAPS TO BE INSTALLED
8" FROM CORNERS & 48" O.C. MAX.

NOTE:
ANCHOR BOLTS TO BE INSTALLED
8" FROM CORNERS AND 12" O.C. MAX.
ALL FLOOR JOIST ARE 11-7/8" WOOD-1-BEAMS (WLB.)
ALL WINDOW AND DOOR HEADERS TO
BE (2) 2 x 12's UNLESS OTHERWISE NOTED.
ALL MILLED WINDOWS HEADERS TO BE LVL
UNLESS OTHERWISE NOTED.

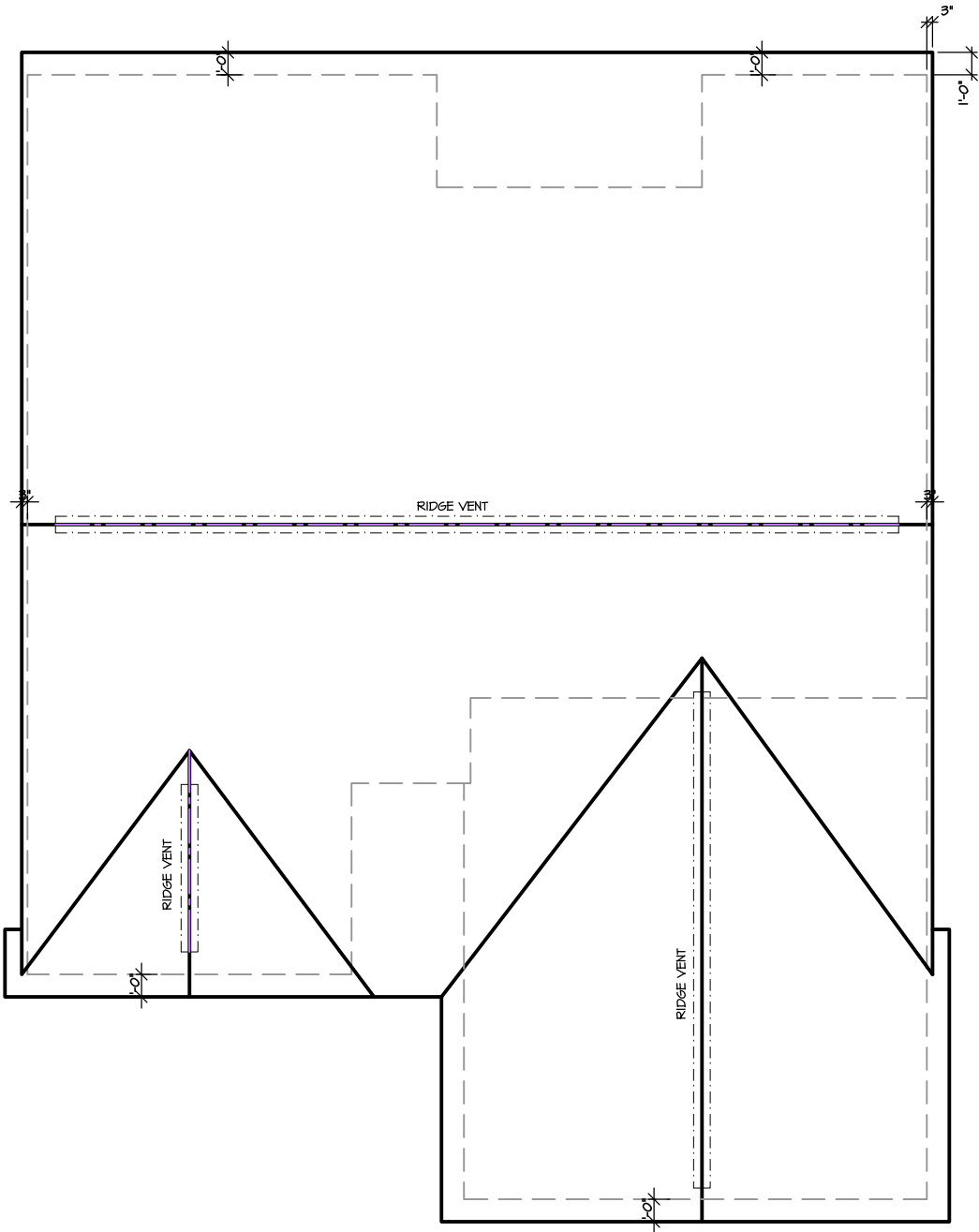
CLARK		DATE: 2/7/24		ITEM # 1		ADDITIONS	
ELEVATION: A	BUYER:	2/7/24				FIRST DRAFT	
PLOTTED: 2/7/24	FILE:						
SHEET #:	DRAWN BY: HDI						



LOT #: 283



DAVIS
BUILDING GROUP
INDIANAPOLIS, IN 46240 317.663.8340
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ROOF PLAN

SCALE: 1/8" = 1'-0"

***** FRAMER NOTE *****

FRAMER TO INSTALL PROPER BLOCKING UNDER BEARING WALLS, WALLS PARALLEL TO JOIST AND AT CANTILEVERS, ETC. PER MANUFACTURERS SPECIFICATIONS.

NOTE: NO JOIST HANGERS REQUIRED FOR SQUASH BLOCKS.

FRAMER NOTES

STEP FLASH ALL CORNER BOARDS.
ROLL FLASH ALL SHED ROOFS.

TRIM TOP OF FIREPLACE CHASE AT ROUGH FRAME STAGE TO PREVENT INSIDE WATER DAMAGE.

AT BRICK ELEVATIONS, FURR-OUT PYFON AND TRIM 4 1/4" FOR BRICK.

== NOTE ==

POUR PORCH SLAB 1-1/2" PAST PORCH BLOCK ON SIDES AND FRONT

ANCHOR STRAPS TO BE INSTALLED 8" FROM CORNERS & 48" O.C. MAX.

NOTE:

ANCHOR BOLTS TO BE INSTALLED 8" FROM CORNERS AND 72" O.C. MAX.

ALL FLOOR JOIST ARE 11-1/8" WOOD-I-BEAMS (WLB)

ALL WINDOW AND DOOR HEADERS TO BE (2) 2 x 12's UNLESS OTHERWISE NOTED.

ALL MULLED WINDOWS HEADERS TO BE LVL UNLESS OTHERWISE NOTED.

CLARK

ELEVATION: A

PLOTTED: 2/7/24

SHEET #:

BUYER: S E P

FILE:

DRANN BY: HDI

DATE: 2/7/24

ITEM #

1

ADDENDUMS

FIRST DRAFT

LOT #: 283

INDIANAPOLIS, IN 46240 317.663.8340

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ALL ELECTRICAL ITEMS ARE ON APPROXIMATION; FINAL LOCATIONS WILL BE DETERMINED BY ELECTRICIAN FOLLOWING ALL CURRENT BUILDING CODES & TAKING ALL STRUCTURAL LIMITATIONS INTO ACCOUNT.

SYMBOL DESCRIPTION

 CABLE

 PHONE

 PHONE/CABLE COMBINATION

 DATA PORT

 DIGITAL SATELLITE SYSTEM

 EYEBALL SPOT LIGHT

 RECESS LIGHT

 SOFFIT FLOOD LIGHT

 CEILING LIGHT LED 'DISK'

 WALL LIGHT

 STAIR LIGHT

 FAN & LIGHT

 FAN ONLY

 SINGLE POLE SWITCH

 3-WAY SWITCH

 4-WAY SWITCH

 WHIRLPOOL MOTOR

 ELEC. OUTLET

 1/2 HOT PLUG

 GFIP ELEC. OUTLET

 MICROWAVE 120 VOLT OUTLET

 FLOOR OUTLET

 220 VOLT PLUG

 A/C COMPRESSOR

 SMOKE DETECTOR

 CARBON MONOXIDE/ SMOKE DETECTOR

 DOOR BELL

 SVC ELECTRIC PANEL

 ELECTRIC METER

 THERMOSTAT

 GAS

 SPEAKERS

 CHIMES

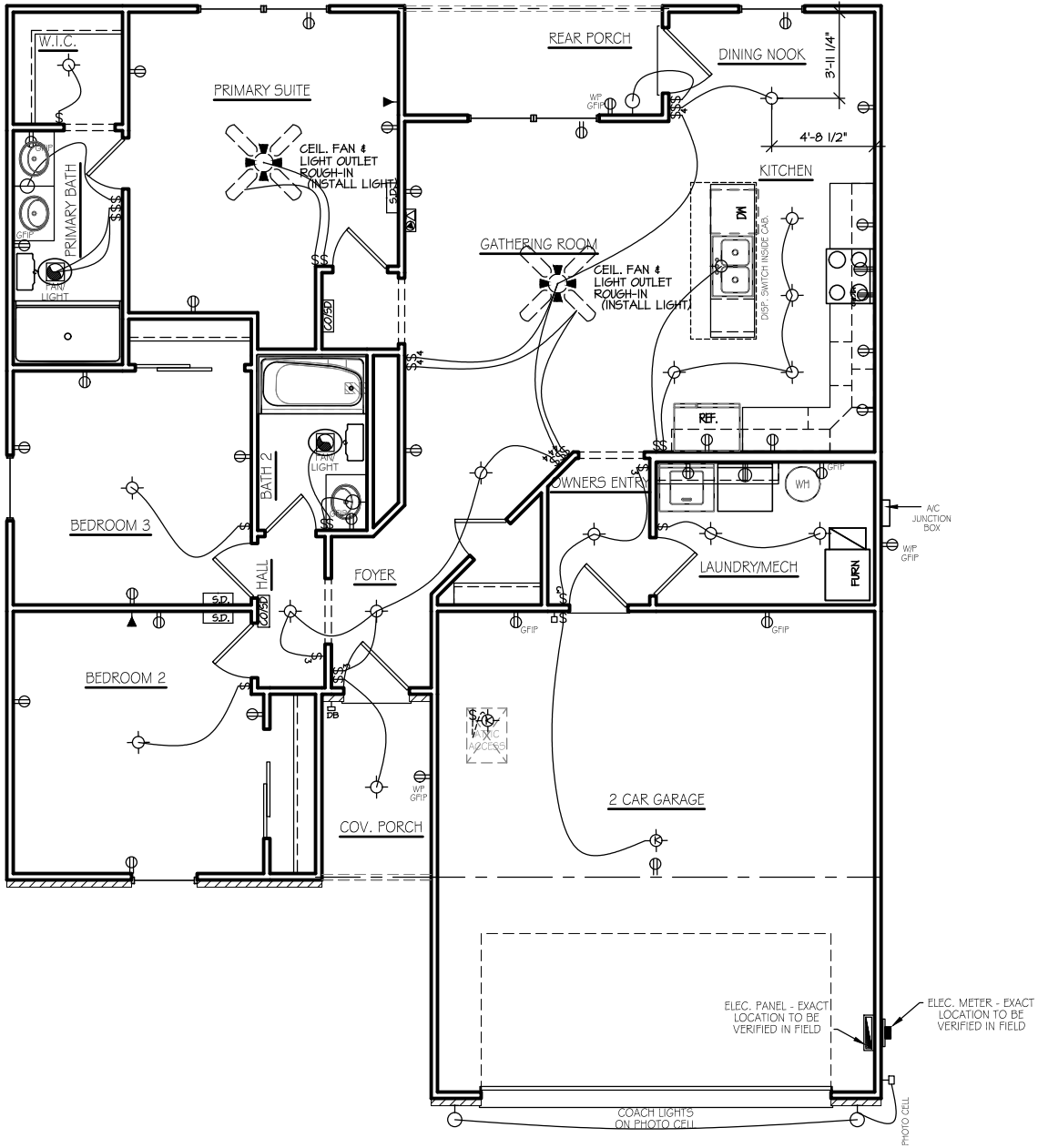
 CEILING FAN & LIGHT ROUGH-IN

 CEIL. FAN ROUGH-IN

 TRACK LIGHTING

 FLUORESCENT LIGHTING

**** NOTE ****
LED 'DISK'
APPLIES TO ALL FIXTURES USING THIS SYMBOL ON THIS PLAN



ELECTRICAL PLAN- FIRST FLOOR
SCALE: 1/8" = 1'-0"

CLARK

ELEVATION: A

BUYER: S

FILE: 27/24

SHEET #: SHT E2

DRAWN BY: HDI

DATE

ITEM #

27/24

1

ADDITIONS

FIRST DRAFT

LOT #:

283

CLARK

ELEVATION: A

BUYER: S

FILE: 27/24

SHEET #: SHT E2

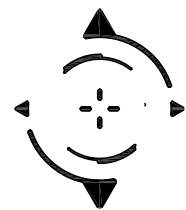
DRAWN BY: HDI



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STOEPPELWERTH

ALWAYS ON

7965 East 106th Street, Fishers, IN 46038-2505
phone: 317.849.5935 fax: 317.849.5942

JOB ID OYL OY 283

CONTROL# 110410 DAV

14398 WORTHINGTON BOULEVARD
FISHERS, IN 46038



1" = 30'

LOT AREA: 7,800 Sq. Ft.

LEGEND:

XX.X

PROPOSED GRADE PER PLAN

XX.XAB

AS BUILT GRADE

S.S.D.

SUB-SURFACE DRAIN

ASL

SANITARY SEWER

PSL

6" AS BUILT SANITARY LATERAL

W

6" PROPOSED SANITARY LATERAL

W

STORM SEWER

W

3/4" WATER CONNECTION

W

WATER MAIN

o o o

SWALE



SANITARY MANHOLE



STORM MANHOLE



CURB INLET



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



B.L. BUILDING LINE



FIRE HYDRANT



WATER METER



D.&U.E. DRAINAGE & UTILITY EASEMENT



David J. Stoeppelwerth

NOTE: THIS DRAWING IS FOR PERMITTING PURPOSES ONLY AND NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT SURVEY, ORIGINAL SURVEY, ROUTE SURVEY, LOT SURVEY OR A SURVEYOR LOCATION REPORT OR ANY OTHER TYPE OF PROPERTY BOUNDARY ASSESSMENT. NO BOUNDARY CORNERS HAVE BEEN SET AND THEREFORE NO LIABILITY WILL BE ASSUMED FOR ANY USE OF THIS DATA FOR CONSTRUCTION OF NEW IMPROVEMENTS INCLUDING FENCES.

1ST REV ADD UTILITIES

03/15/24 HRW

03/07/24 JDB



LOT 114
CUMBERLAND PLACE
SECTION 2A
INST. #200000004230
P.C. #2, Slide #391
ZONING: PUD
6' MINIMUM SIDE YARD
25' MINIMUM FRONT YARD
20' MINIMUM REAR YARD

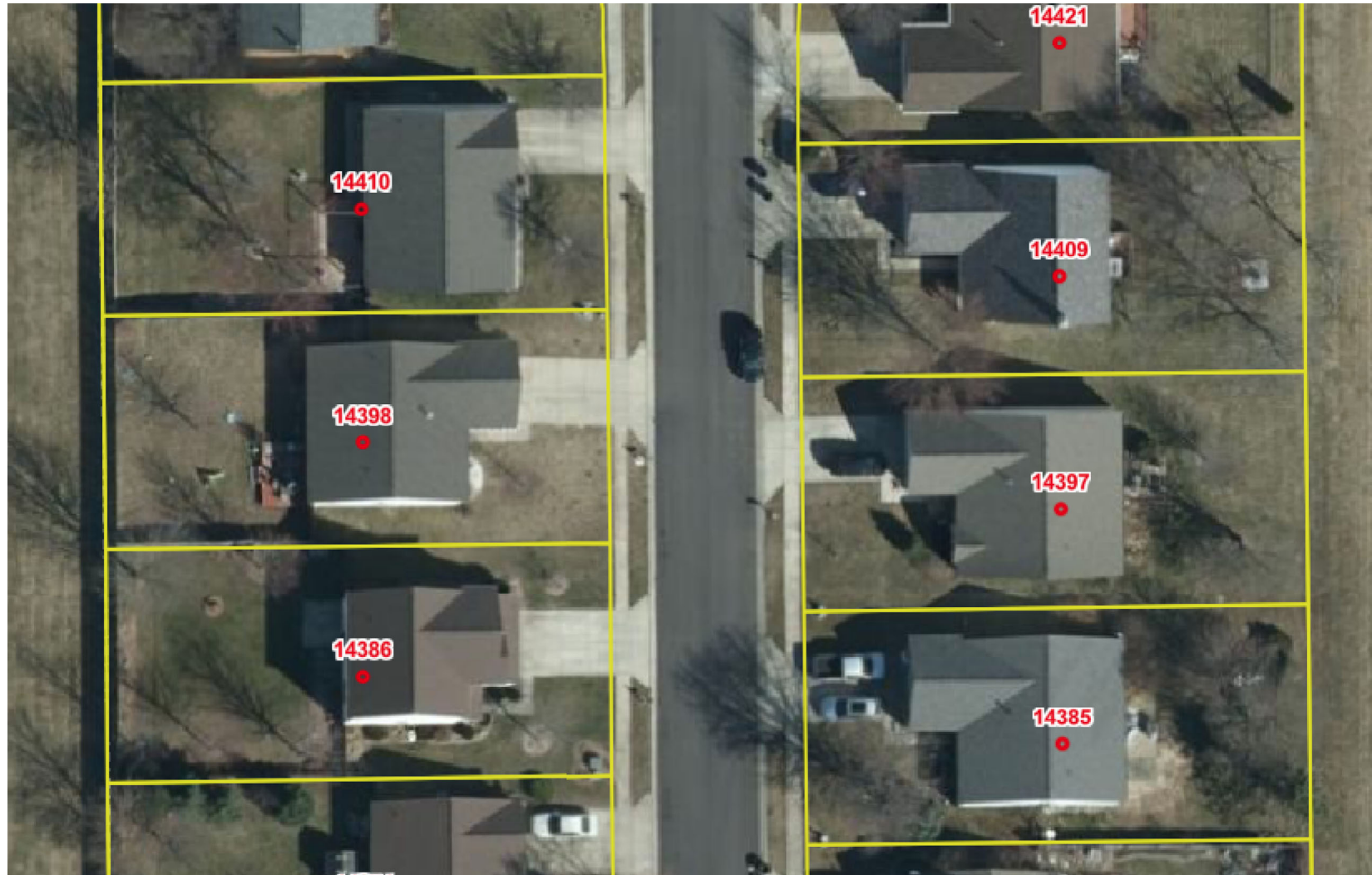


BENCHMARK

TOP OF CASTING=824.36

ALL UNDERGROUND SEWERS AND UTILITIES
SHOWN ARE PLOTTED BY SCALE FROM
"RECORD DRAWINGS" FURNISHED BY ENGINEER.

Aerial View of Prior Dwelling from 2022





Board of Zoning Appeals Staff Report

Meeting Date: June 26, 2024

DEPARTMENT CONTACT:

Christy Cashin (cashinc@fishers.in.us)

CASE NUMBER:

VA-24-11

PETITIONER:

John Cross (john@wootonhoylaw.com)

PROPERTY ADDRESS/LOCATION:

14398 Worthington Blvd.

REQUEST: Consideration of a Development Standards Variance from Section 6.3.4.B.4.a. Residential Design of the City's Unified Development Ordinance (UDO) to allow a front-loaded garage 10 feet in front of the front façade, from the 4 foot behind the front façade setback requirement.

APPLICABLE REGULATIONS:

Cumberland Place PUD and
City of Fishers UDO

EXISTING ZONING:

Cumberland Place PUD

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.18 Acres

LOCATION MAP**STAFF RECOMMENDATION**

☒ Approve

☐ Continue

☐ Deny

☐ No Recommendation

ZONING HISTORY:

This property is located in the Cumberland Place Village neighborhood, zoned under the Cumberland Place PUD approved in 1998. The PUD specifies setbacks and minimum living area, all other development standers revert to the Unified Development Ordinance (UDO).

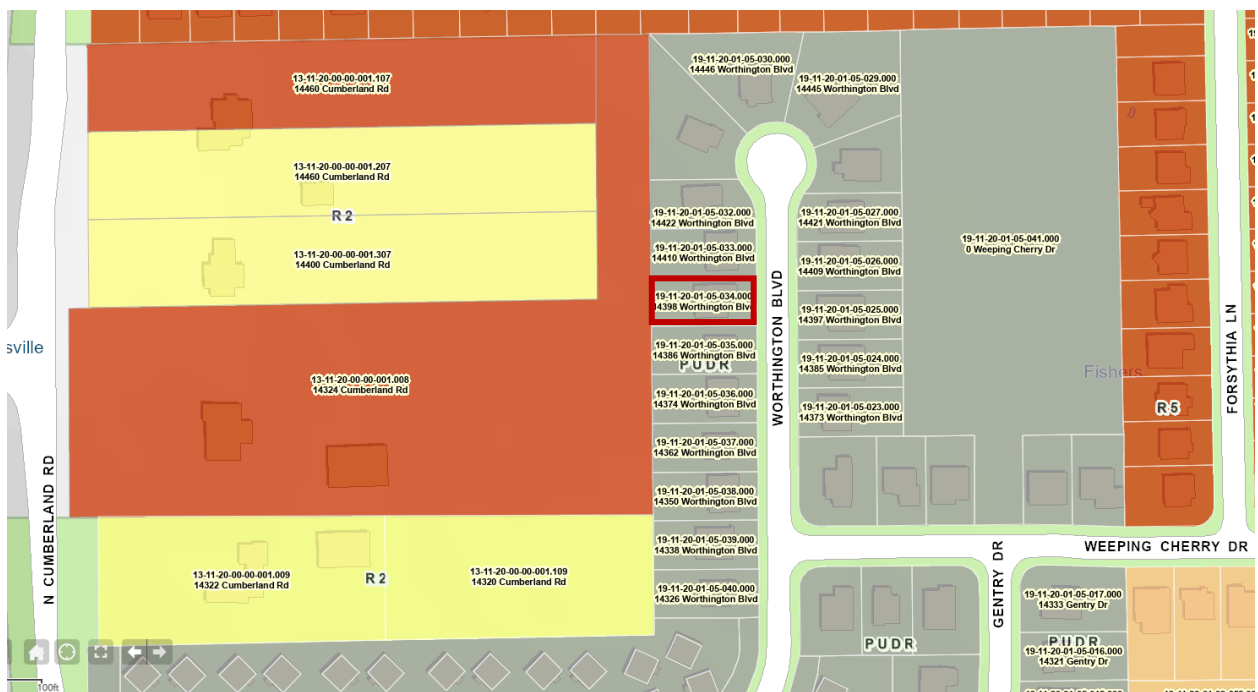
SURROUNDING ZONING & LAND USE:

North: Cumberland Place PUD (single family residential)

East: Cumberland Place PUD (single family residential)

South: Cumberland Place PUD (single family residential)

West: R-5 Residential District (single family residential)



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

Summary of Request

60.00

15' D.&U.E.

823

130.00

823

823

11.79'

18.21'

5.00'

10.00'

11.79'

5.00'

COVERED PORCH

MODEL=CLARK A
F.F.ELEV.=825.33
(SLAB) (RH)

40.33'

50.33'

10.0'

130.00

5.00'

18.50'

20.58'

14.42'

8.50'

POR

3'SW

ASL

ASL

25' B.L.

20' D.&U.E.

16' CONC. DRIVE
(EXISTING)

26.0'

17'

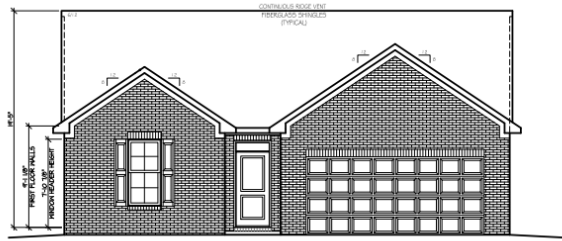
T.C.A.

2.43'

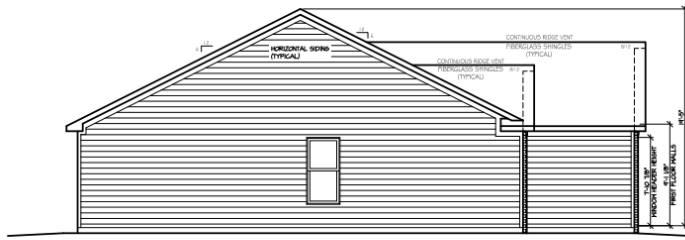
60.00

0.96'

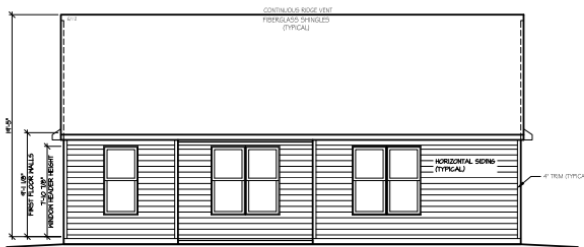
Page 24 of 47



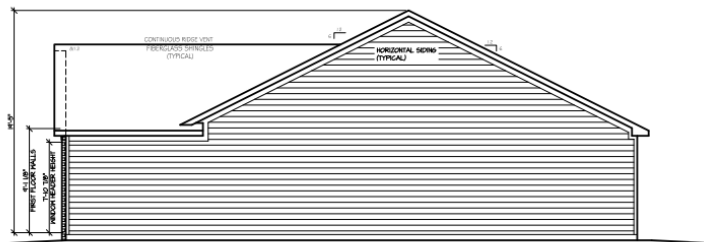
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

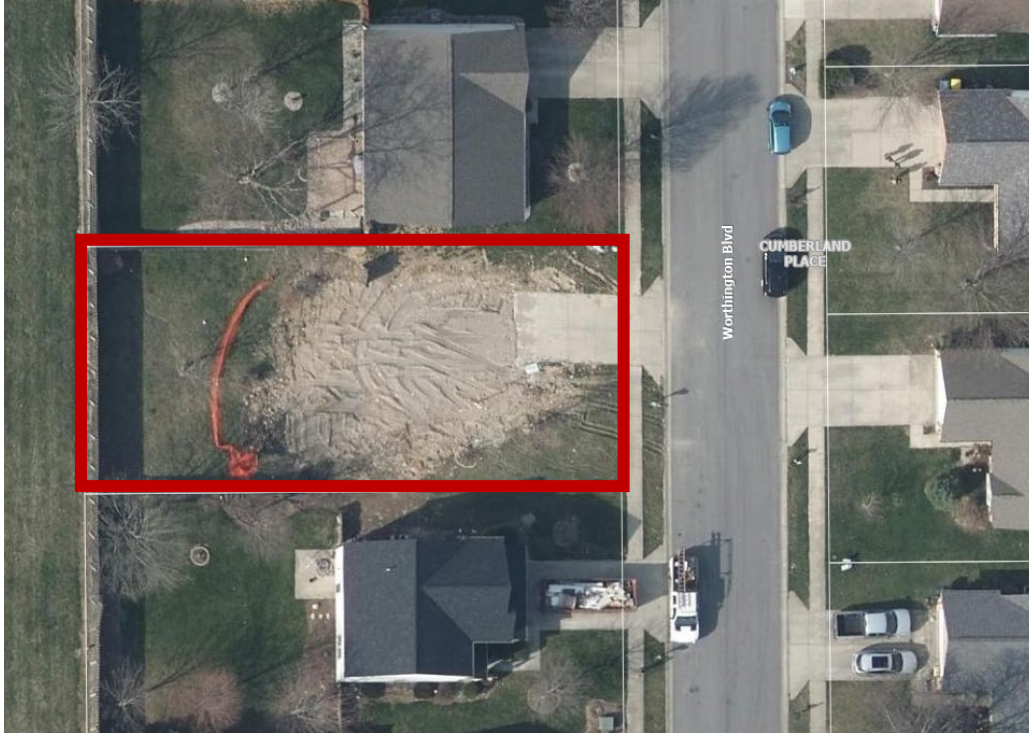


REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

Elevations



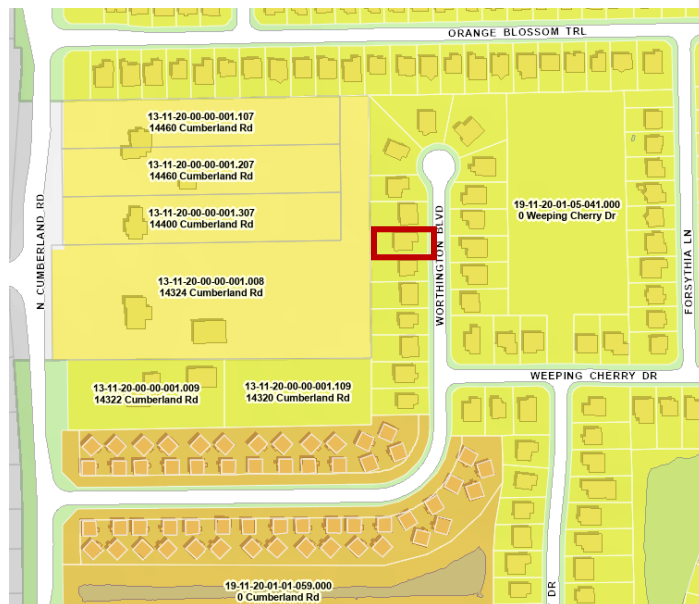
Aerial view of the property



Aerial view of the home previously on this property

Fishers 2040 Comprehensive Plan

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff recommends approval of this request.

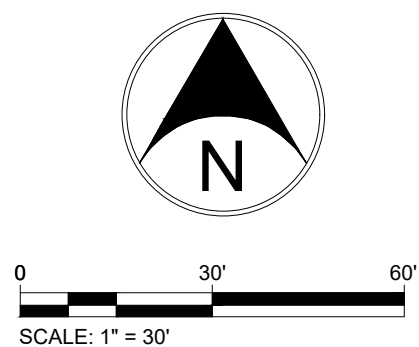
If the Board approves this variance staff requests the following condition:

1. The Approval Letter and related documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☒ Approve ☐ Continue ☐ Deny ☐ No Recommendation

ORTH LINE, NE ¼, SEC. 12, T.17N., R.4E.
S88° 53' 18"W 2705.74' MEAS.



FRITZ
ENGINEERING SERVICES

14020 MISSISSINAWA DRIVE
CARMEL, INDIANA 46033
P: 317.324.8695 F: 317.324.8717
www.Fritz-Eng.com

PRELIMINARY
NOT FOR
CONSTRUCTION

REVISIONS AND ISSUES	DATE	BY

GENERAL NOTES / LEGEND:

"IT'S THE
LAW"
811

Know what's below.
Call before you dig.
2 WORKING DAYS BEFORE YOU DIG.

PROJECT:

**HOLIDAY INN EXPRESS
FISHERS**

PROJECT LOCATION:
106TH & LANTERN RD.
FISHERS, INDIANA 46037
HAMILTON COUNTY

SECTION, TOWNSHIP, RANGE:
SW ¼, S17, T17N, R4E

CLIENT:

SOHUM HOTELS
12045 ILLINOIS ST.
CARMEL, INDIANA 46032

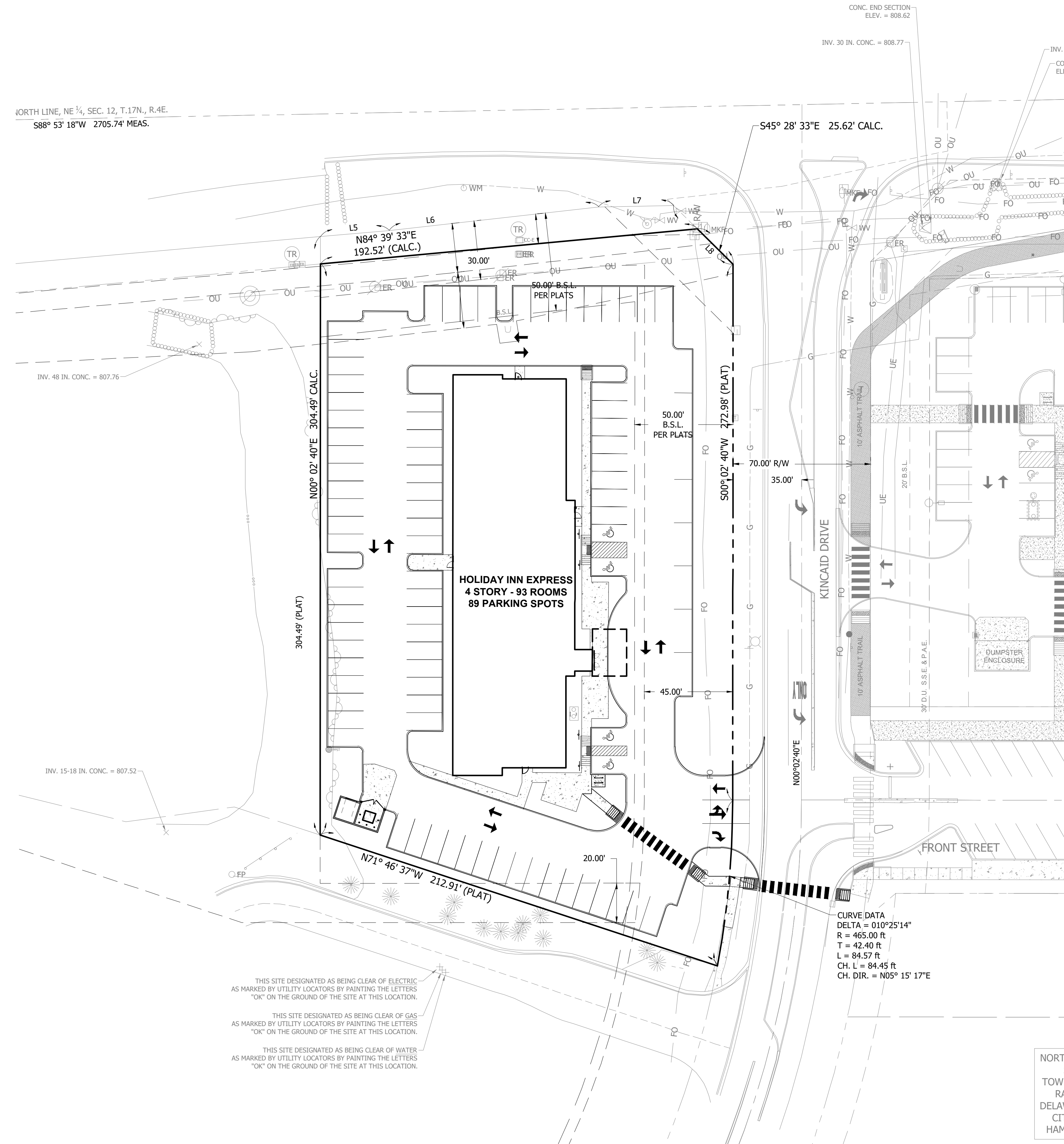
PLAN DATE:
5/14/2024

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO:
P2403003

SHEET NAME:
**CONCEPTUAL SITE
PLAN**

SHEET NO.
EXH-1



THIS SITE DESIGNATED AS BEING CLEAR OF ELECTRIC
AS MARKED BY UTILITY LOCATORS BY PAINTING THE LETTERS
"OK" ON THE GROUND OF THE SITE AT THIS LOCATION.

THIS SITE DESIGNATED AS BEING CLEAR OF GAS
AS MARKED BY UTILITY LOCATORS BY PAINTING THE LETTERS
"OK" ON THE GROUND OF THE SITE AT THIS LOCATION.

THIS SITE DESIGNATED AS BEING CLEAR OF WATER
AS MARKED BY UTILITY LOCATORS BY PAINTING THE LETTERS
"OK" ON THE GROUND OF THE SITE AT THIS LOCATION.

CURVE DATA
DELTA = 010°25'14"
R = 465.00 ft
T = 42.40 ft
L = 84.57 ft
CH. L = 84.45 ft
CH. DIR. = N05° 15' 17"E

NORT
TOW
R/
DELA
CT/
HAM

DATE: 5/14/2024
TIME: 10:00:00 AM
FILE NAME: C:\WORK\2024\HOLIDAY INN EXPRESS\HOLIDAY INN EXPRESS CONCEPTUAL SITE PLAN.DWG

© 2024 FRITZ ENGINEERING SERVICES, LLC



Board of Zoning Appeals Staff Report

Meeting Date: June 26, 2024

DEPARTMENT CONTACT: Christy Cashin (cashinc@fishers.in.us)	CASE NUMBER: VA-24-13
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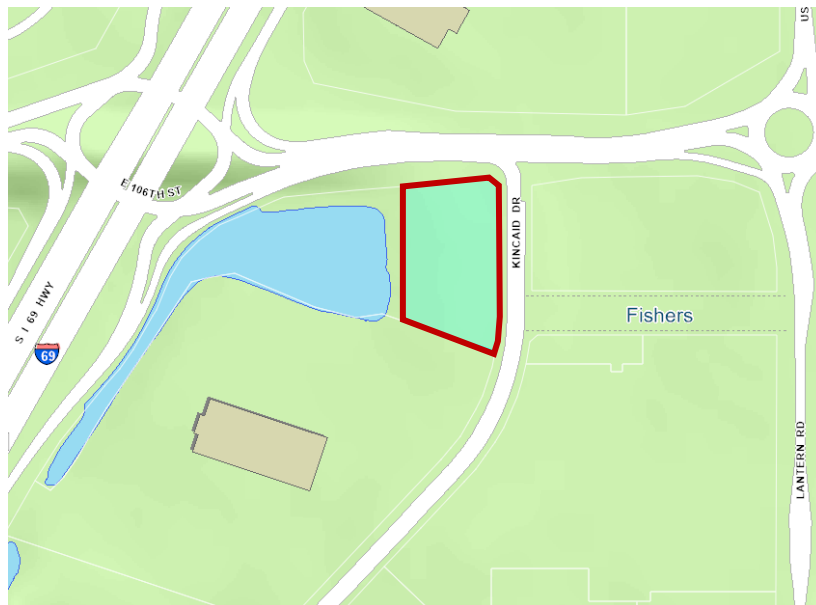
PETITIONER: E. Davis Coots (dcoots@chwlaw.com)	PROPERTY ADDRESS/LOCATION: 10570 Kincaid Drive
---	--

REQUEST: Consideration of Development Standards Variance from Section 6.11.3.B.3. Parking & Loading Standards of the City’s Unified Development Ordinance (UDO) to allow 5 foot setback on the south and a 4 foot setback on the west side of the property, from the 10 foot setback requirement. Also, the consideration of Development Standards Variance from Section 6.11.8. Off Street Parking Schedule of the UDO to allow a reduction in parking from 103 required to 90 proposed.

APPLICABLE REGULATIONS: Delaware Park PUD, I69 Overlay and City of Fishers UDO	EXISTING ZONING: Delaware Park PUD	FISHERS 2040: Employment Node
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LOT SIZE: 1.6 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve
 ☐ Continue
 ☐ Deny
 ☒ No Recommendation

ZONING HISTORY:

The Delaware Park PUD Ordinance was adopted on November 16, 2021. Prior to that, this property was a part of the Kincaid PUD that was adopted on February 7, 1996. The Kincaid PUD received a text amendment update in 2021 and is now titled Delaware Park PUD.

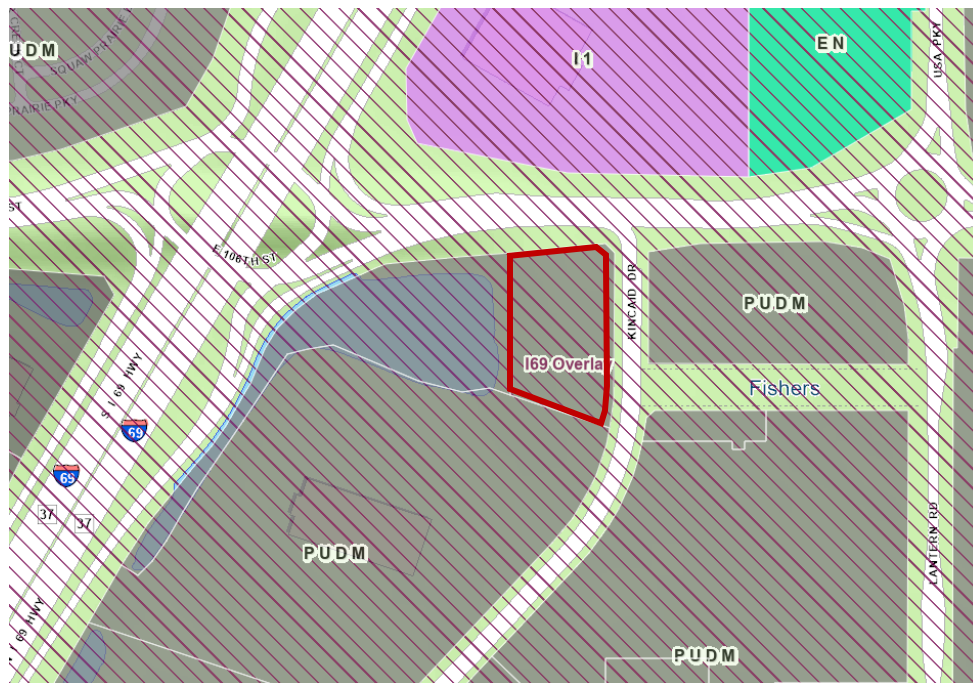
SURROUNDING ZONING & LAND USE:

North: I-1 Industrial District (commercial)

East: Crosspoint PUD (office)

South: Delaware Park PUD (office/commercial/multi-family residential)

West: Delaware Park PUD (commercial)



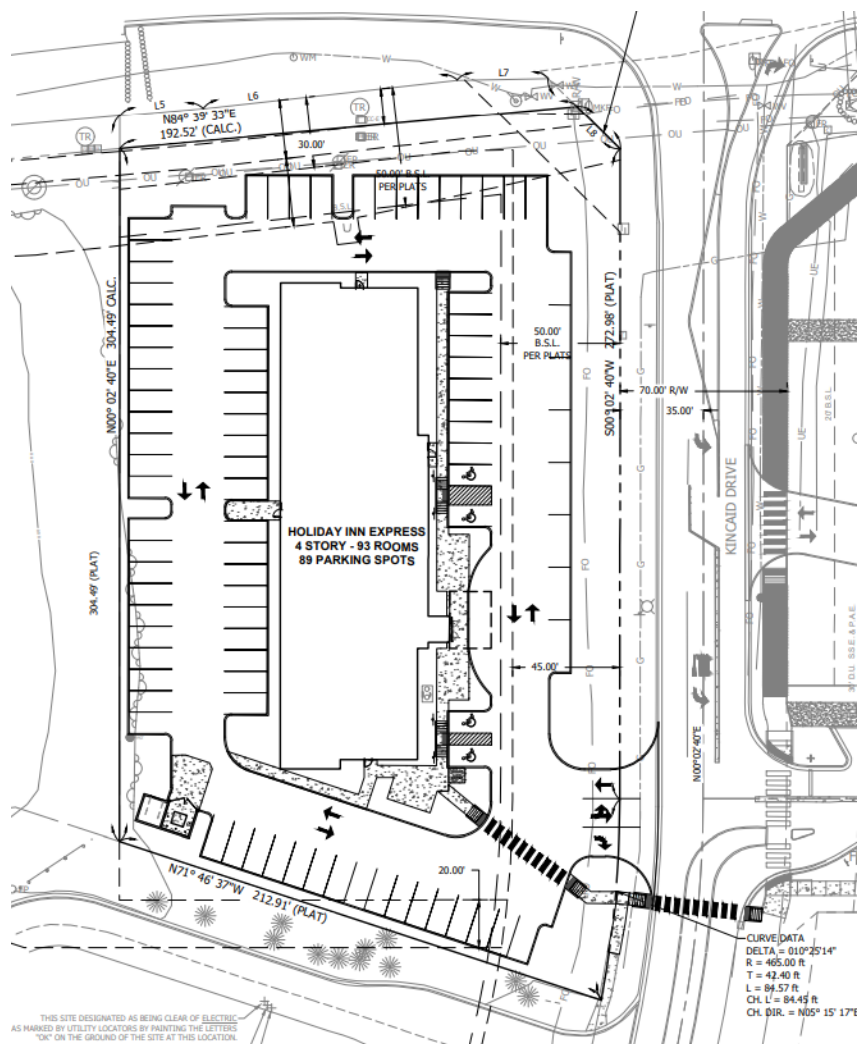
SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

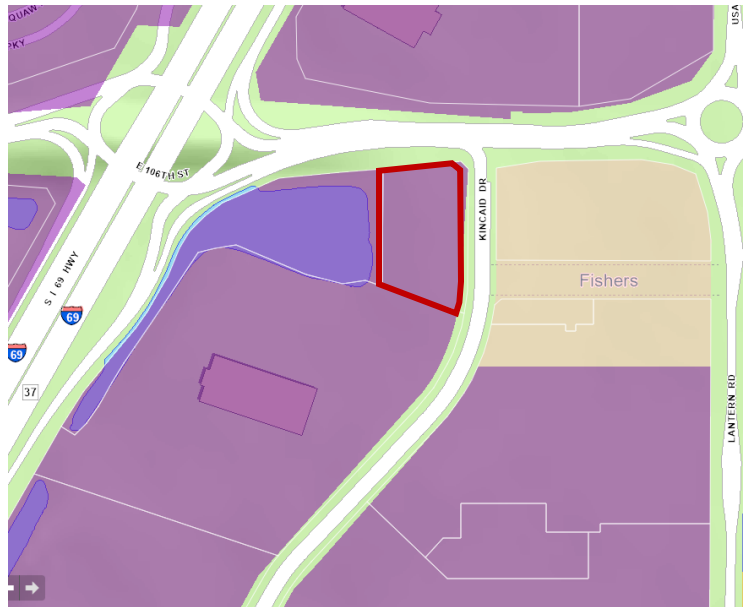
The petitioner is requesting a development standard variance to allow a 5 foot and 4 foot setback on the south and west side of the property, respectively. The Parking & Loading Standards from Section 6.11.3.B.3. of the UDO require a 10 foot setback for parking lots. The petitioner is also requesting a development standard variance to allow a reduction in parking for this hotel. The Off Street Parking Schedule requires a hotel to have a minimum of 1 parking space per guest unit, plus 1 per employee for the largest shift. Using that formula, this hotel would require a minimum of 103 parking spaces. The petitioner is requesting that the parking be reduced to 90 parking spaces.



Site plan

Fishers 2040 Comprehensive Plan

The Fishers 2040 Plan identifies this area as Employment Node. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this variance staff requests the following condition:

1. The Approval Letter and related documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation



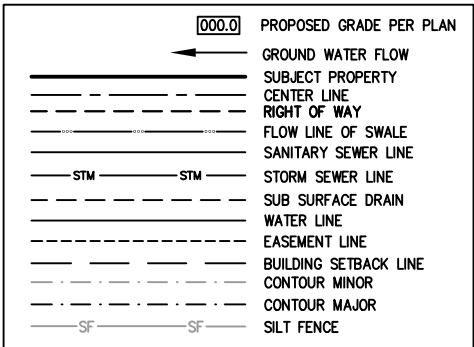
3114 W Tulip Tree Drive
Greenfield, IN 46140
317-363-8167
djr.hbs@gmail.com

PLOT PLAN
Prepared For:
Timothy Homees, LLC

MINIMUM SETBACKS

Min. Side = 10 Feet
Min. Rear = 20 Feet
or at Elevation 787.96 (NAVD 88)
Whichever is Greater

Property Description:
Lot Number 452 in The Springs of
Cambridge, Section 12, an Addition
in Hamilton County, Indiana, as per
plat thereof recorded as Instrument
Number 2008023949 found in the
Office of the Recorder of Hamilton
County, Indiana.
Address: 13302 Haven Cove Lane



EROSION CONTROL NOTE:
1. Builder shall maintain in good repair all existing erosion control measures necessary to soil erosion for said site during the construction period. Refer to the erosion control for the home builder publication by IDNR Division of Soil Conservation for additional information.
2. Finished grades to be in conformance with subdivision grading plan and plot plan; Excess soil to be disposed of in approved fill area.
3. All sediment tracked onto roadway to be removed by scrapping at the end of each work day.
4. All disturbed areas to be permanently seeded after finished grading has occurred.
5. All sediment control practices to be maintained during construction process to ensure proper functioning.

LOCATION OF UTILITIES AND THE
LATERALS ON PLOT PLAN ARE
GENERAL LOCATIONS PER PLAN AND
SHOULD BE VERIFIED IN THE FIELD.

THIS PLOT PLAN WAS PREPARED BASED
ON INFORMATION TAKEN FROM RECORD
PLATS, SUBDIVISION PLANS, RECORD
DRAWINGS AND PLANS PROVIDED BY
CLIENT. IT IS THE RESPONSIBILITY OF
THE CONTRACTOR TO VERIFY SITE
CONDITIONS PRIOR TO CONSTRUCTION
AND NOTIFY HOME BUILDER SERVICES
LLC OF ANY DISCREPANCIES.

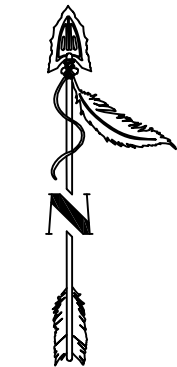
MINIMUM NUMBER OF TREES ON LOT
IS 3 AND 1 NEEDS TO BE A
CANOPY TREE.

- 1) THE FOUNDATION PLANTINGS
SHALL BE LOCATED WITHIN 20
FEET OF THE FOUNDATION
WALL.
- 2) AT LEAST 1 SHRUB AND/OR
ORNAMENTAL TREE SHALL BE
PLANTED EVERY 10 LINEAL
FEET OF BUILDING
CIRCUMFERENCE
NON-RESIDENTIAL BUILDINGS
MAY BE EXCLUDE THE DOCK
OPENINGS.
- 3) ALL LOTS SHALL HAVE
MINIMUM OF 4 SHRUBS
PLANTED ALONG THE
FOUNDATION FACING A
STREET. CORNER LOTS SHALL
INSTALL 4 SHRUBS PER SIDE
FACING STREET.

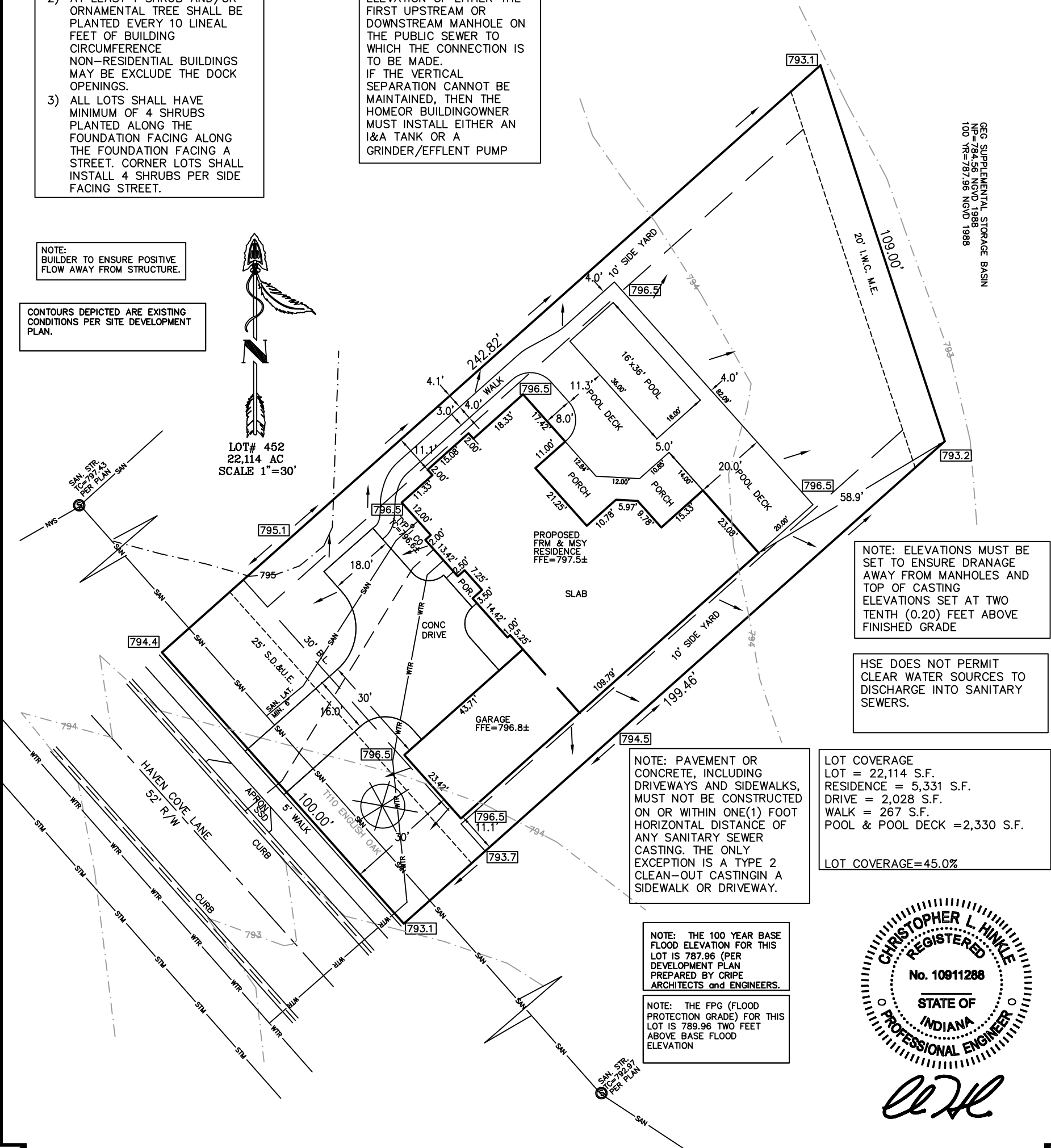
NOTE: PER TOWN OF
FISHERS "STANDARDS FOR
DESIGN AND CONSTRUCTION
OF BUILDING SEWERS" THE
LOWEST ELEVATION TO HAVE
GRAVITY SANITARY SERVICE
MUST BE A MINIMUM OF
ONE (1) FOOT ABOVE THE
LOWEST TOP OF CASTING
ELEVATION OF EITHER THE
FIRST UPSTREAM OR
DOWNSTREAM MANHOLE ON
THE PUBLIC SEWER TO
WHICH THE CONNECTION IS
TO BE MADE.
IF THE VERTICAL
SEPARATION CANNOT BE
MAINTAINED, THEN THE
HOMEOR BUILDINGOWNER
MUST INSTALL EITHER AN
I&A TANK OR A
GRINDER/EFFLENT PUMP

NOTE:
BUILDER TO ENSURE POSITIVE
FLOW AWAY FROM STRUCTURE.

CONTOURS DEPICTED ARE EXISTING
CONDITIONS PER SITE DEVELOPMENT
PLAN.



LOT# 452
22,114 AC
SCALE 1"=30'



NOTE: ELEVATIONS MUST BE
SET TO ENSURE DRAINAGE
AWAY FROM MANHOLES AND
TOP OF CASTING
ELEVATIONS SET AT TWO
TENTH (0.20) FEET ABOVE
FINISHED GRADE

HSE DOES NOT PERMIT
CLEAR WATER SOURCES TO
DISCHARGE INTO SANITARY
SEWERS.

NOTE: PAVEMENT OR
CONCRETE, INCLUDING
DRIVEWAYS AND SIDEWALKS,
MUST NOT BE CONSTRUCTED
ON OR WITHIN ONE(1) FOOT
HORIZONTAL DISTANCE OF
ANY SANITARY SEWER
CASTING. THE ONLY
EXCEPTION IS A TYPE 2
CLEAN-OUT CASTING IN A
SIDEWALK OR DRIVEWAY.

LOT COVERAGE
LOT = 22,114 S.F.
RESIDENCE = 5,331 S.F.
DRIVE = 2,028 S.F.
WALK = 267 S.F.
POOL & POOL DECK = 2,330 S.F.

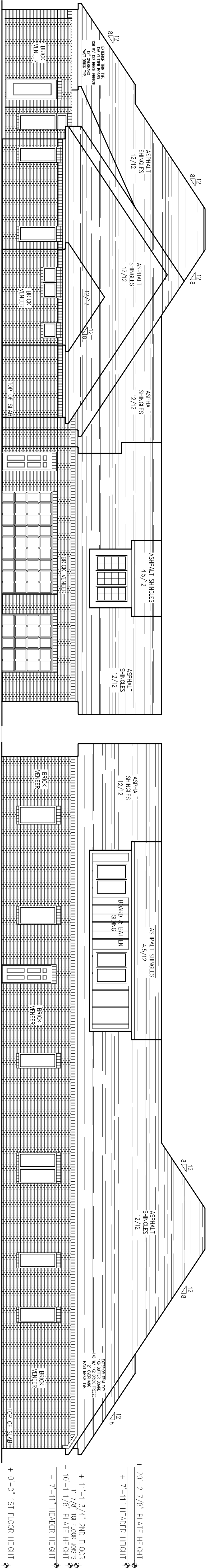
LOT COVERAGE=45.0%

NOTE: THE 100 YEAR BASE
FLOOD ELEVATION FOR THIS
LOT IS 787.96 (PER
DEVELOPMENT PLAN
PREPARED BY CRIPE
ARCHITECTS and ENGINEERS.

NOTE: THE FPG (FLOOD
PROTECTION GRADE) FOR THIS
LOT IS 789.96 TWO FEET
ABOVE BASE FLOOD
ELEVATION

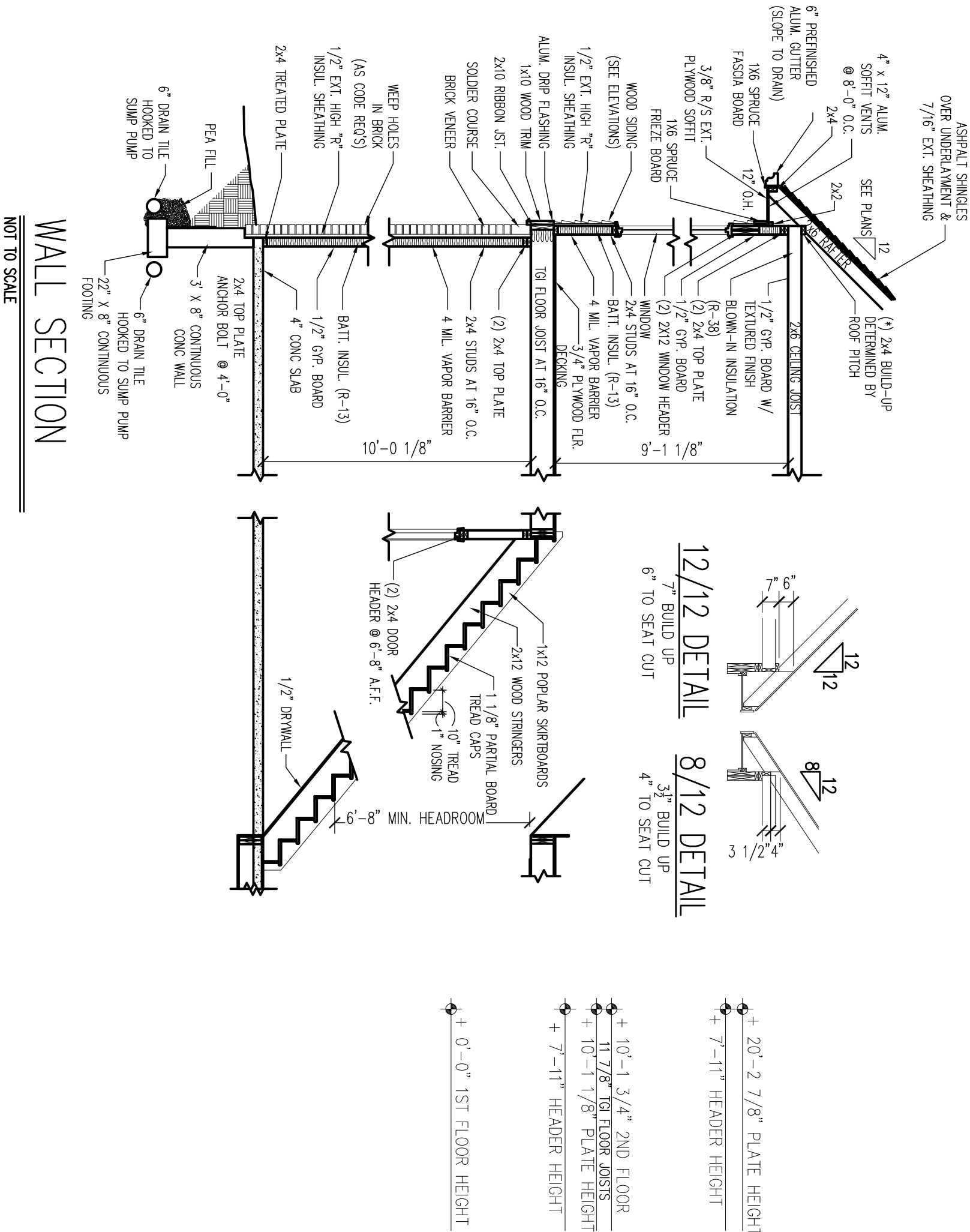


Date: APRIL 30, 2024

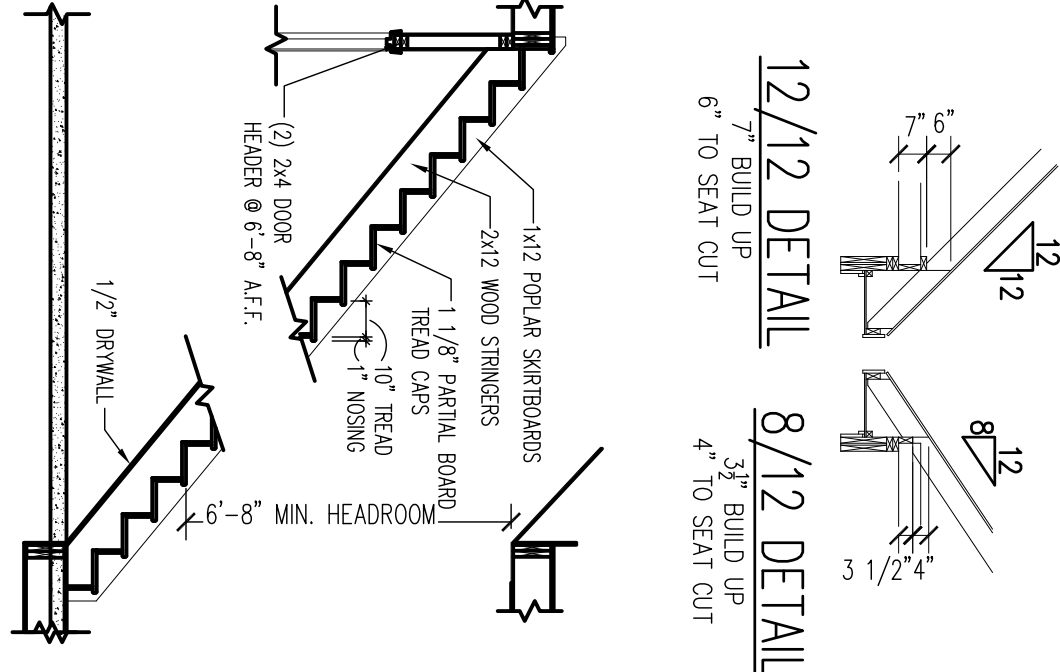


RIGHT ELEVATION
1/8" = 1'-0"

- + 20'-2 7/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 11'-1 3/4" 2ND FLOOR
- + 10'-1 1/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 0'-0" 1ST FLOOR HEIGHT

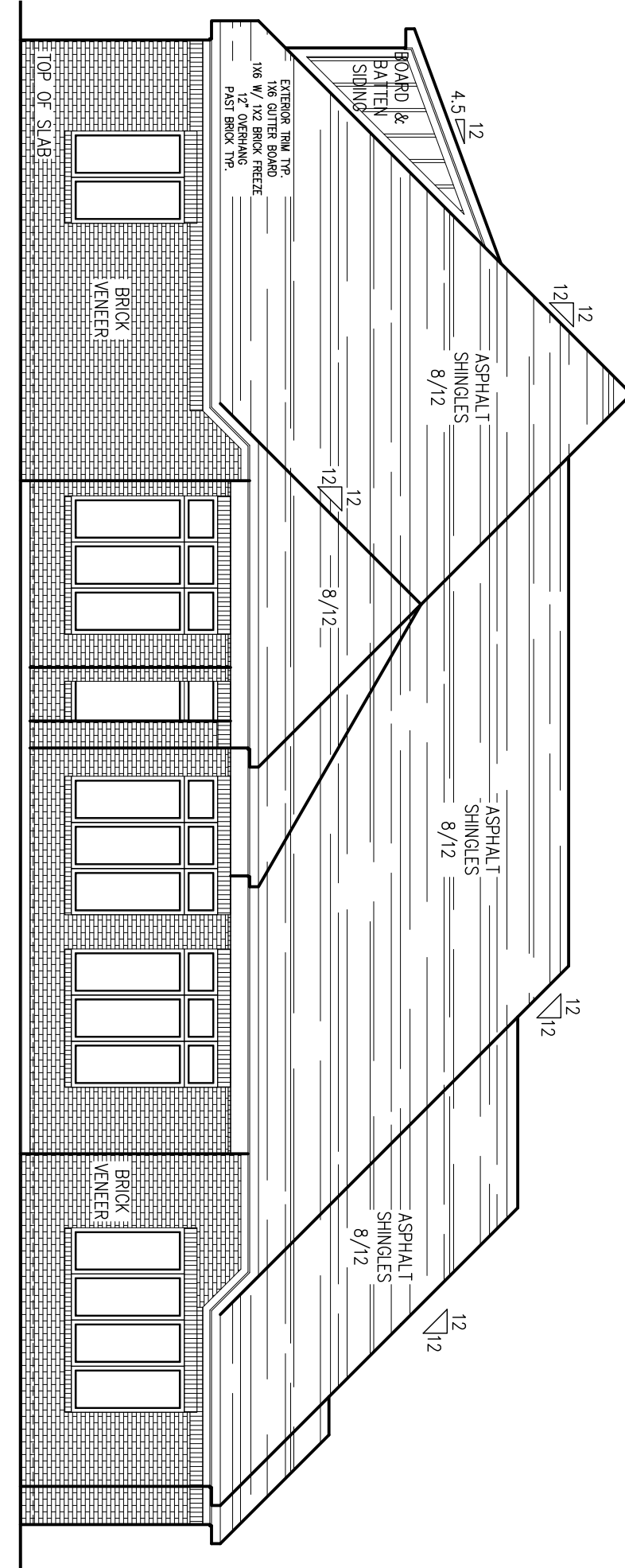


LEFT ELEVATION
1/8" = 1'-0"

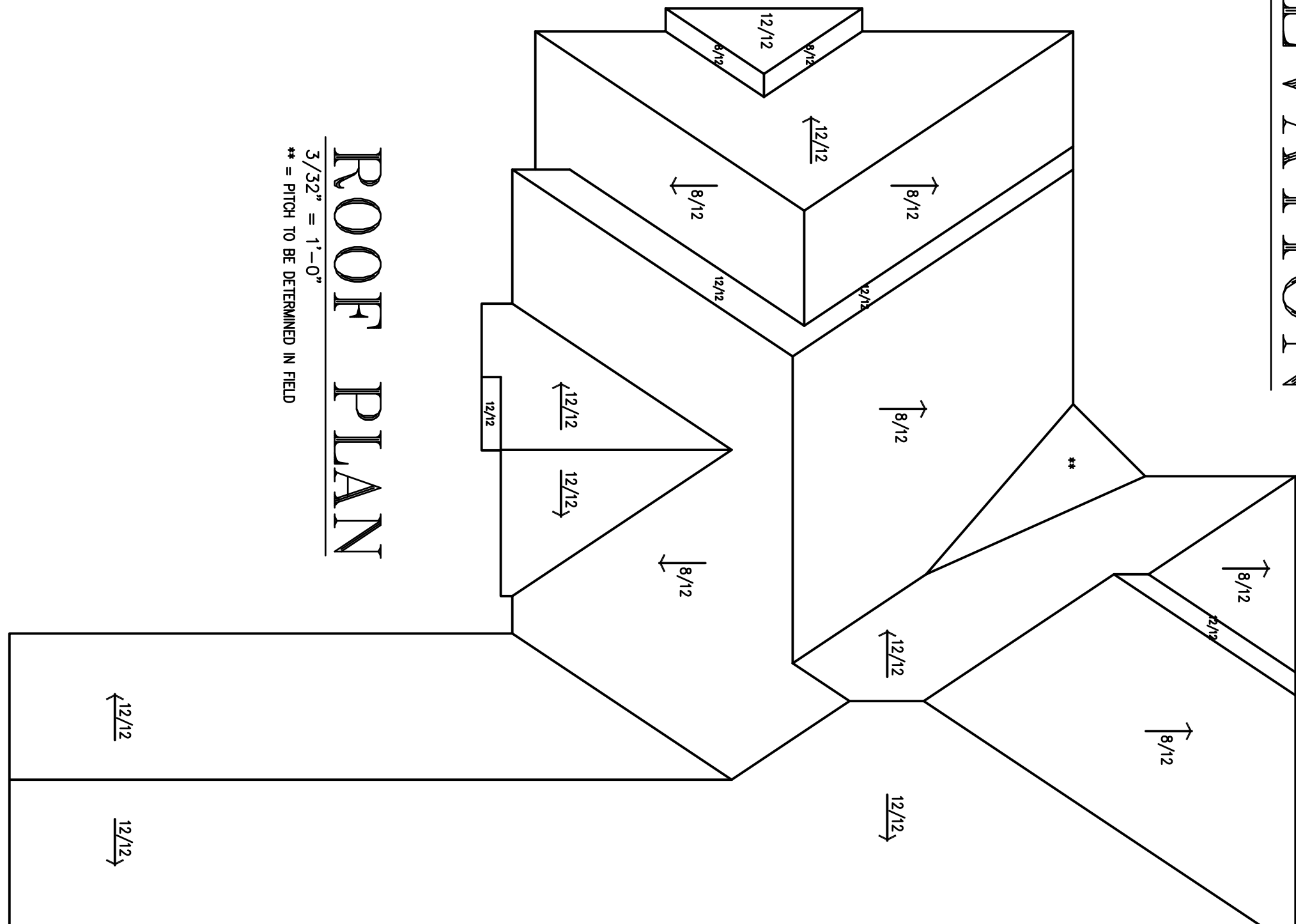


- + 20'-2 7/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 10'-1 3/4" 2ND FLOOR
- + 10'-1 1/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 0'-0" 1ST FLOOR HEIGHT

REAR ELEVATION
1/8" = 1'-0"



- GENERAL ELEVATION NOTES:
1. VERIFY ALL TYPES AND SIZES OF WINDOW UNITS AND DOORS WITH BUILDER. NOTIFY BUILDER OF ANY DISCREPANCIES.
 2. VERIFY LOCATIONS, TYPES AND SIZES OF VENTS AND EXTERIOR TRIM WITH BUILDER.
 3. ALL ROOF CHIMNEY AND WALL INTERSECTIONS SHALL BE FLASHED WITH ALUMINUM OR BETTER MATERIAL.



ROOF PLAN
3/32" = 1'-0"

** = PITCH TO BE DETERMINED IN FIELD

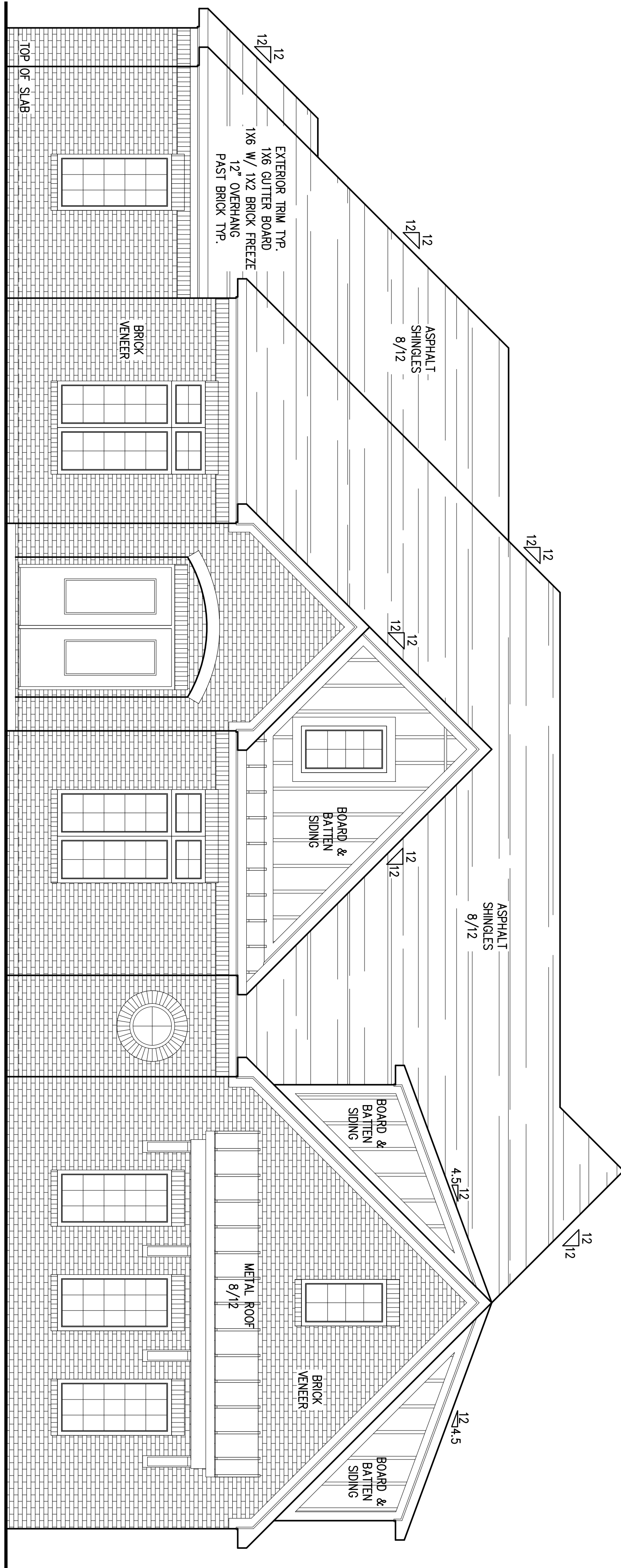
SQUARE FOOTAGE TABLE	
FOUNDATION TOTAL SLAB SQUARE FOOTAGE	2546 SF
FIRST FLOOR FINISHED SQUARE FOOTAGE	3591 SF
SECOND FLOOR FINISHED SQUARE FOOTAGE	481 SF
FRONT PORCH	39 SF
BONUS ROOM SQUARE FOOTAGE	714 SF
TOTAL FINISH SQUARE FOOTAGE	4405 SF

OWNER
BUILDER
DATE

NOTE:
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL EXTERIOR WALLS, ROOF CHIMNEYS, VENTS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

- + 20'-2 7/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 11'-1 3/4" 2ND FLOOR
- + 11 7/8" TGI FLOOR JOISTS
- + 10'-1 1/8" PLATE HEIGHT
- + 7'-11" HEADER HEIGHT
- + 0'-0" 1ST FLOOR HEIGHT

FRONT ELEVATION
1/4" = 1'-0"



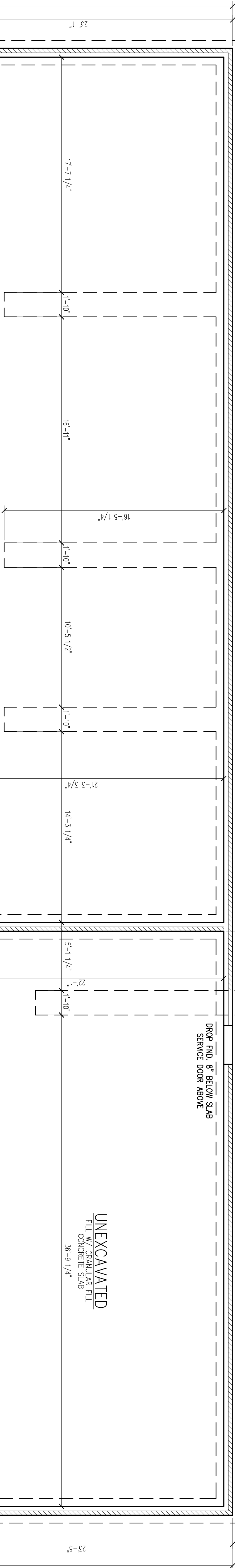
108'-9 1/2"

66'-1"

43'-8 1/2"

33'-9"

PREPARED BY
EMKOW DESIGN SERVICES
05/03/24 09:54:40
ALL RIGHTS RESERVED



ACCEPTANCE & APPROVAL OF PLANS
THESE PLANS HAVE BEEN PREPARED BY A LICENSED PROFESSIONAL ENGINEER AND I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS. I AM NOT PROVIDING THESE PLANS TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OF RECORD. ANY CHANGES TO THESE PLANS MUST BE MADE IN WRITING AND SIGNED BY THE ENGINEER OF RECORD. ANY VIOLATION OF THESE TERMS WILL BE CONSIDERED A VIOLATION OF THE ENGINEERING CODES AND/OR LOCAL ORDINANCES.

OWNER _____
OWNER _____
OWNER _____
BUILDER _____
DATE _____

GENERAL FOUNDATION PLAN NOTES:

1. ALL FOOTINGS SHALL BE BELOW FROST LINE MINIMUM SIZE SHALL BE AS PER LOCAL CODE.
2. FOUNDATION WALLS SHALL BE 8" THICK OR MINIMUM SIZE AS PER LOCAL CODE.
3. ALL FOUNDATION ANCHORS SHALL BE 6'-0" ON CENTER AND 2 PER CORNER.
4. GRADE ALL SOIL AWAY FROM DWELLING TO PROVIDE POSITIVE DRAINAGE. MAINTAIN 8" SPACE BETWEEN GRADE AND ANY WOOD TRIM.
5. ALL WORK IS TO BE PERFORMED AND PROVIDED TO MEET OR EXCEED LOCAL BUILDING CODES.
6. IN UNFINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FOUNDATION WALL.
7. IN FINISHED AREAS ALL DIMENSIONS ARE TO THE FACE OF THE FRAMED WALL.
8. VERIFY ALL MASONRY UNITS SIZES AND TYPES WITH BUILDER PRIOR TO PERFORMING WORK.
9. FACE OF FRAMED WALLS TO BE 4" OUT FROM FACE OF FOUNDATION WALL.

UNEXCAVATED
FILL W/ GRANULAR FILL
CONCRETE SLAB

UNEXCAVATED
FILL W/ GRANULAR FILL
CONCRETE SLAB

UNEXCAVATED
FILL W/ GRANULAR FILL
CONCRETE SLAB

SQUARE FOOTAGE TABLE

FOUNDATION	2546 SF
TOTAL SLAB SQUARE FOOTAGE	
FIRST FLOOR	3691 SF
FINISHED SQUARE FOOTAGE	999 SF
GARAGE SQUARE FOOTAGE	481 SF
PATIO	39 SF
FRONT PORCH	
SECOND FLOOR	714 SF
BONUS ROOM SQUARE FOOTAGE	
TOTAL FINISH SQUARE FOOTAGE	4405 SF

FOUNDATION PLAN

1/4" = 1'-0"

WALL HEIGHT - 3'-0" W/ 22"-8" FOOTING
CONCRETE SLAB W/ GRANULAR FILL

****NOTE****
IT IS THE BUILDER/ OWNERS RESPONSIBILITY TO VERIFY THE PROPER AIR SPACE BETWEEN ALL BRICK AND WOOD WALLS WITH HOUSE WRAP, TO PREVENT WATER INFILTRATION. BUILDER/ OWNER SHOULD SEEK THE ASSISTANCE OF A QUALIFIED ENGINEER FOR THE PROPER SIZING OF ALL STRUCTURAL HEADERS, RAFTERS, SUPPORT BEAMS, LAMINATED BEAMS, JOISTS, FOOTINGS, ETC. IT IS THE BUILDER/ OWNER RESPONSIBILITY TO VERIFY ALL DIMENSIONS & DESIGN OF THESE DOCUMENTS FOR ACCURACY.

SPRINGS OF CAMBRIGE
LOT # 452

PREMIER CUSTOM HOMES
317-538-0887

SHEET NO.
A-2
OF 4

YEPES
RESIDENCE
4405 S.F.
FILE NAME: 452 CAM
PLOT DATE: 05/03/24
REVISED DATE:



Board of Zoning Appeals Staff Report

Meeting Date: June 26, 2024

DEPARTMENT CONTACT:

Gabrielle Herin (hering@fishers.in.us)

CASE NUMBER:

VA-24-12

PETITIONER:

Joe Logan, (joelogan2086@gmail.com)

PROPERTY ADDRESS/LOCATION:

13302 Haven Cove Ln

REQUEST: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 45%, and to permit small sections of 4.5/12 roof pitch instead of the minimum 5/12 roof pitch required for a new single family home and pool deck.

APPLICABLE REGULATIONS:

UDO Sections 3.2.3 &
6.3.4.B.3.d and
Marina PUD Ord No. 041210

EXISTING ZONING:

Marina PUD (Ord. No.
041210)

FISHERS 2040:

Suburban Residential

LOT SIZE: Approx. 0.51 acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

ZONING HISTORY:

The area known as the Marina PUD (Ordinance #: 041210) was rezoned to PUD-M in 2010. The PUD refers to the Unified Development Ordinance (UDO) R2 development standards for the maximum permitted impervious surface area. The minimum permitted roof pitch is based on architectural standards in the UDO.

SURROUNDING LAND USE & ZONING:

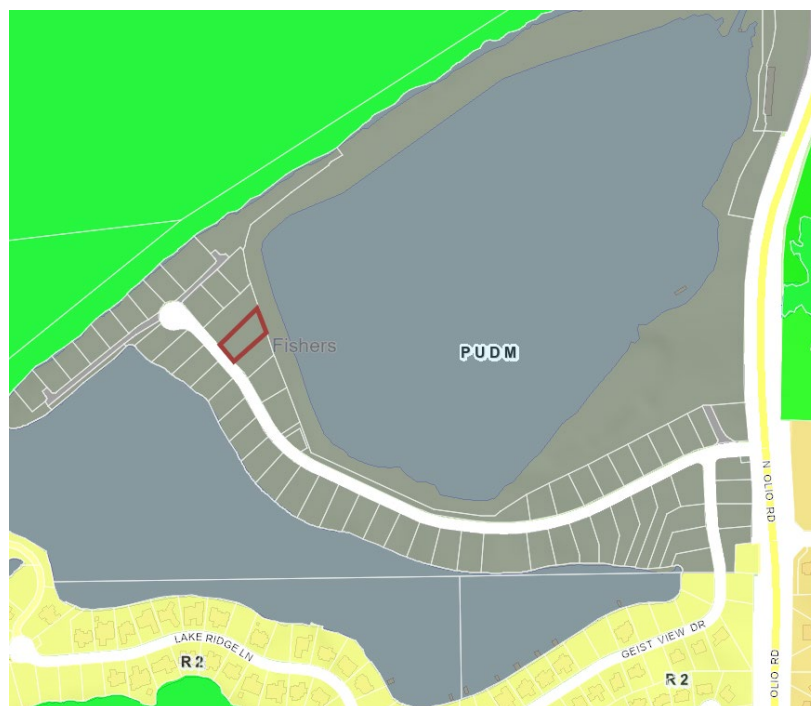
North: PUD-M (Traditional Single Family, Land Owned by Utility Company for Reservoir)

East: PUD-M, R3 (Traditional Single Family)

South: PUD-M, R2 (Geist Reservoir, Traditional Single Family)

West: PUD-M (Traditional Single Family)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

Joe Logan, on behalf of the Yepes, is requesting two Development Standards Variances for a custom-built home:

- To increase the lot's maximum impervious surface coverage from 35% to 43%
- To permit small sections at a 4.5/12 roof pitch instead of the minimum required 5/12

The impervious surface area maximum is exceeded because of the footprint of the house and pool deck. Staff confirmed the impervious surface would have to be increased to 45% and that the increase would not cause any concern from the Stormwater department.

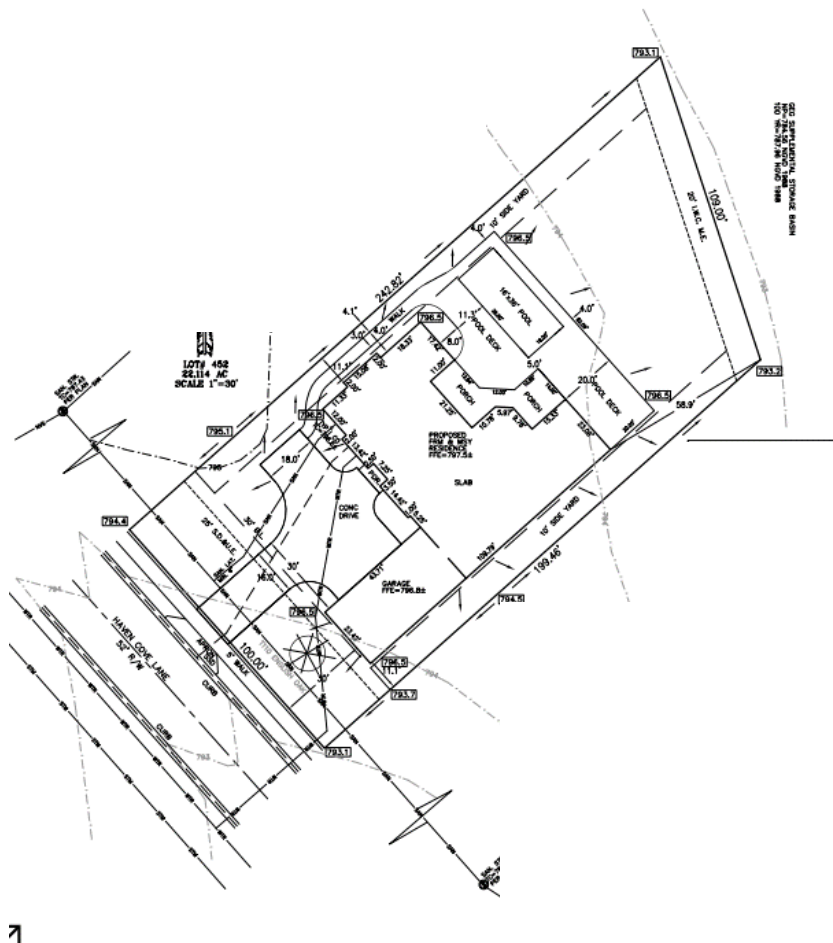


Figure 1. Layout of the house on the lot.

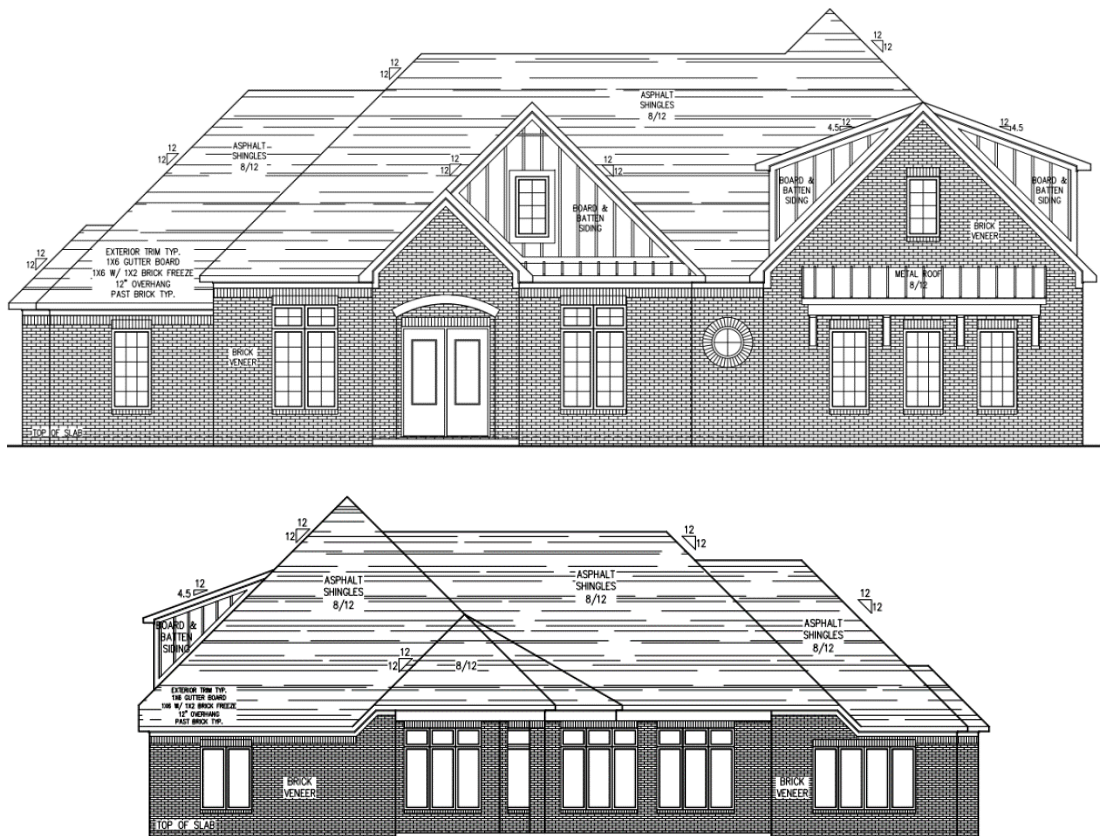
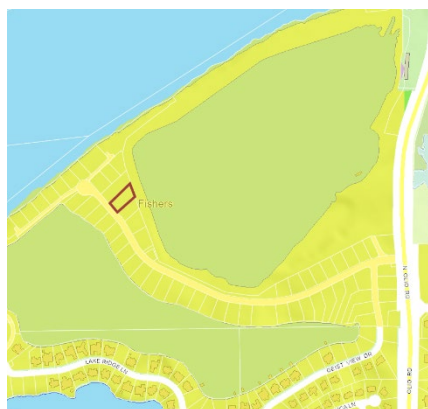


Figure 2. Front and rear elevations of the proposed custom-built home.

Fishers 2040

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

THE SPRINGS OF CAMBRIDGE

INST.#2006-00010533

LOT #382 - SECTION 9

PERMITTING:

TOWN OF FISHERS, INDIANA

13662 Kingston DRIVE, FISHERS

ZONING EXHIBIT

PREPARED FOR

MARTIN RESIDENCE

NOTE TO BUILDER

FILL MUST BE COMPACTED TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D696 AS DETERMINED BY THOSE METHODS SET FORTH WITHIN ASTM D1556. THE SURFACE OF FILL SHALL EXTEND AT LEAST TEN FEET HORIZONTALLY FROM THE PERIMETER OF THE BUILDING BEFORE SLOPING BELOW THE BASE FLOOD ELEVATION.

LOT SIZE: 0.35±AC. (15,246± S.F.)

PROPOSED IMPERVIOUS: 42.1%

VARIANCE REQUESTED IMPERVIOUS COV.: 45.0%

BASE FLOOD ELEVATION DATA:

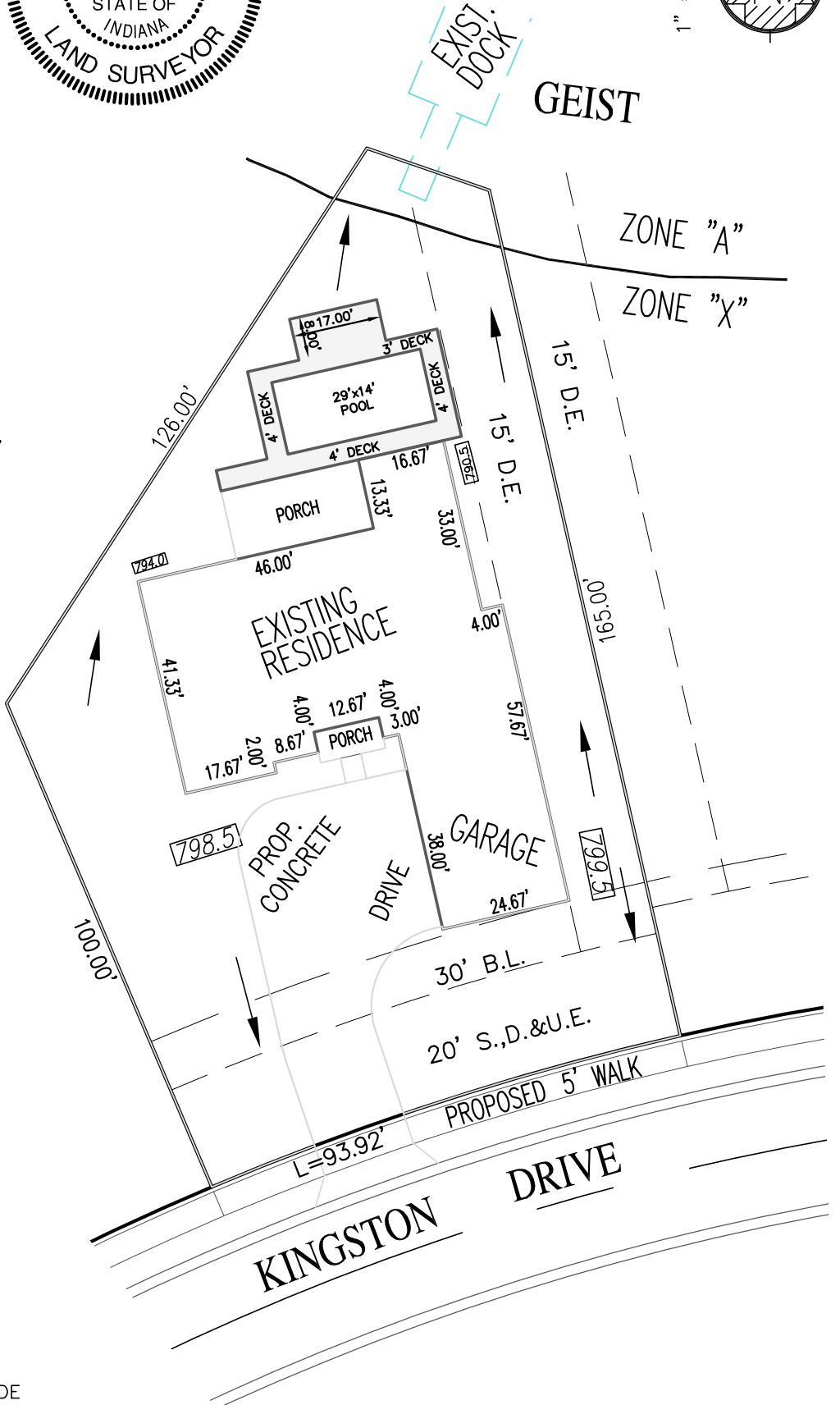
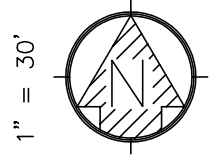
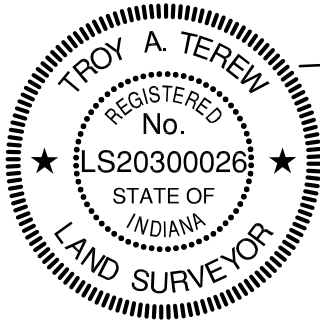
THE BASE FLOOD ELEVATION IS 787.97' (NAVD 88) PER PLAT OF RECORD, SPRINGS OF CAMBRIDGE, SECTION 10, RECORDED 05/05/2008..

FLOOD PLAIN DATA:

A PART OF THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE "A" AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR HAMILTON COUNTY, INDIANA, COMMUNITY NAME, "HAMILTON COUNTY", COMMUNITY NUMBER, 18057C, PANEL NUMBER 258G, DATED NOVEMBER 19, 2014.

NO PORTION OF THIS LOT IS AFFECTED BY THE FLOODWAY AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR MARION COUNTY, INDIANA, COMMUNITY NAME, "HAMILTON COUNTY", COMMUNITY NUMBER, 18057C, PANEL NUMBER 258G, DATED NOVEMBER 19, 2014.

A PORTION OF THIS LOT HAS BEEN REMOVED FROM THE SFHA HAZARD ZONE "A" PER LETTER OF MAP REVISION BASED ON FILL (LOMR-F), CASE #08-05-0434A, DATED DECEMBER 18, 2007.



POOL NOTE

- (1) ALL UTILITY BOXES AND OTHER NON-FLOODPROOFED UTILITIES ASSOCIATED WITH THE POOL MUST BE ELEVATED 2- FEET ABOVE THE NOTED FLOODPLAIN ELEVATION OF 787.97'
- (2) POOL EXCAVATION MATERIALS ARE TO BE HAULED OFF SITE AND PROPERLY DISPOSED OFF.

000.0 — PROPOSED GRADE

000.0 — EXISTING GRADE



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LAND DEVELOPMENT CONSULTING
& LAND SURVEYING SERVICES
11650 Olio Road, Suite#1000-289
Fishers, Indiana 46037
Phone: (317)-841-8754
Fax: (317)-841-8762
E-mail: Troy@Truenorthindy.com

DRWN: TAT
JOB#: 24-635

DATE: 05/14/24
REV.:

SCALE: 1" = 30'

ZONED:
ZONING: 9'/20' SIDE
20' REAR & 20' FLOOD ZONE



Board of Zoning Appeals Staff Report

Meeting Date: June 26, 2024

DEPARTMENT CONTACT:

Gabrielle Herin, Senior Planner

hering@fishers.in.us

CASE NUMBER:

VA-24-14

PETITIONER:

Troy Terew, troy@truenorthindy.com

PROPERTY ADDRESS/LOCATION:

13662 Kingston Dr

REQUEST: Consideration of a Development Standards Variance from UDO Section 3.2.3 to increase the maximum allowed impervious surface percentage from 35% to 45% for a proposed pool.

APPLICABLE REGULATIONS:

UDO Section 3.2.3

EXISTING ZONING:

Unified Development
Ordinance (UDO)

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.35 acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

ZONING HISTORY:

The zoning is based on the Unified Development Ordinance, which was approved in 2018.

SURROUNDING LAND USE & ZONING:

North: PUD-M (Geist Reservoir)

South: R2 (Traditional Single Family)

East: R2 (Traditional Single Family)

West: R2, OS (Traditional Single Family, Geist Reservoir)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

No public comments regarding this variance were received.

PETITION OVERVIEW:

Summary of Request

Troy Terew, on behalf of the Martins, is requesting a Development Standards Variance to increase the lot's maximum impervious surface area from 35% to 45% for hardscaping associated with a pool and for a single family house. Staff confirmed the impervious surface coverage would have to be increased to 45% and that the increase would not cause any concern from the Stormwater department.

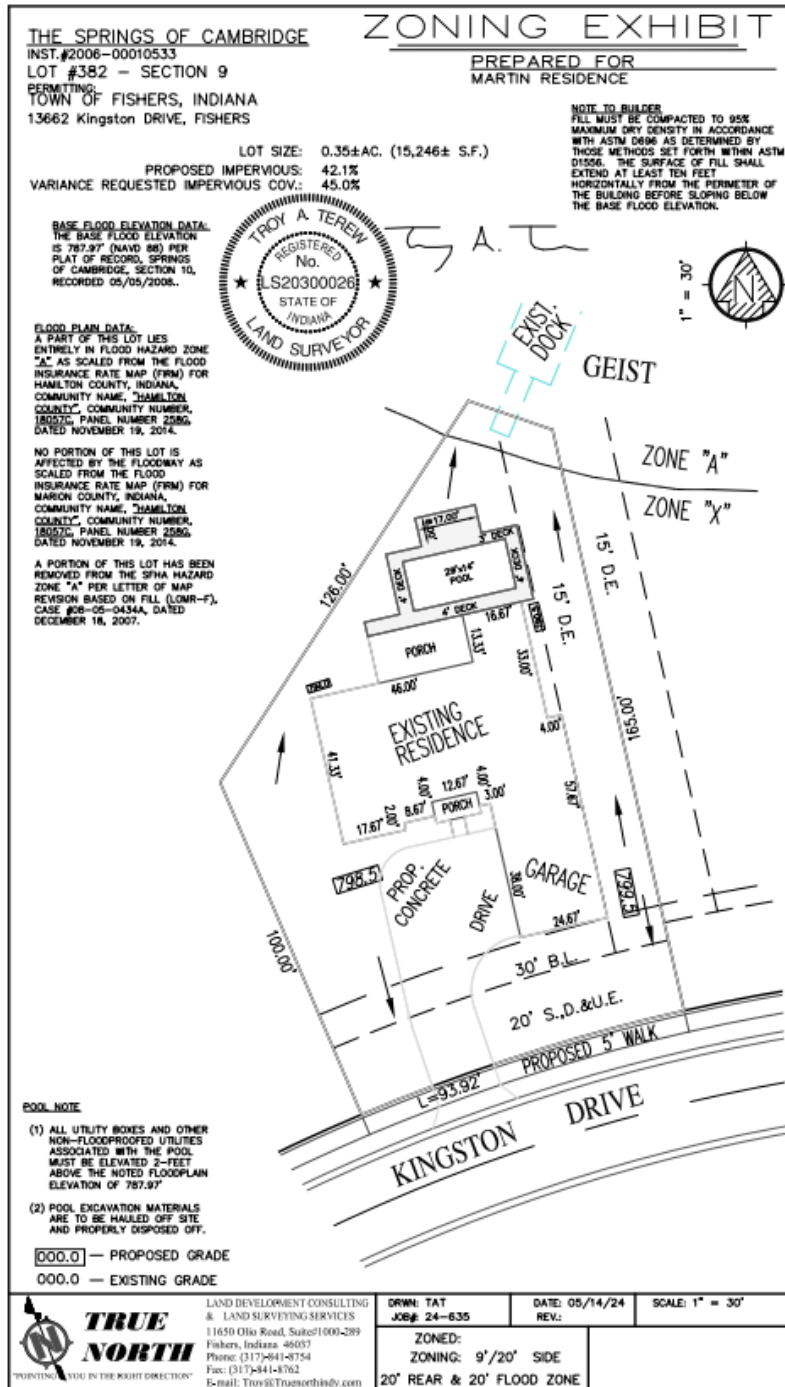
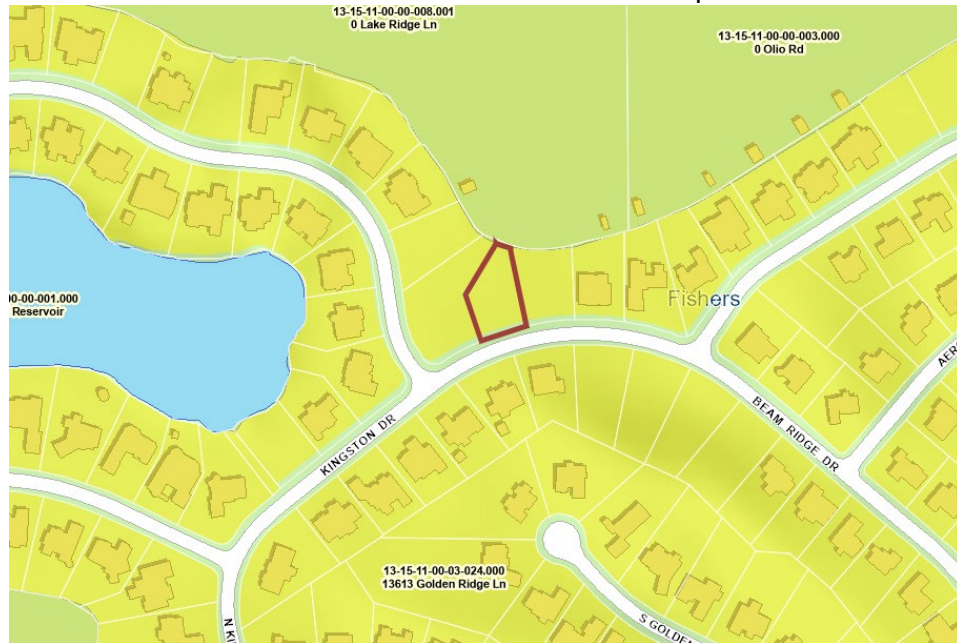


Figure 1. Layout of the house on the lot with the pool and pool deck in the backyard.

Fishers 2040

Fishers 2040 identifies the future land use of this lot to be suburban residential.

Fishers 2040 Future Land Use Map



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation