



CITY OF FISHERS AGENDA

In accordance with the Americans with Disabilities Act (ADA), the City of Fishers will, upon request, provide appropriate aid (i.e. interpreters) and/or assistance leading to effective participation for people with disabilities. Anyone who requires such assistance should [email Kelly Lewark](#), Office Manager, no later than 48 hours before the scheduled event or call at (317) 595-3487.

The public may [stream the meeting online](#). Members of the public may [submit comments online](#).

BOARD/COMMISSION: Board of Zoning Appeals – Fishers Meeting

DATE: 4/24/2024, at 6:00 PM

DIRECTIONS: Launch Fishers, 12175 Visionary Way, Fishers, Indiana 46038

1. Call to order / Pledge of Allegiance

2. Roll Call

3. Approval of Previous Minutes

- a. 2-28-24

4. Public Hearings

- a. **7803 Hardwick Place**

Parcel: 15-10-36-03-09-007.000

Address: 7803 Hardwick Place

Case: VA-24-4Request: Consideration of a Development Standard Variance from Section 3.2.5 R4 Residential of the City's UnifiedDevelopment Ordinance (UDO) to allow a 5 foot side setback, from the 10 foot side setback requirement.

Petitioner: Steve Trimble (smtrimble@yahoo.com)Planner: Christy Cashin (christyc@fishers.in.us)

b. **13320 Haven Cove Ln**

Parcel: 13-15-02-00-25-011.000

Address: 13320 Haven Cove Lane

Case: VA-24-5

Request: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 43% and to permit a 0/12 roof pitch instead of the minimum 5/12 roof pitch required for a new single family house.

Petitioner: Keith Bayless (keith@eatoncustomhomes.com) **Planner:** Gabrielle Herin (hering@fishers.in.us)

c. **13284 Haven Cove Ln**

Parcel: 13-15-02-00-25-013.000

Address: 13284 Haven Cove Lane

Case: VA-24-7 **Request:** Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 42%, to permit a 3/12 roof pitch and a flat roof over the front porch instead of the minimum 5/12 roof pitch required and to increase the maximum permitted height from 35 feet to 43 feet for a new single family home.

Petitioner: Joe Logan (joelogan2086@gmail.com) **Planner:** Gabrielle Herin (hering@fishers.in.us)

d. **12953 Silbury Hill Way**

Parcel: 13-11-25-00-15-025.000

Address: 12953 Silbury Hill Way

Case: VA-24-8

Request: Consideration of a Development Standards Variance from the Avalon PUD Ordinance #: 121503E to increase the maximum allowed impervious surface percentage from 45% to 52% for a proposed pool.

Petitioner: Tim Ruth (tim_ruth@icloud.com)
Planner: Gabrielle Herin (hering@fishers.in.us)

5. New Business

6. Staff Communication

7. Board Signatures – Findings of Fact

8. Adjournment

**CITY OF FISHERS
BOARD OF ZONING APPEALS
MINUTES
LAUNCH FISHERS AUDITORIUM
February 28, 2024**

The Board of Zoning Appeals convened at 6:00 p.m.

A roll call was taken. Members present: Steve Ferrucci, Jeffrey Silvey, Greg Lannan and Tom Grinslade, and Howard Stevenson.

Others present: Ross Hilleary, Kevin Martin, Kay Prange, Paul Walters, Rob McMurray, Christy Cashin, Gabrielle Herin, Scott Frissell, Joe Logan, Jim and Cindy Lauyer, Brian Burtch, Sue Payne.

Mr. Ferrucci confirmed quorum and called the meeting to order.

Mr. Ferrucci asked for a Motion for the approval of the previous minutes. Mr. Silvey made a Motion to approve, seconded by Mr. Grinslade. The Minutes were approved, 4-0-1.

Public Hearings:

a. Campo Outpost Variance

Parcel: 14-10-24-00-00-012.000

Address: 140 White Oaks Dr, Fishers, IN 46038

Case: VA-24-1

Request: Consideration of two Development Standard Variances from Section 3.2.3. R2 Residential District of the City's Unified Development Ordinance (UDO) to allow for a 500 square foot minimum building floor area from the 1600 square foot minimum for an owner occupied single family home and from Section 6.3.4.B.4.c. Automobile Storage Standards of the UDO to allow no garage requirements from the two-car garage requirement.

Petitioner: Samuel Pfeifer (samuel@neonarchitecture.com)

Planner: Christy Cashin, Senior Planner (cashinc@fishers.in.us)

Brian Burtch, Architect presented the site plan. A small house (cabin) is being built, one bedroom with a loft. The owner opted not to build a garage and the cabin will not be rented out. Steve Ferrucci asked how to enforce that the cabin would not become a Airbnb or VRBO. Ross Hilleary answered that Code Enforcement would report it. The Petitioner agrees. Christy Cashin presented the Staff Report. Photos of the property were shown. Staff has No Recommendation. If approved, the following conditions would apply:

1. The approval letter on file with the County
2. Dwelling only used by owners
3. No renters
4. The Existing foundation from an earlier building would be removed or used.

Mr. Ferrucci opened the Public Hearing.

Sue Payne (110 White Oaks)- This is a previous property of her family. She lives on the adjacent property. She and husband are in support. If you don't know a building is there, you wouldn't find it.

Mr. Ferrucci closed the Public Hearing.

Mr. Grinslade will vote to deny, this is too far out of standards.

Mr. Ferrucci asked for a Motion. Mr. Lannan made a Motion to approve, with the conditions listed above, seconded by Mr. Stevenson. The Motion was approved. 4-1.

b. Nevogt Residence Variances

Parcel: 13-15-02-00-25-047.000

Address: 13571 Haven Cove Ln, Fishers, IN 46055

Case: VA-24-2

Request: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 46%, to permit a 2/12 and 4/12 roof pitch instead of the minimum 5/12 roof pitch required and to increase the maximum permitted height from 35 feet to 42 feet for a new single family home.

Petitioner: Joe Logan (jlogan2086@aol.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

Joe Logan presented the variance requests for 46% impervious surface, roof pitch, and maximum height. This is part of the Marina PUD which includes similar requests. There have been no Public Comments. Gabrielle Herin presented the Staff Report. Staff has No Recommendation for the Board. If approved, the conditions would include that the approval letter be filed with the County and all TAC comments be addressed for the replat.

Mr. Ferrucci opened the Public Hearing.

Seeing no one from the Public to speak, Mr. Ferrucci closed the Public Hearing.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve, with the conditions listed above, seconded by Mr. Stevenson. The Motion was approved, 5-0.

c. 14375 Brooks Edge Impervious Surface Variance

Parcel: 13-15-12-00-23-045.000

Address: 14375 Brooks Edge Ln, Fishers, IN 46040

Case: VA-24-3

Request: Consideration of a Development Standards Variance from the Southeast Fishers Planned Development Ordinance #100305E, as amended to increase the maximum permitted impervious surface area from 35% to 45% for a proposed single family home.

Petitioner: Joe Logan (jlogan2086@aol.com)

Planner: Gabrielle Herin, Senior Planner (hering@fishers.in.us)

Joe Logan presented the variance request for a 45% impervious surface. This is the result of the building plans for a 4 ½ car garage using more of the lot. Gabrielle Herin presented the Staff Report. Any runoff would go to the retention pond to the south. There have been no Public Comments. Just one phone call was received to get information about the variance. Staff has No Recommendation for the Board.

Mr. Ferrucci opened the Public Hearing.

Seeing no one from the Public to speak, Mr. Ferrucci closed the Public Hearing.

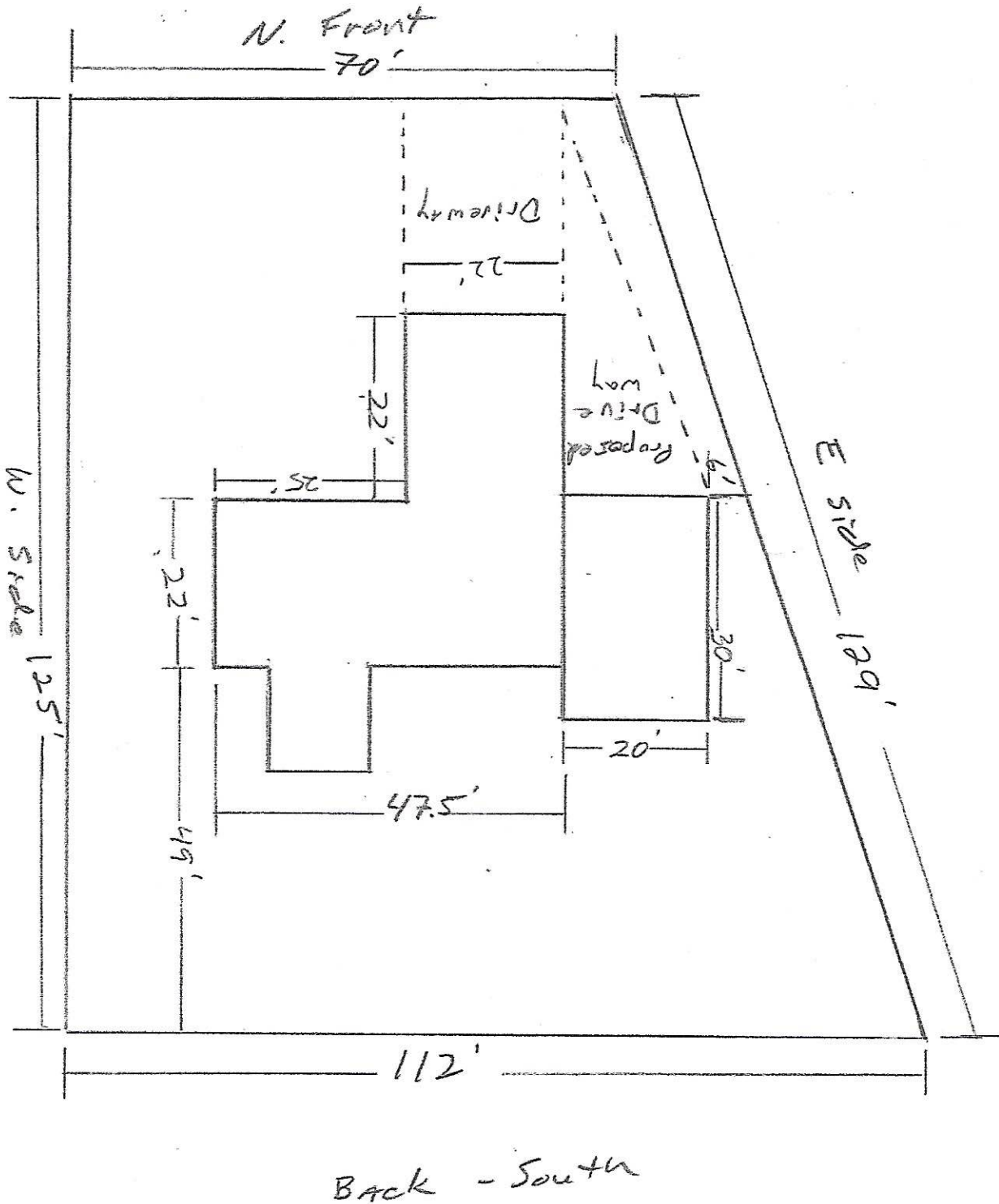
Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve with the inclusion of the approval letter to be filed with the County, seconded by Mr. Silvey. The Motion was approved, 5-0.

New Business- Mr. Ferrucci asked for a Motion to approve The 2024 Rules and Procedures. Mr. Silvey made a Motion to approve, seconded by Mr. Grinslade. The Motion was approved, 5-0.

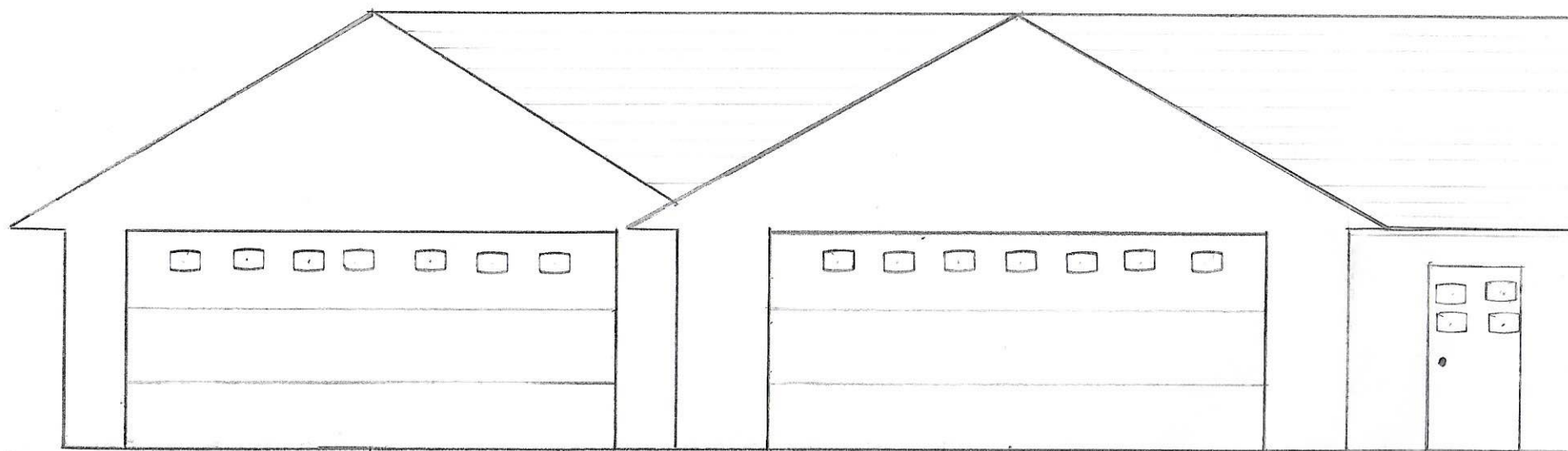
Adjournment As there was no other business, the meeting was adjourned at 6:30 p.m.

Respectfully Submitted by:

Kay Prange, Recording Secretary



7803 Hardwick Pl.
Fishers, IN 46038
Steve/Cathy Trimble

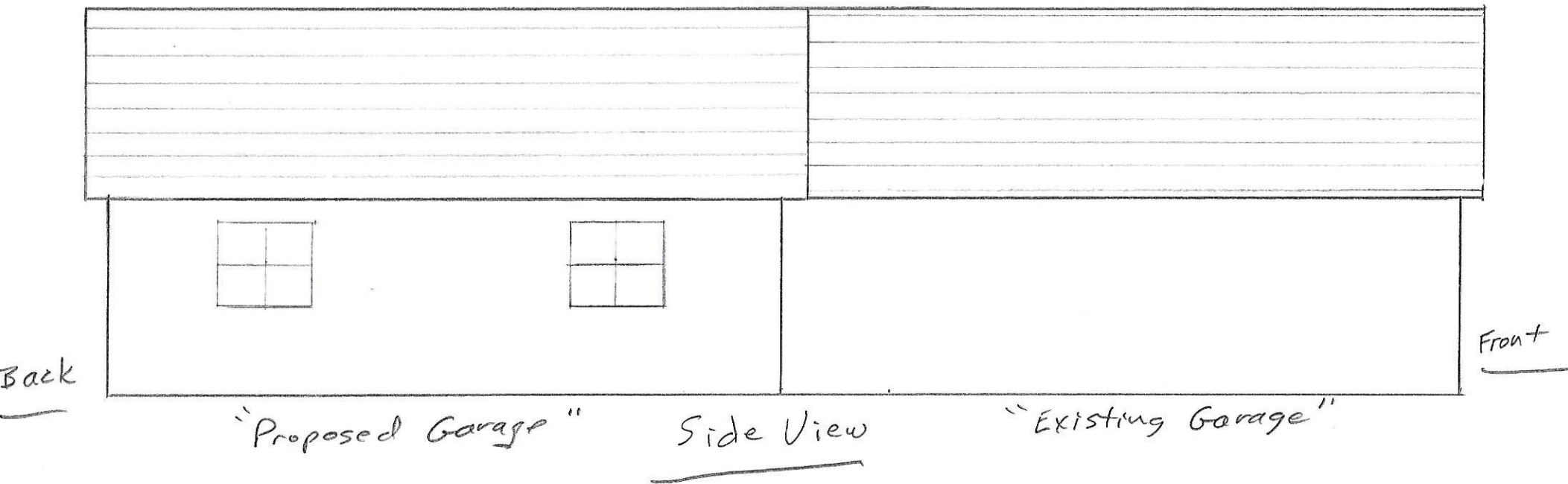


"Proposed Garage"

Front View

"Existing Garage"

Steve Trimble
7803 Hardwick Pl
Fishers, IN



Steve Trimble
7803 Hardwick Pl

Fishers, IN 46038



7803





Board of Zoning Appeals Staff Report

Meeting Date: April 24, 2024

DEPARTMENT CONTACT:

Christy Cashin (cashinc@fishers.in.us)

CASE NUMBER:

VA-24-4

PETITIONER:

Steve Trimble (smtrimble@yahoo.com)

PROPERTY ADDRESS/LOCATION:

7803 Hardwick Place

REQUEST: Consideration of a Development Standard Variance from Section 3.2.5 R4 Residential of the City's Unified Development Ordinance (UDO) to allow a 5 foot side setback, from the 10 foot side setback requirement.

APPLICABLE REGULATIONS:

City of Fishers UDO

EXISTING ZONING:

R-4 Residential District

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.28 Acres

**STAFF RECOMMENDATION**

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

ZONING HISTORY:

This property is located in the Sunblest neighborhood, zoned R-4 residential.

SURROUNDING ZONING & LAND USE:

North: R-4 Residential District (single family residential)

East: R-4 Residential District (single family residential)

South: R-4 Residential District (single family residential)

West: R-4 Residential District (single family residential)



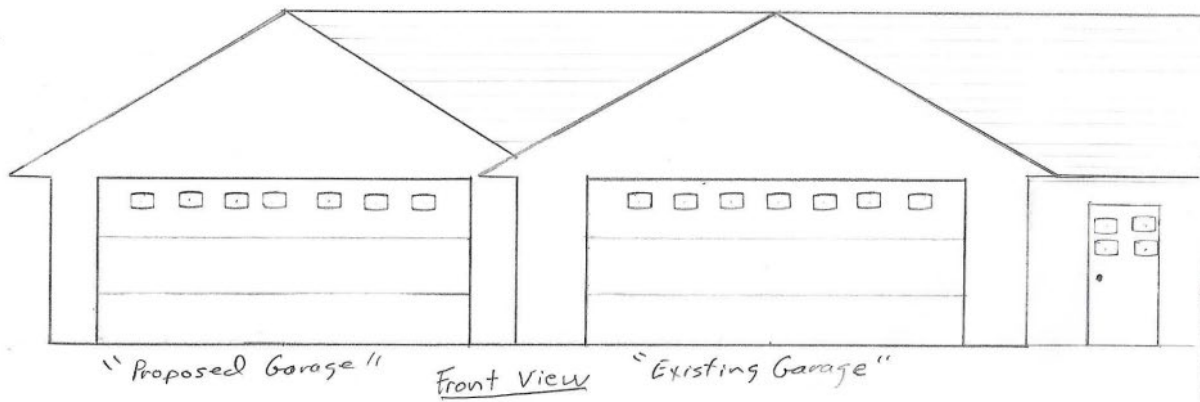
SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

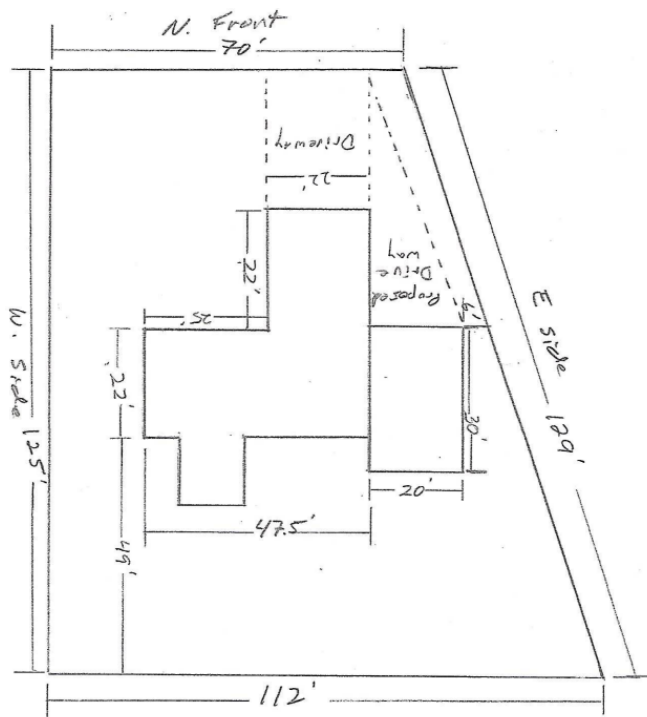
PETITION OVERVIEW:

Summary of Request

The petitioner is requesting a development standard variance to allow a 5-foot setback, where the minimum setback allowed is 10-feet. The petitioner plans to build an additional garage and a driveway expansion on the east side of their home. The proposed expansion will keep the property under the 40% impervious surface requirement.



Proposed garage design and location



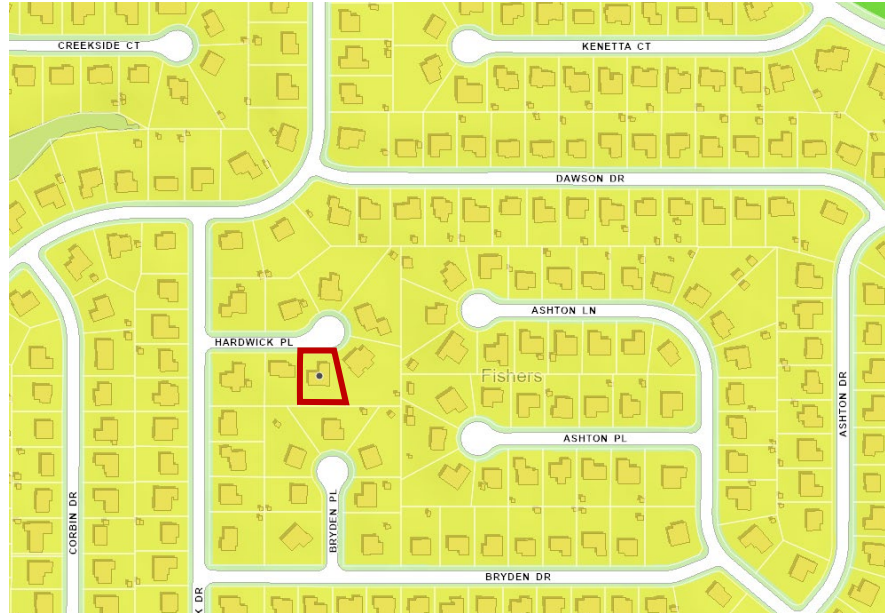
Site plan



Aerial view of the property

Fishers 2040 Comprehensive Plan

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

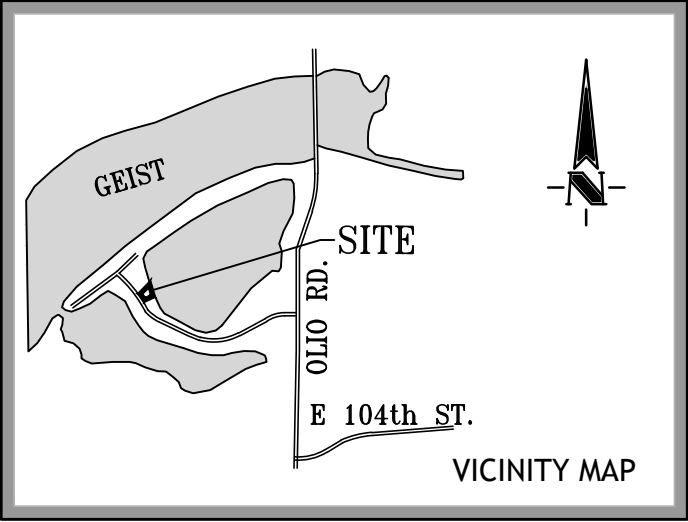
Staff has no recommendation for this request.

If the Board approves this variance staff requests the following condition:

1. The Approval Letter and related documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation



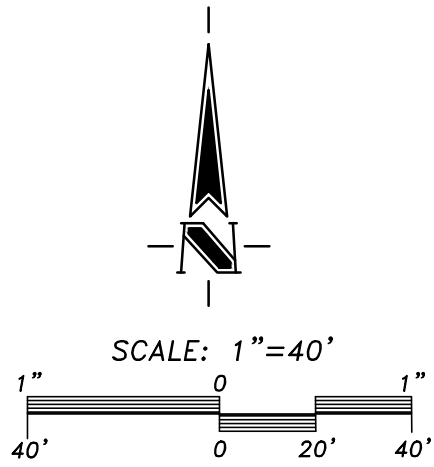
NOTE: THE PROPOSED RESIDENCE IS IN A SPECIAL FLOOD HAZARD IN ZONE "X" PER THE FEMA FLOOD INSURANCE RATE 18057C0258G MAP NUMBER, DATED NOVEMBER 19, 2014. THE ACCURACY OF THIS FLOOD HAZARD STATEMENT IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE

NOTE: ALL STOCK PILES TO BE REMOVED

NOTE: ANY DISTURBED AREA LEFT UNDISTURBED FOR 15 DAYS SHALL REQUIRE TEMPORARY SEEDING

LOT NO. 451
THE SPRINGS OF CAMBRIDGE
SECTION 12
INSTRUMENT NO. 2021069526
HAMILTON COUNTY, INDIANA

RESPONSIBLE FOR EROSION CONTROL:
EATON & STIPP
8677 BASH ST.
INDIANAPOLIS, IN. 46056
PHONE: 317-760-9346



General notes

- 1) Proposed 1st floor elevation of ADDITION shall be 796.0
- 2) The proposed finish floor and finish grade elevations shown are minimum elevations in order to provide positive surface drainage away from the proposed residence. The finish grade elevations shall not in any way shed surface storm water flow onto the adjoining properties unless provisions have been made with the adjoining property owners and the governing jurisdiction. shallow flow lines shall be made by the finish grade subcontractor along the common lines with adjoining property owners to direct the storm water flow as shown on this plot plan. The builder shall notify this firm if field adjustments are made lowering than the elevations shown or redirecting the surface storm water flows.
- 3) The dimensions shown on the proposed residence are based upon plans provided by the builder. Prior to construction the builder shall verify no changes have been made from those shown hereon.
- 4) This plot plan has been prepared for use in obtaining a building permit and is not intended to identify lot or property lines. The dimensions shown to lot lines or lines representing property lines are shown based upon limited field evidence of said lines and the dimensions are subject to the same limitations which might affect the accuracy of the dimensions.
- 5) No wetlands shall be disturbed during or after the construction of the site improvements.
- 6) Any subsurface drainage tiles encountered during the construction of the site improvements shall be protected from damage and if necessary rerouted with the drainage flow within perpetuated. If said tile is damaged, repairs shall be made immediately to restore the tile to its original condition.
- 7) Disturbed areas are to be re-seeded as soon as practical however disturbed areas which remain unworked for longer than 15 days shall be treated with temporary seeding.
- 8) The builder and/or any underground site contractor shall call Indiana 811 to verify the location of the underground utilities on this site and report any conflicts to M J Gibson Land Surveying prior to commencing work.
- 9) This survey shall not act as a retracement survey ("boundary survey). In the event the minimum side yards or minimum setbacks are being held for any structure a retracement survey is recommended prior to commencing with construction of the residence or accessory structures. This plot plan shall not be used to locate or determine lot or property lines.

LEGEND

- SB DENOTES SOIL BORE
- x 00.0 DENOTES EXISTING GRADE ELEVATIONS
- 000.0 DENOTES PROPOSED FINISH GRADE ELEVATION
- ← DENOTES PROPOSED DRAINAGE FLOW
- ⊕ DENOTES TEMPORARY BENCHMARK
- ⊙ DENOTES STOCK PILE AREA
- ⊖ DENOTES UNDISTURBED AREA
- ⊙ DENOTES PERMANENT SEEDING
- SB DENOTES STRAW BALE DAM (OR APPROVED EQUAL)
- *⊙* DENOTES SILT FENCE (OR APPROVED EQUAL)
- ⌈⌋ DENOTES TEMPORARY CONSTRUCTION ENTRANCE (EXISTING DRIVE)

NOTE: CONTRACTOR TO COMPLY WITH ALL APPLICABLE SECTIONS OF THE "INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS" PUBLISHED BY THE DIVISION OF SOIL CONSERVATION, INDIANA DEPARTMENT OF NATURAL RESOURCES, OCTOBER 1992, FOR THE PROPER INSTALLATION AND MATERIALS USED FOR ALL EROSION CONTROL MEASURES SHOWN ON THESE PLANS.

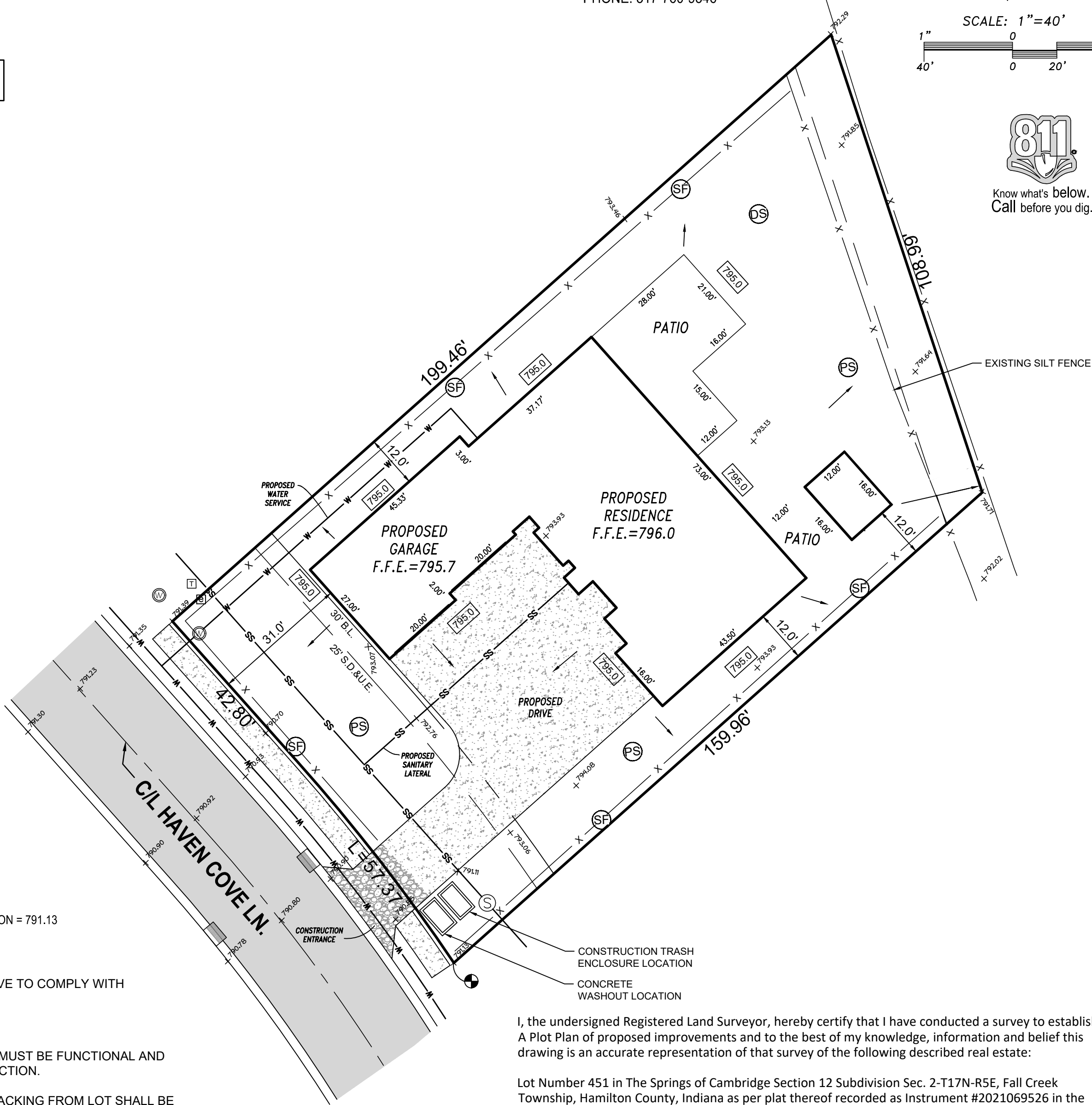
BENCH MARK INFORMATION:

- ⊕ TBM = REBAR SE CORNER ELEVATION = 791.13

CONSTRUCTION DRIVE :
TEMPORARY CONSTRUCTION DRIVE TO COMPLY WITH CITY OF FISHERS ORDINANCES.

NOTE:

- 1.) EROSION CONTROL MEASURE MUST BE FUNCTIONAL AND MAINTAINED THROUGH CONSTRUCTION.
- 2.) SEDIMENT DISCHARGE AND TRACKING FROM LOT SHALL BE MINIMIZED.
- 3.) ADJACENT LOTS DISTURBED BY AN INDIVIDUAL LOT OPERATOR MUST BE REPAIRED AND STABILIZED.
- 4.) CHANGES OR DEVIATIONS TO THIS PLAN SHALL BE SUBMITTED TO THE CITY OF FISHERS FOR APPROVAL.
- 5.) THE INDIVIDUAL LOT OPERATOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURE UNTIL THE LOT IS STABILIZED. THE OPERATOR MUST COMPLY WITH ALL REQUIREMENTS OF THE STORM WATER MANAGEMENT ORDINANCE OF THE CITY OF FISHERS, INDIANA.



I, the undersigned Registered Land Surveyor, hereby certify that I have conducted a survey to establish A Plot Plan of proposed improvements and to the best of my knowledge, information and belief this drawing is an accurate representation of that survey of the following described real estate:

Lot Number 451 in The Springs of Cambridge Section 12 Subdivision Sec. 2-T17N-R5E, Fall Creek Township, Hamilton County, Indiana as per plat thereof recorded as Instrument #2021069526 in the office of the recorder of Hamilton County, Indiana

CERTIFIED: 12-21-2023
RECERTIFIED: 1-29-2024

Kenneth Gregory Garrison
KENNETH GREGORY GARRISON REGISTERED
LAND SURVEYOR, RLS29300014



REVISION NO:	
DATE:	1-29-2024
REVISED GRADING	

1900 N Meridian Road
Suite A
GREENFIELD, IN 46140
OFFICE: 317-462-4055

MJ GIBSON
LAND SURVEYING

Prepared For:

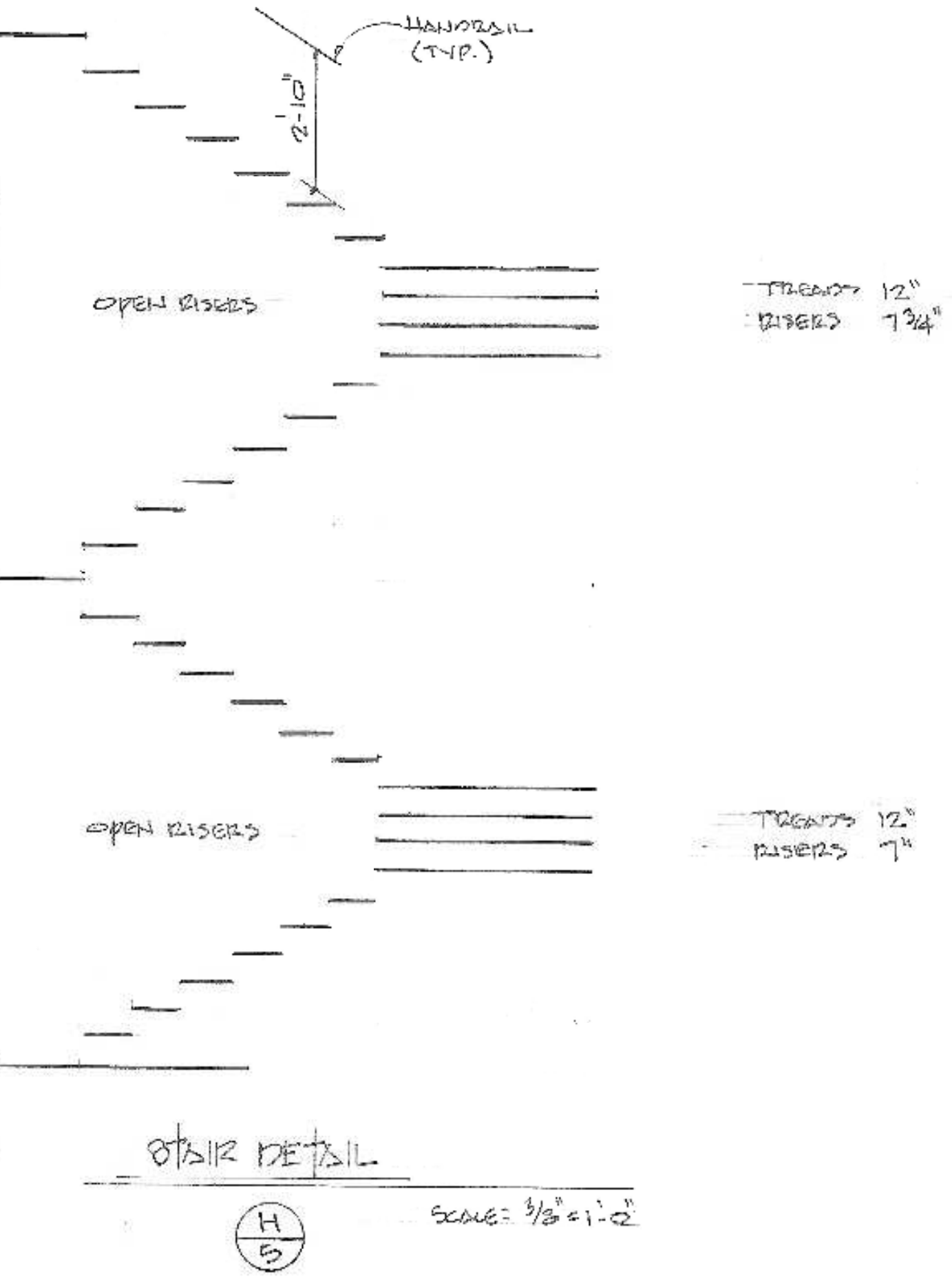
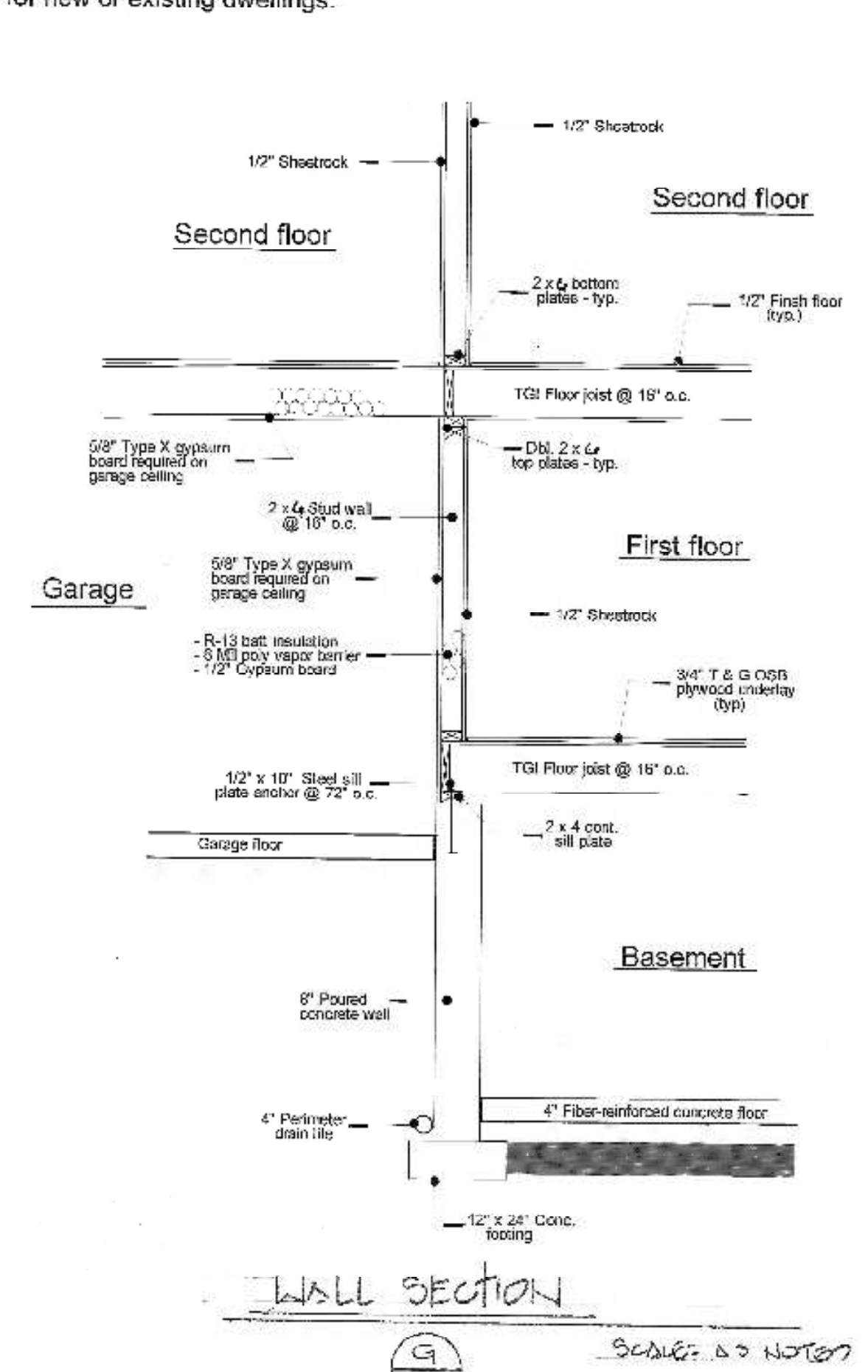
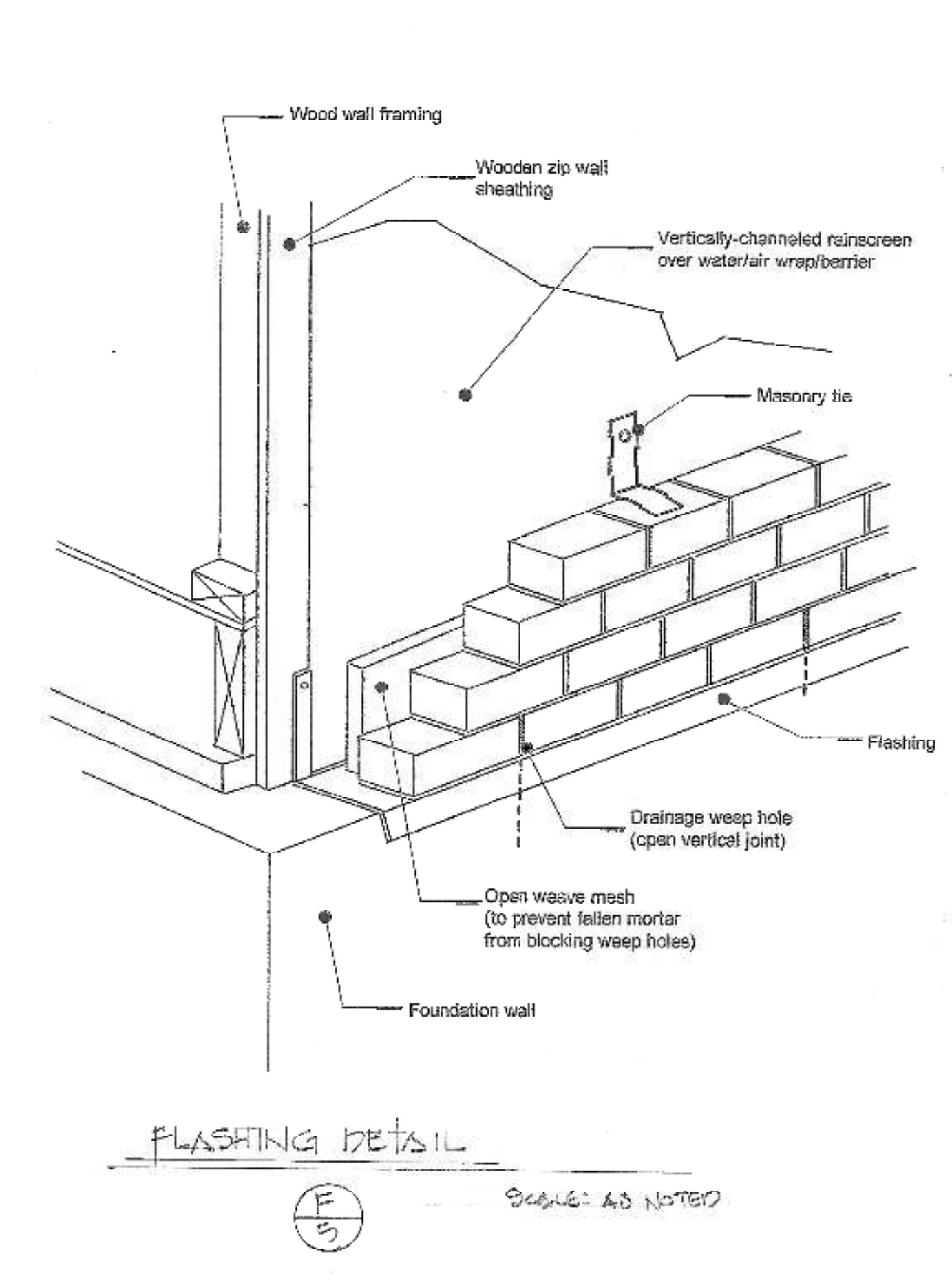
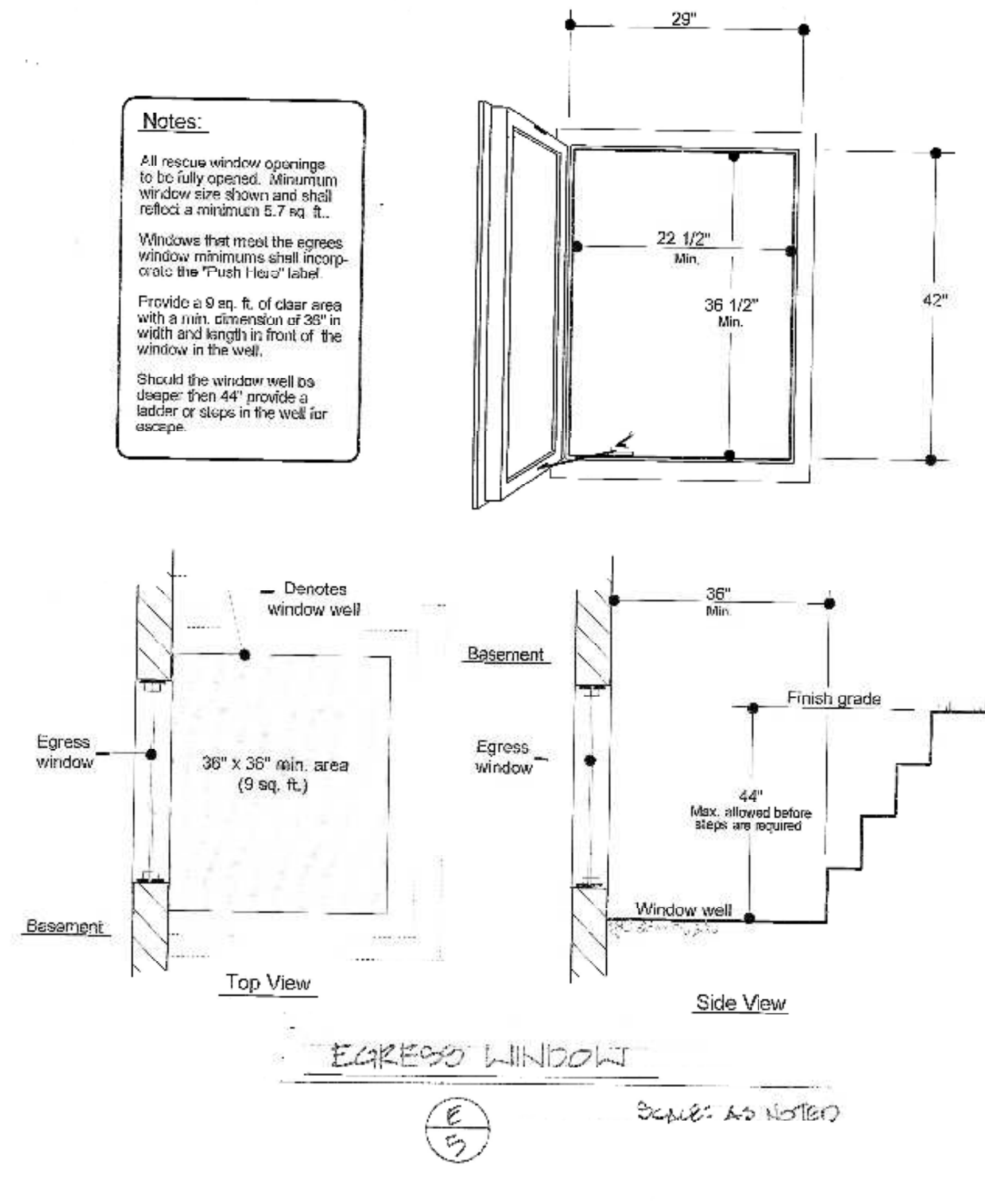
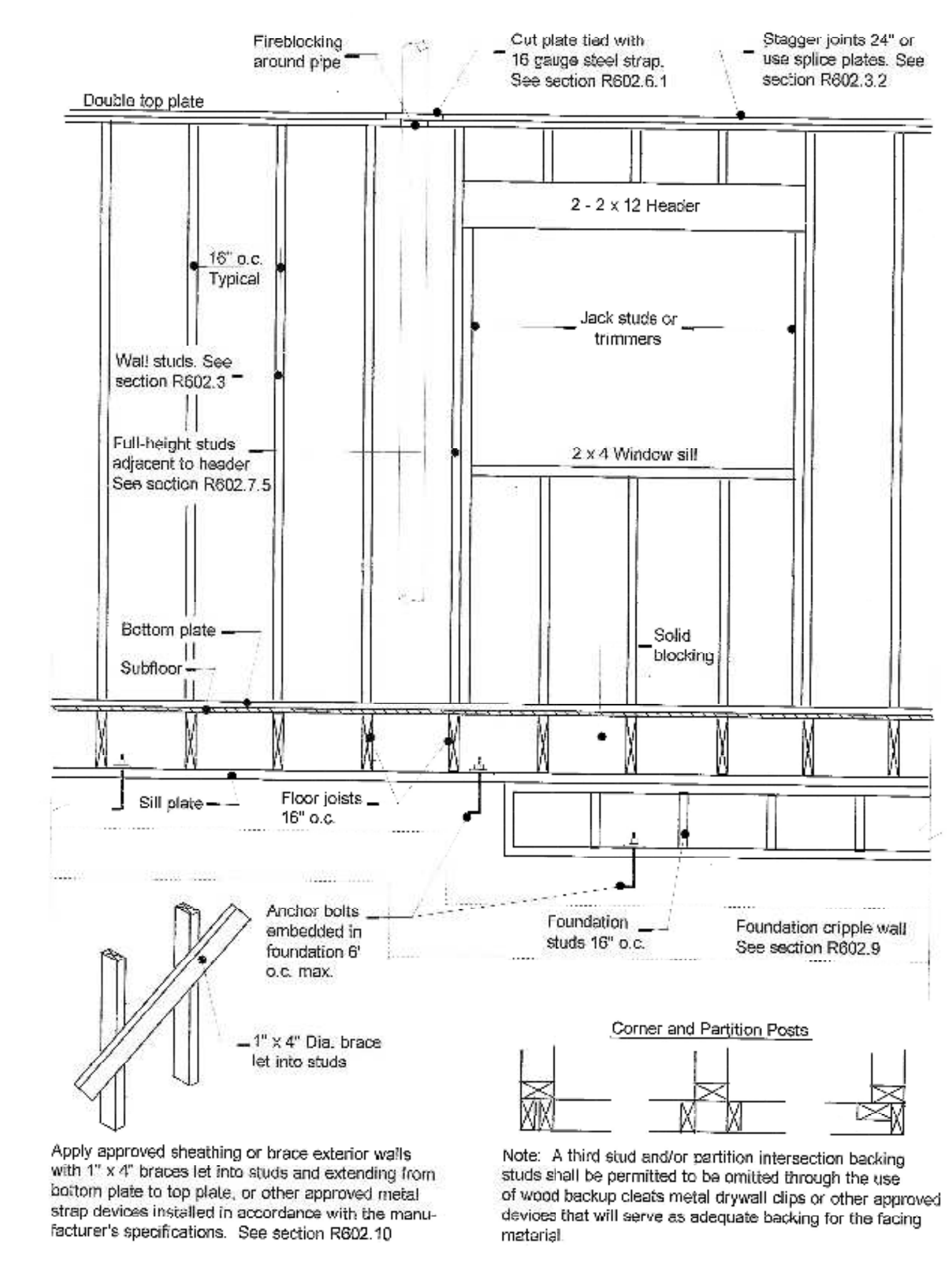
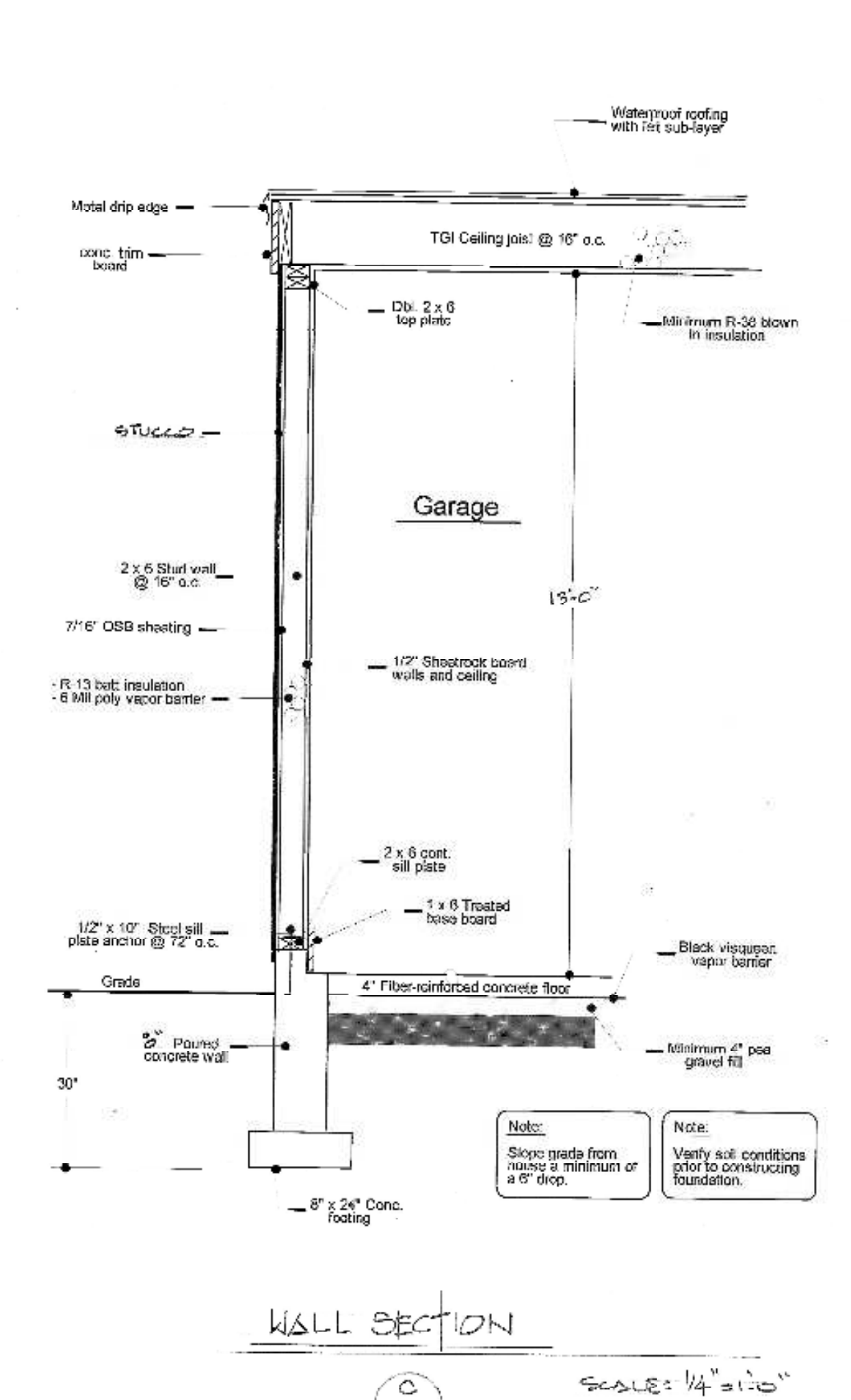
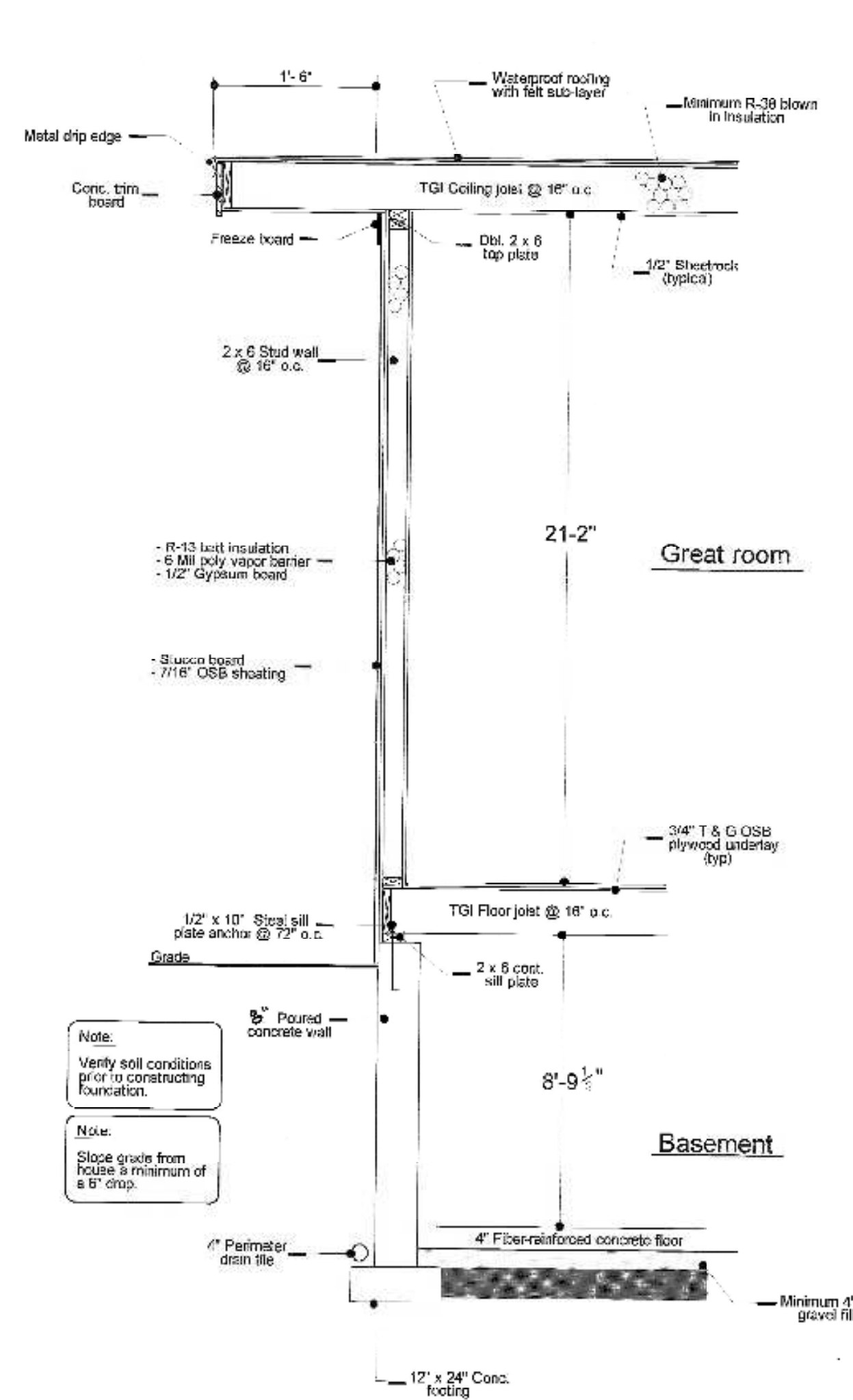
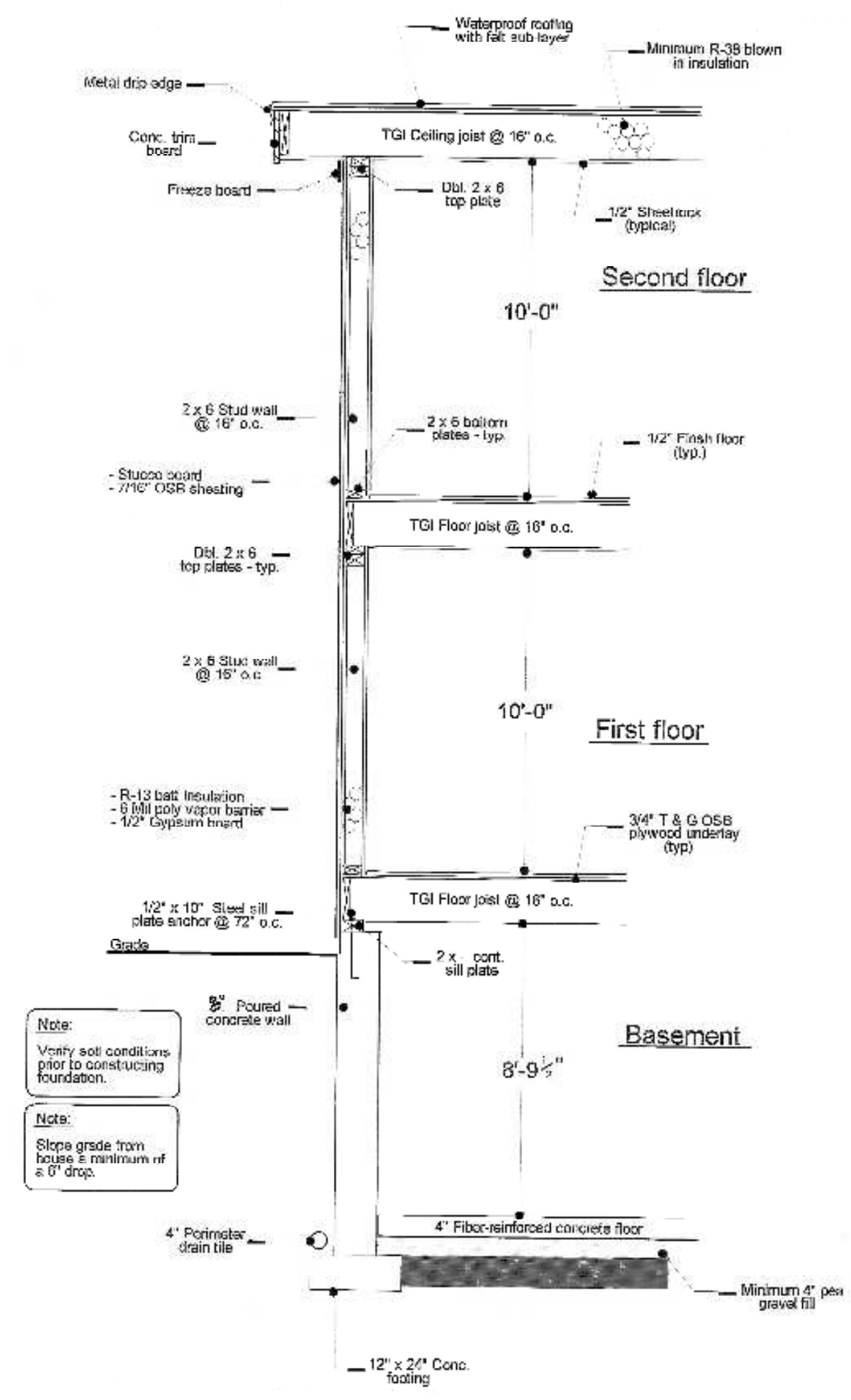
EATON CUSTOM HOMES
8677 BASH ST.
INDIANAPOLIS, IN. 46056
PHONE: 317-760-9346

Project Name:
**EATON CUSTOM HOMES
ZHENG**

Sheet Title
PLOT PLAN

DATE:	12-21-2023
DRAWN BY:	MW
CHECKED BY:	KG
SCALE:	1" = 30'
PROJECT NO:	23-400

SHEET NO:
1



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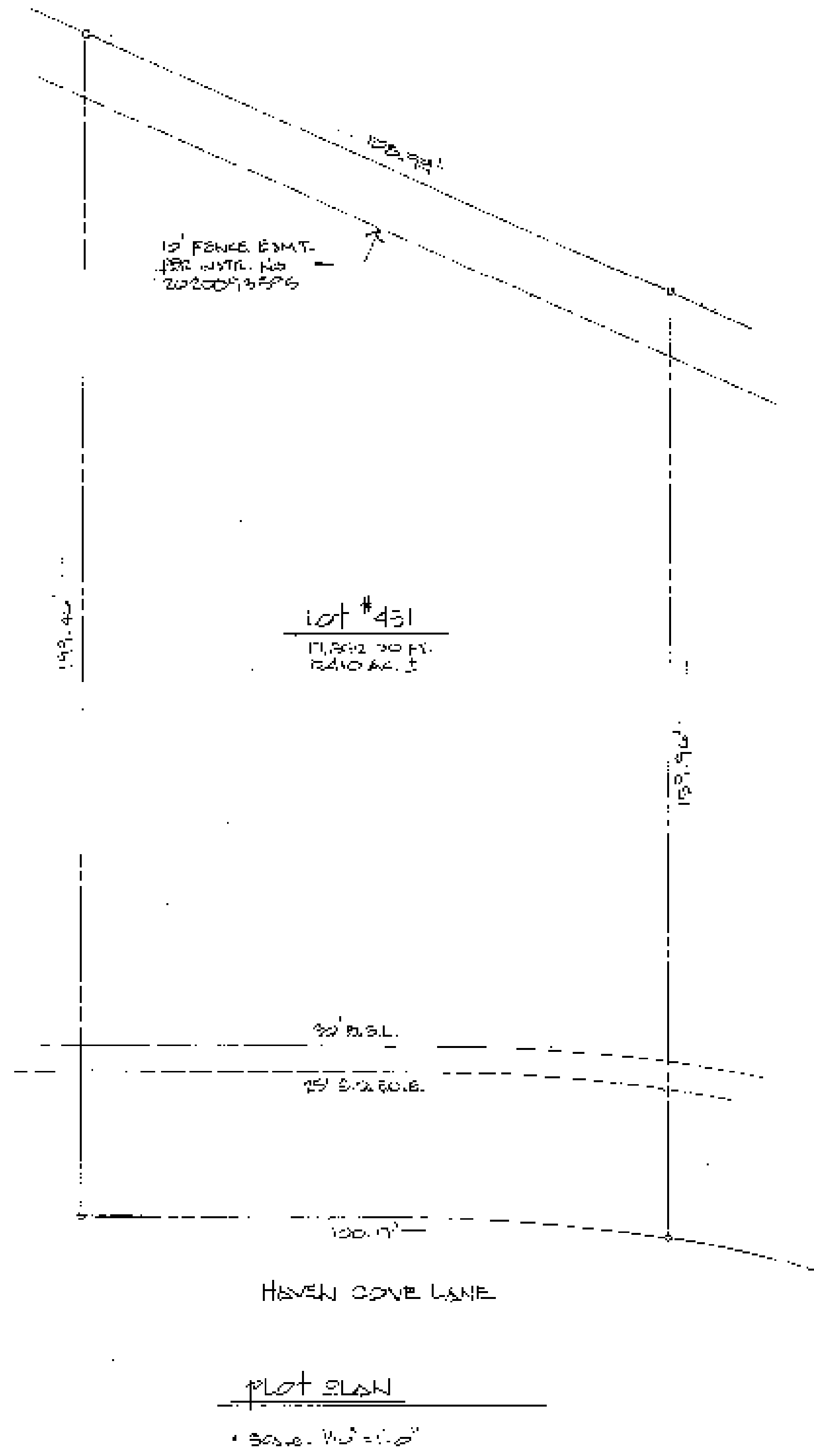
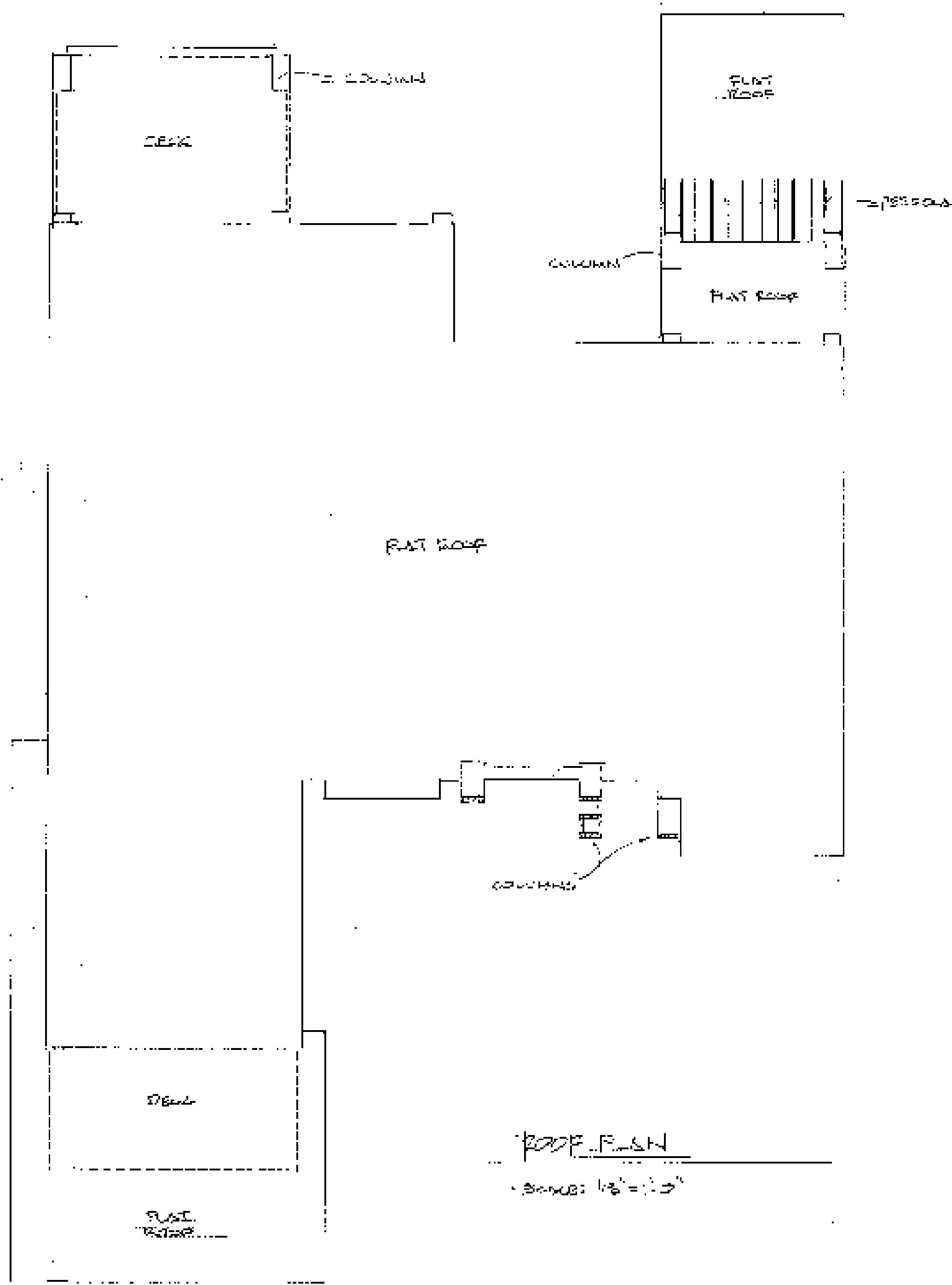
All Contractors are required that their materials, sizes, construction methods and labor forces meet all state, county and local codes. These design requirements are to take precedence over the project specifications and drawings - written or implied. Verify all dimensions prior to construction. Contractors are responsible for the accuracies of all drawings and for any conceptual drawings whether for new and/or existing construction.

The Zheng Residence
Eaton Custom Homes
8877 Bash Street Indianapolis, IN 46256

Date: Apr. 30, 23
Drawn by:
Scale: As noted

5

① REVISED: NOV. 4, '23
② REVISED: JUNE 5, '23
③ REVISED: MAY 24, '23
④ REVISED: APR. 25, '23

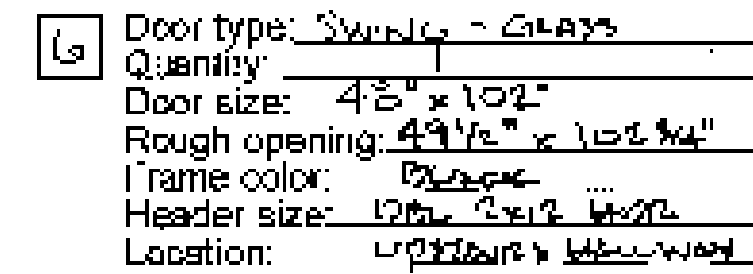
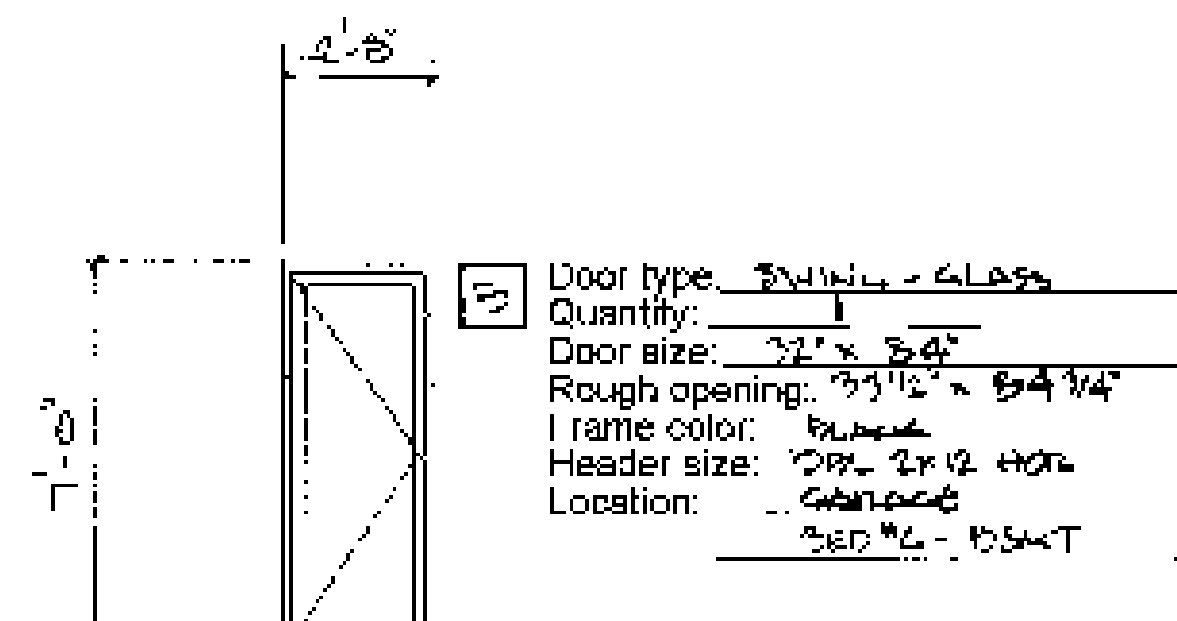
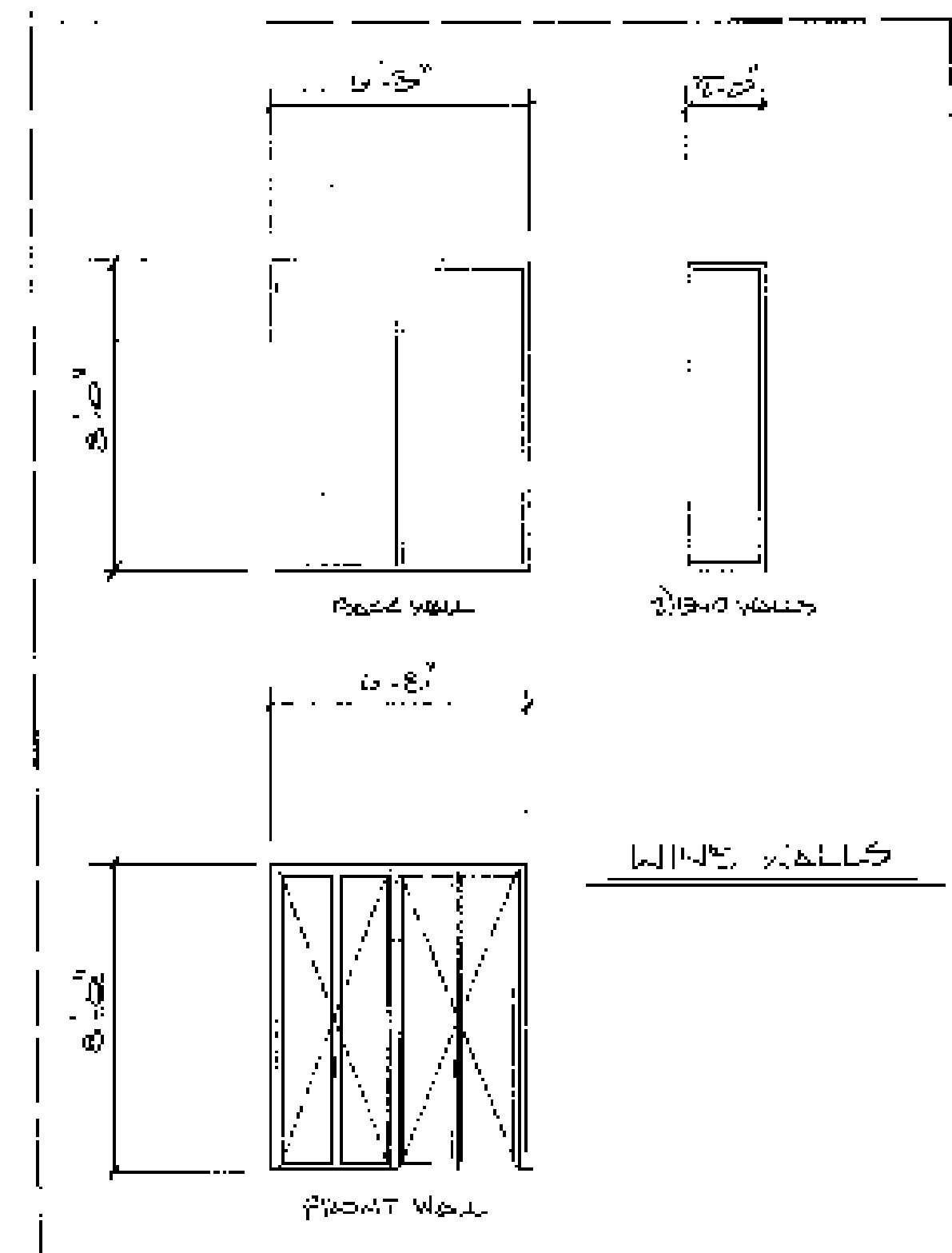
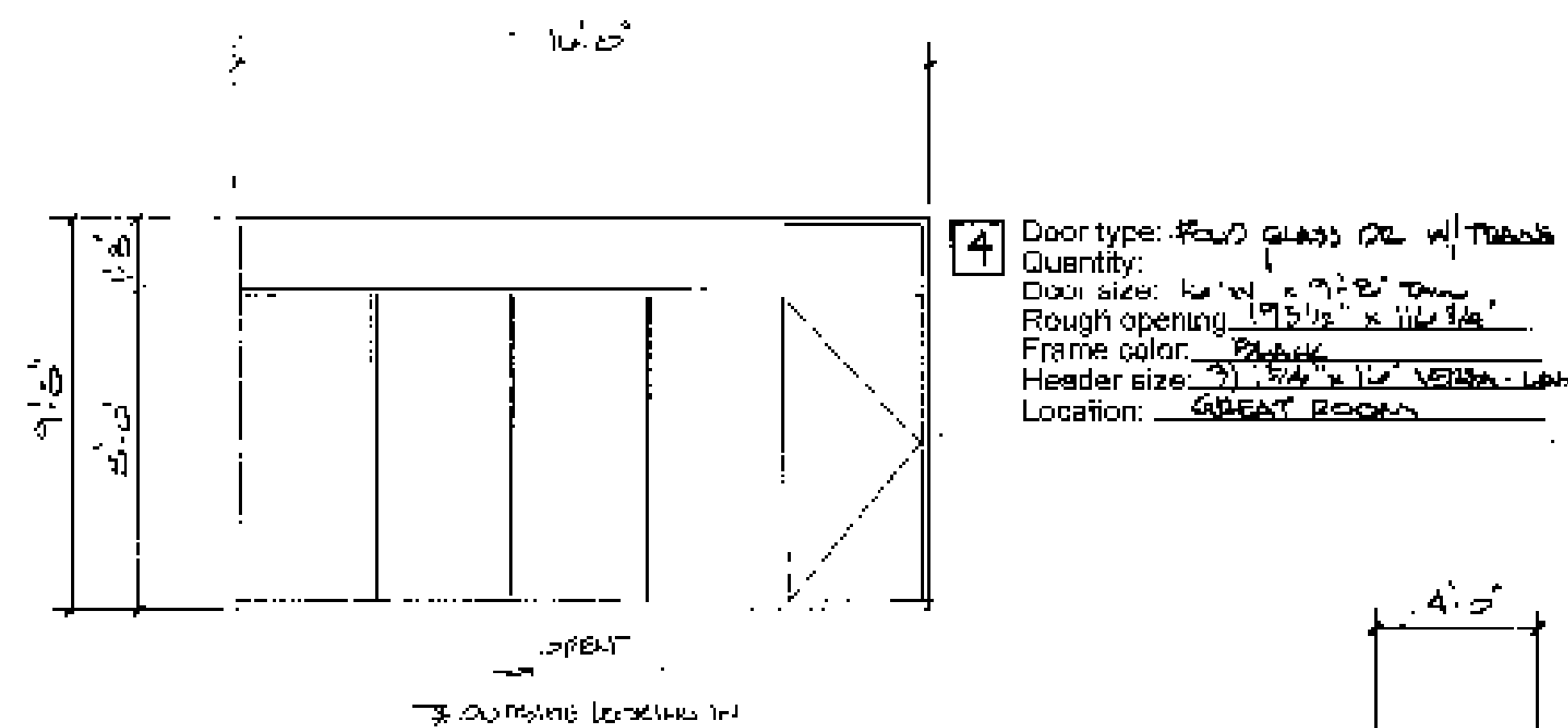
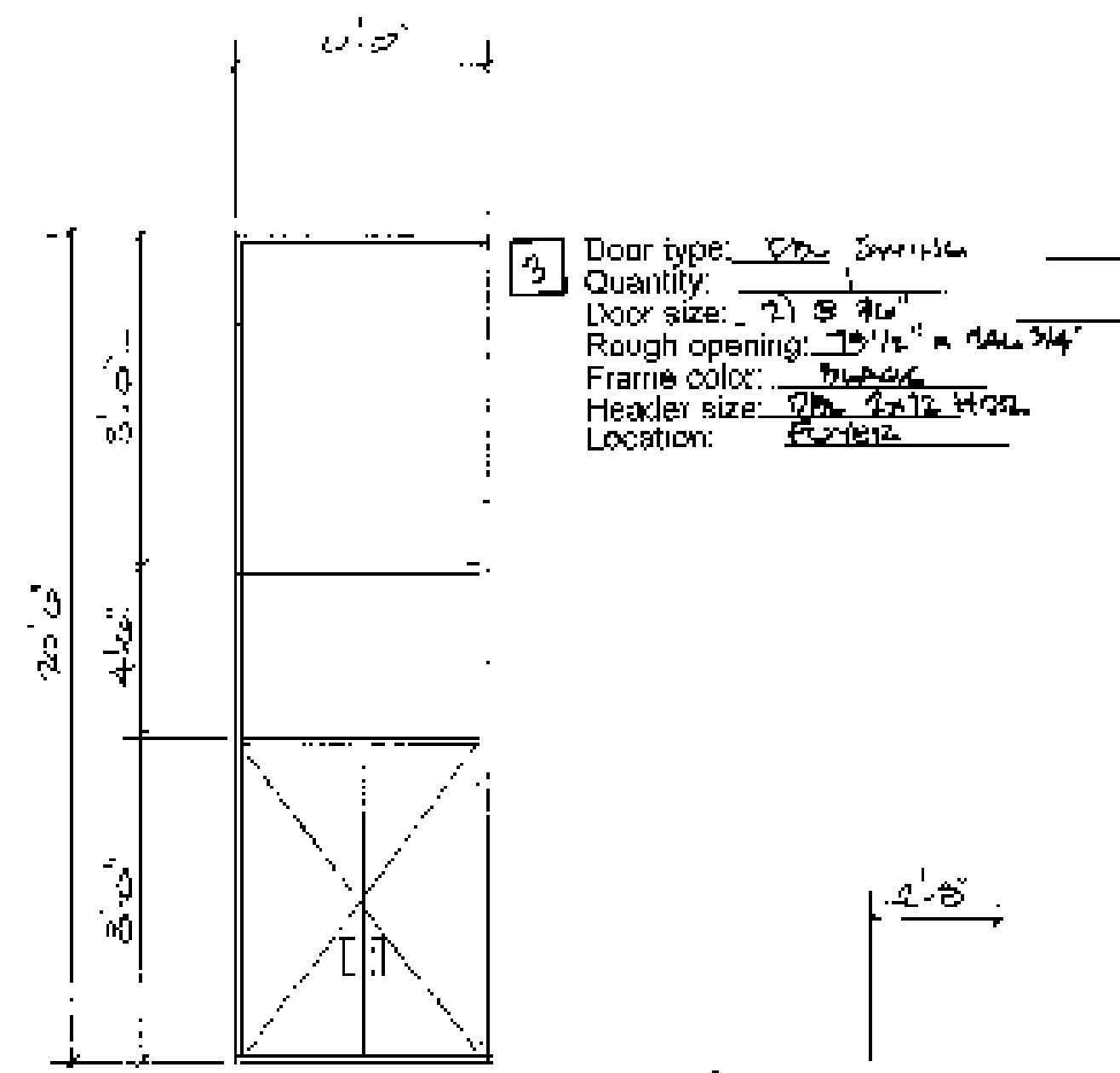
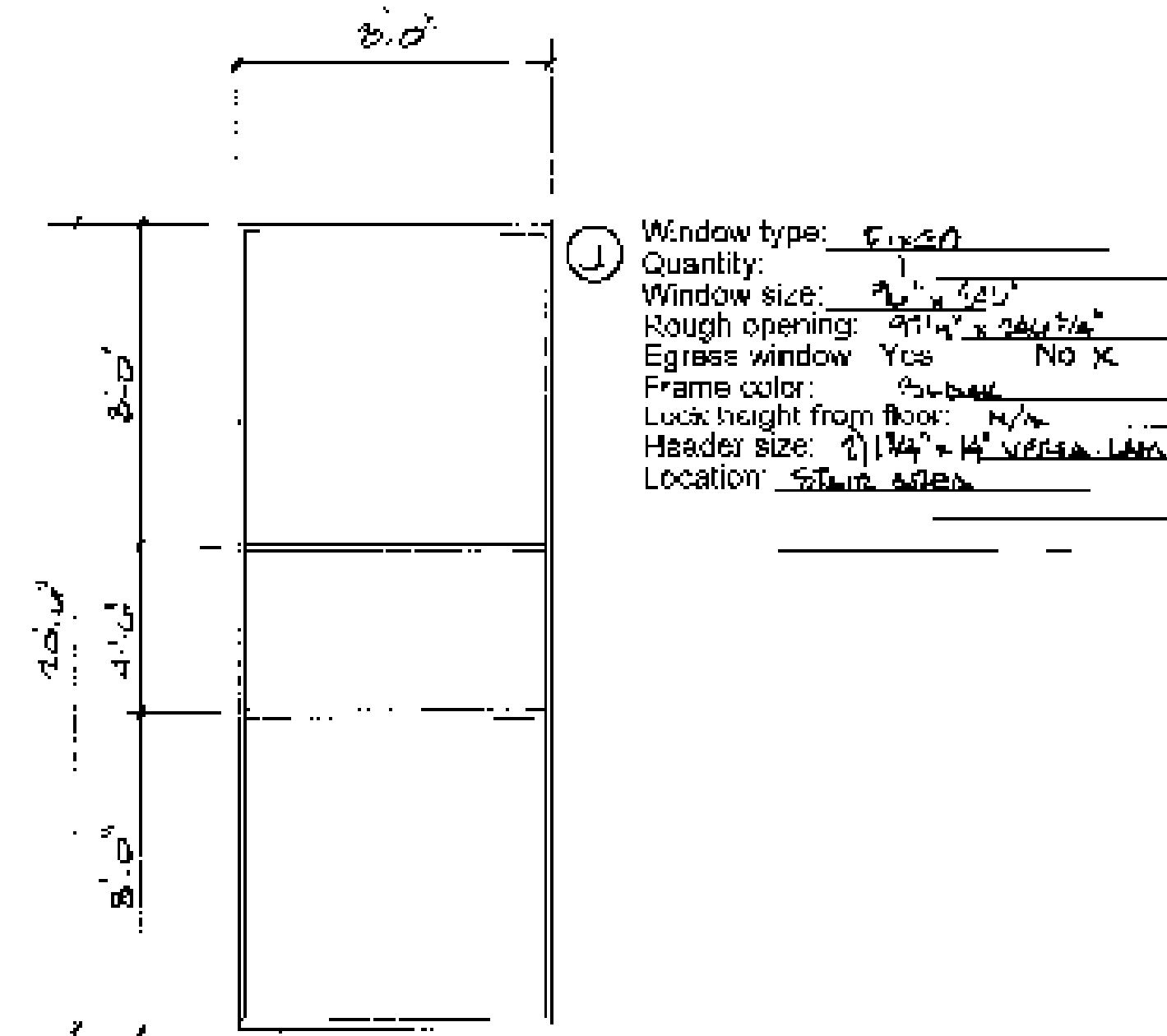
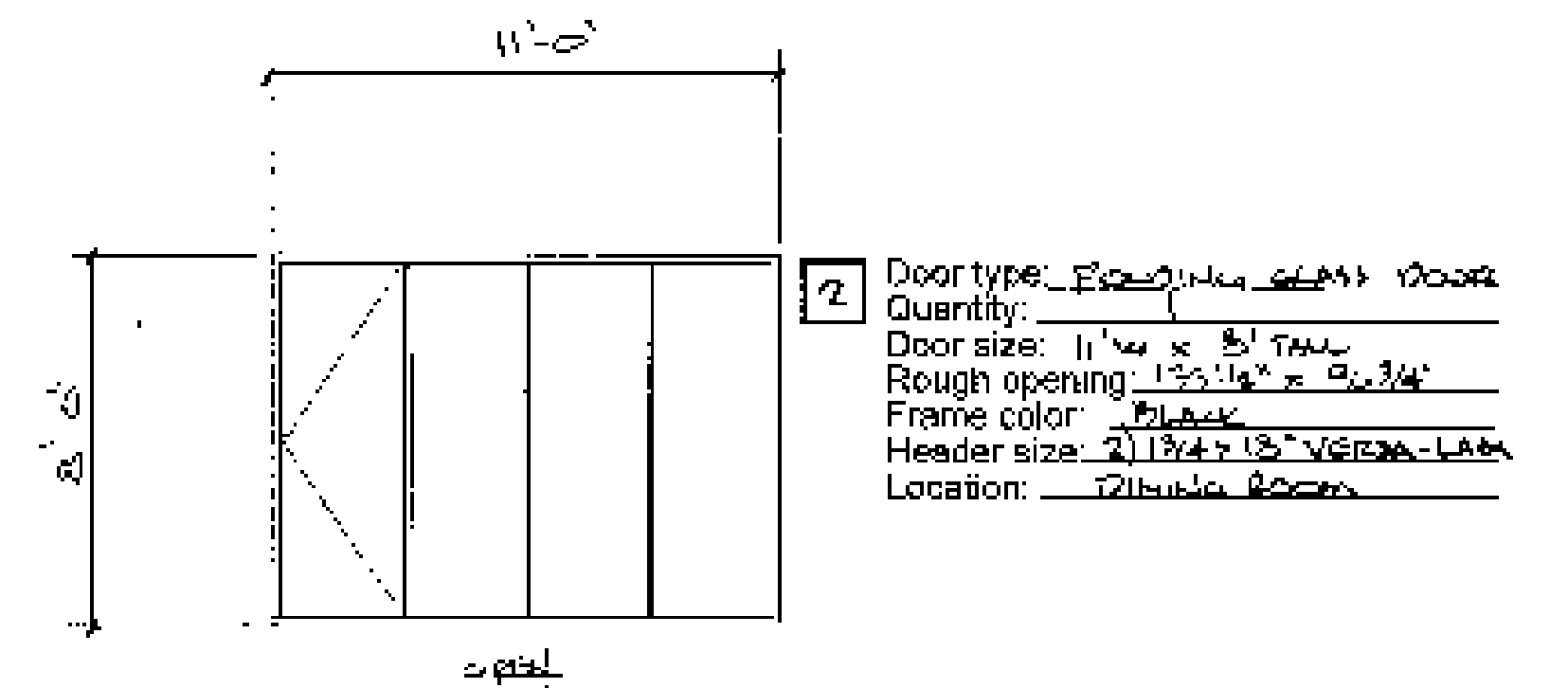
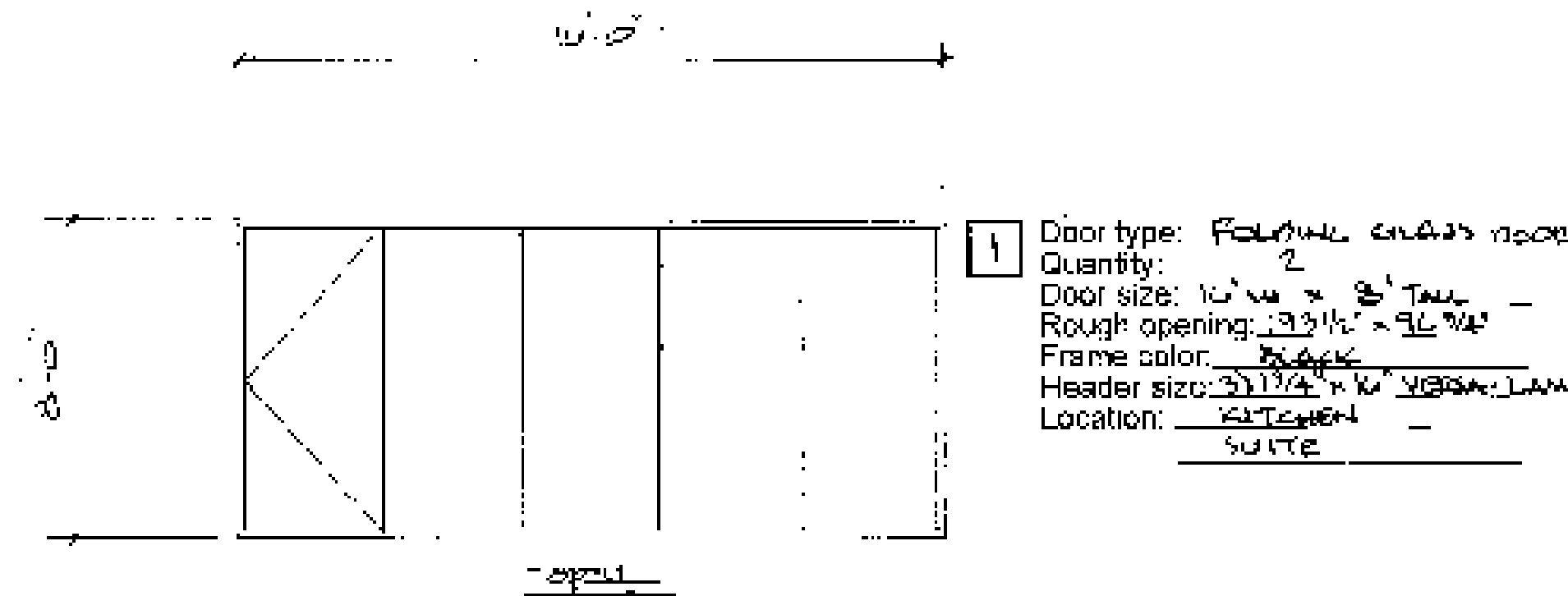
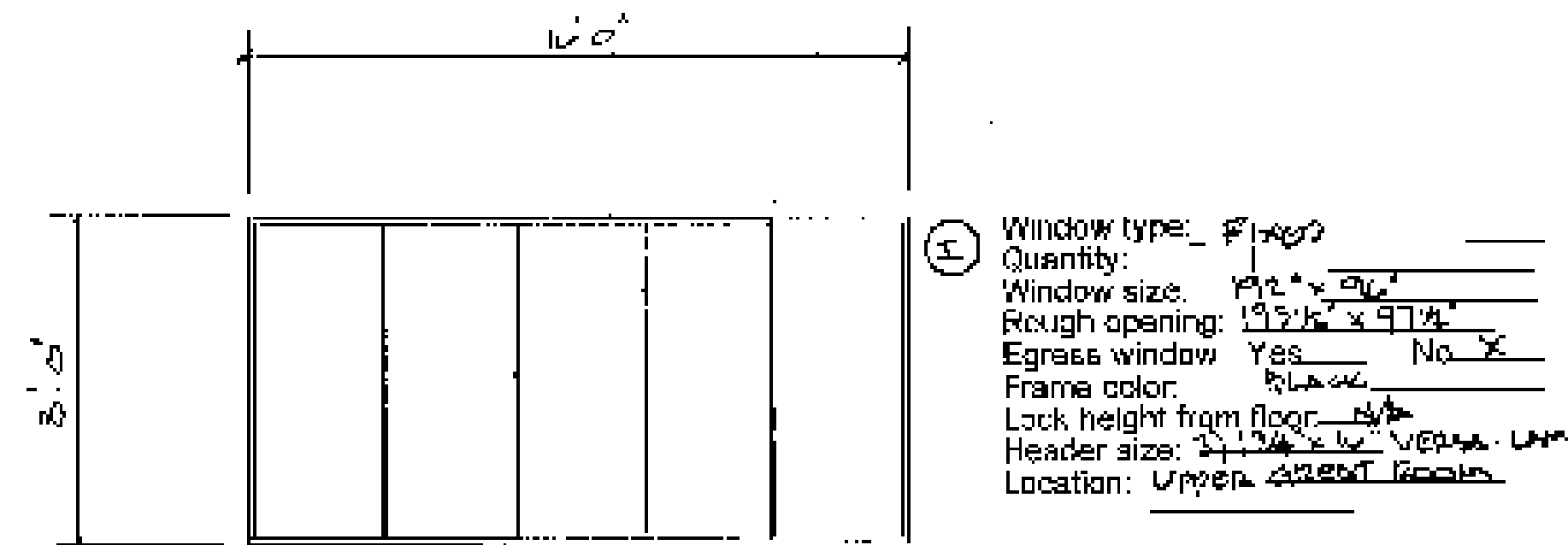
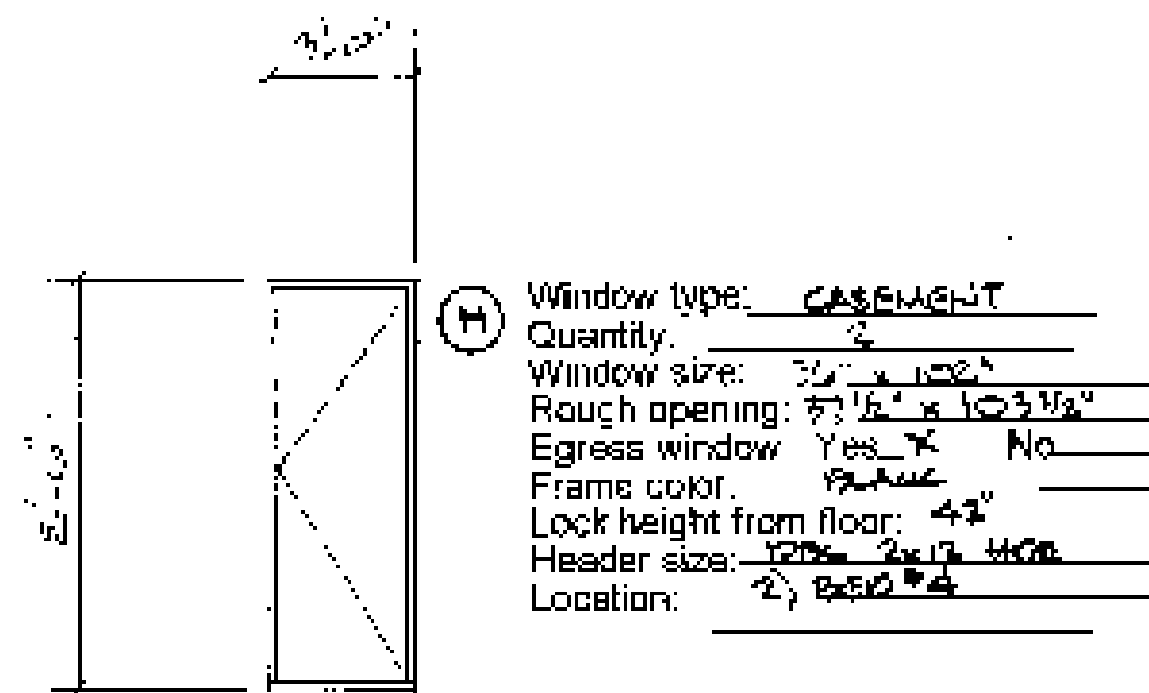
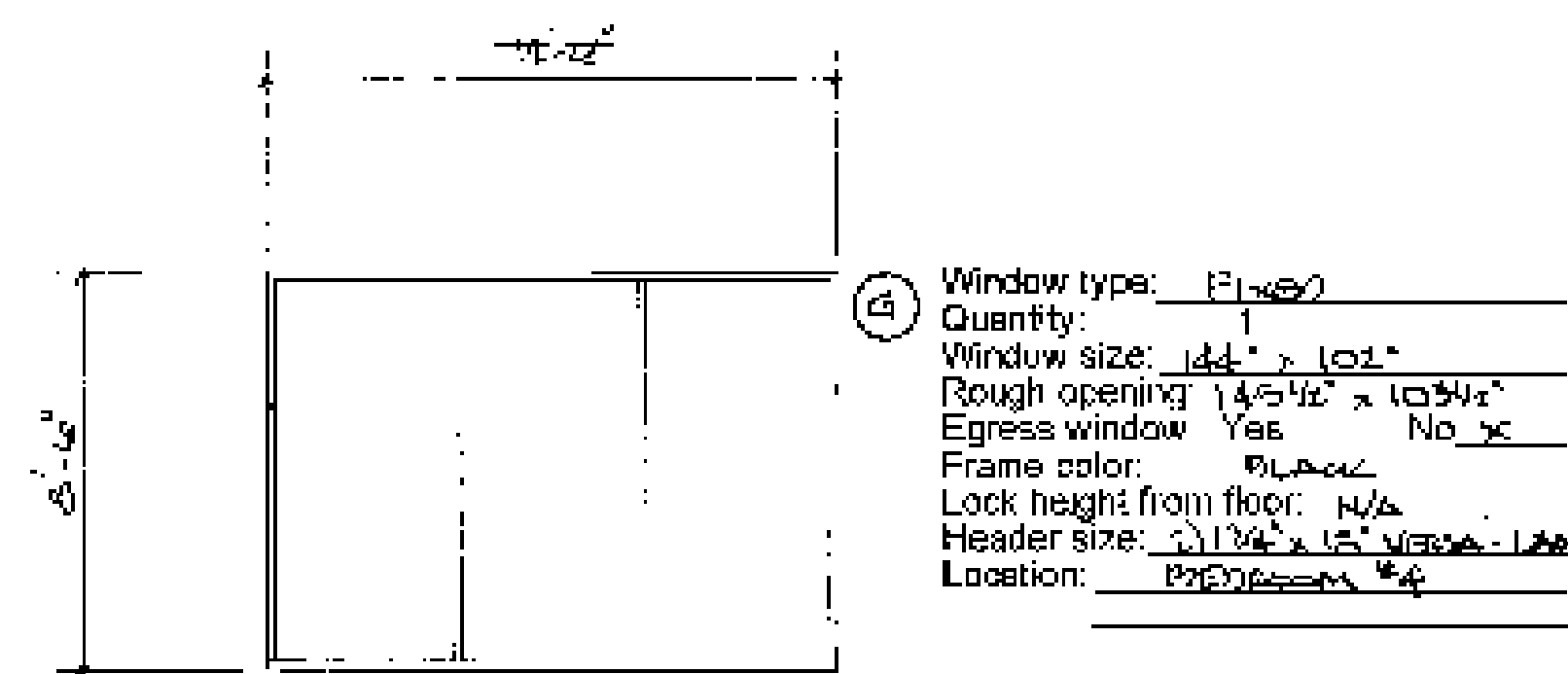
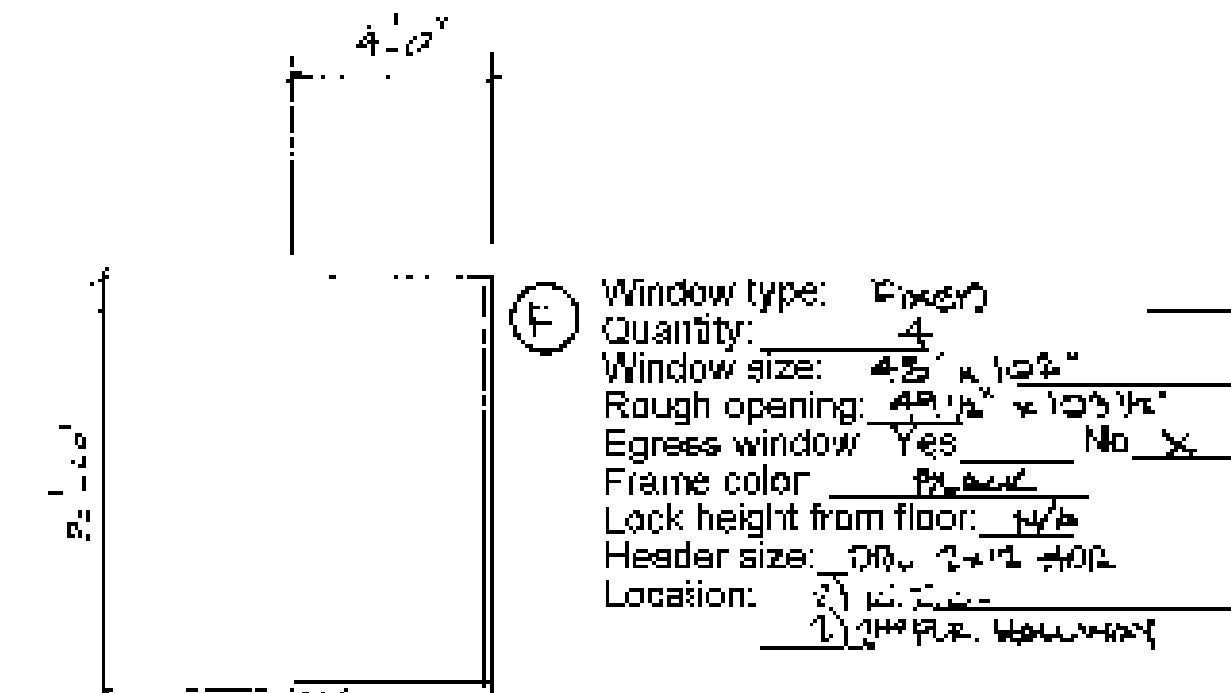
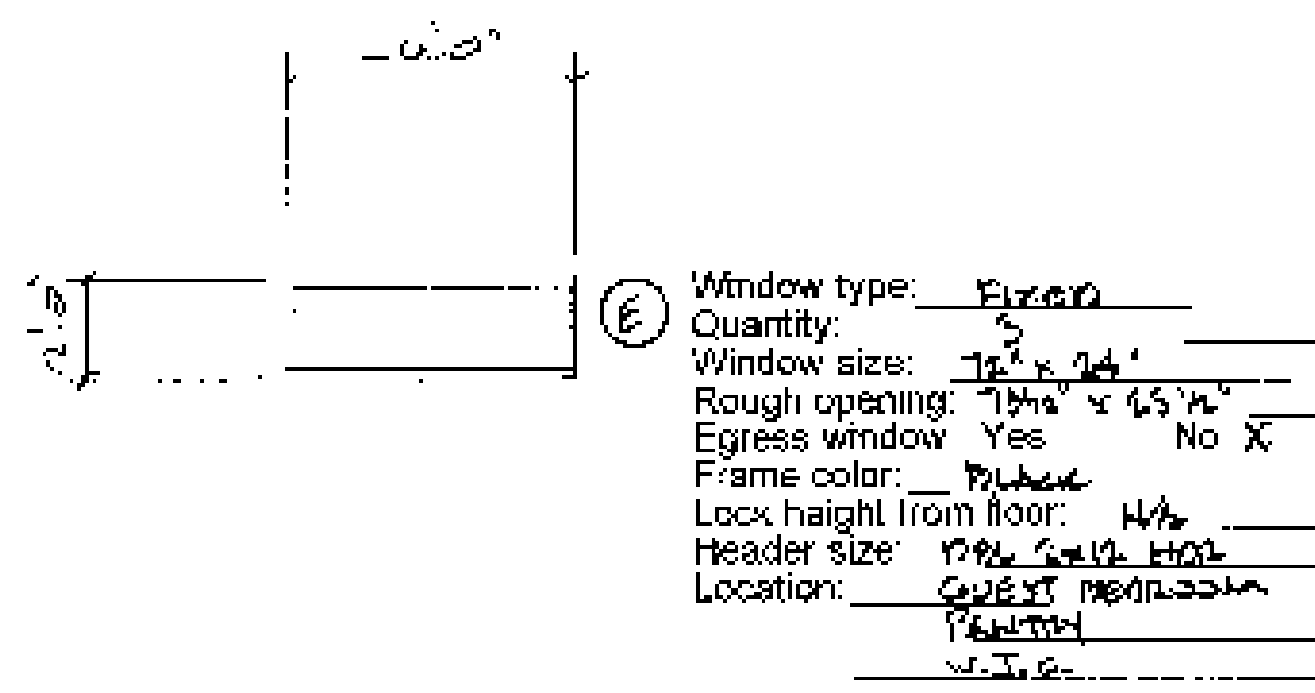
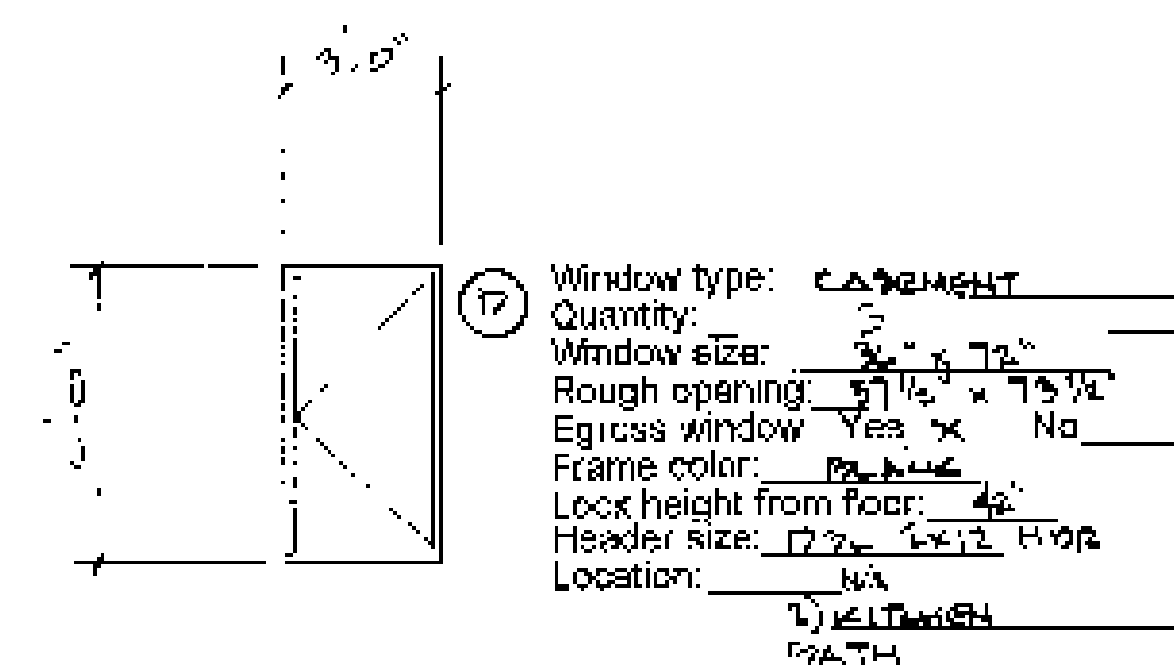
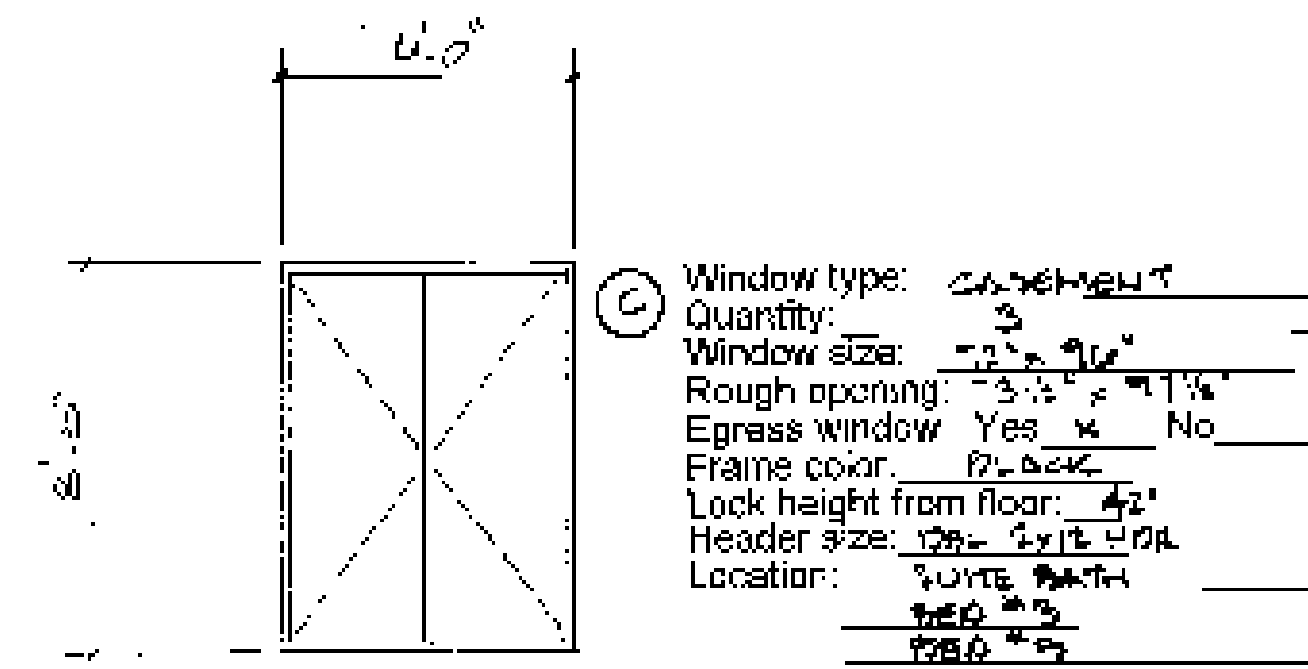
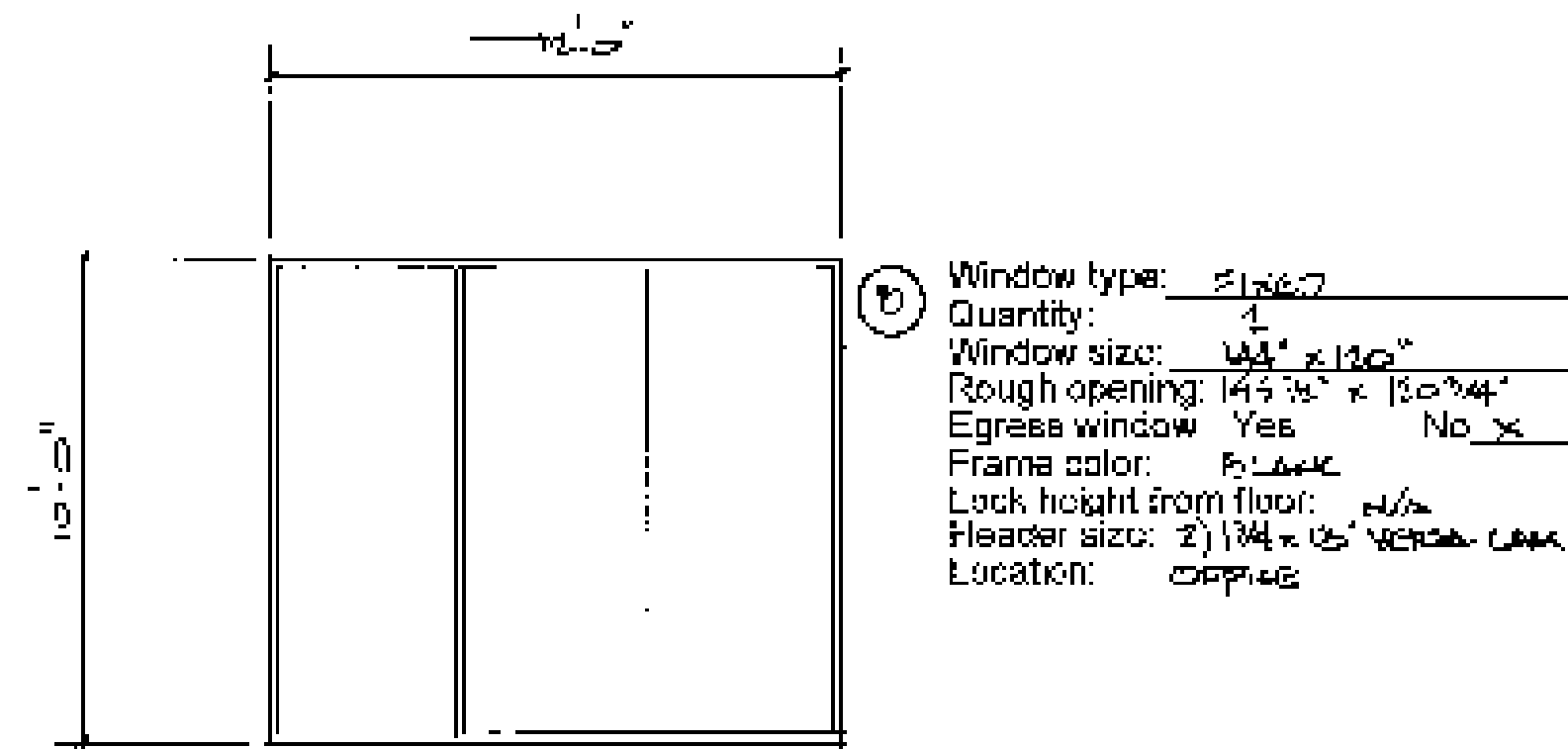
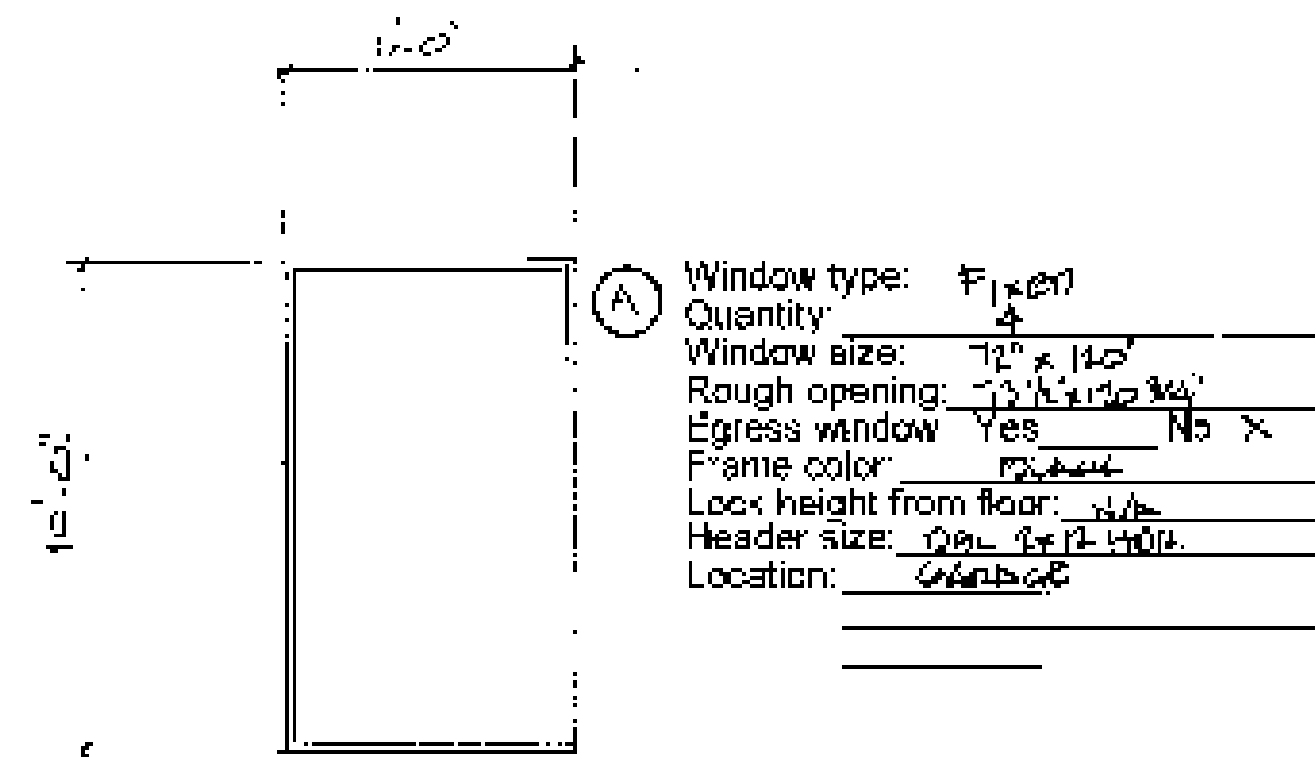


- ① REVISION: MAY 15, '23
- ② REVISION: JUN 15, '23
- ③ REVISION: MAY 23, '23
- ④ REVISION: APR 25, '23

THE ZHENYA RESIDENCE		DATE: APR 16, '23	6
Eaton Custom Homes		DESIGN BY	
8877 Bash Street Indianapolis, IN 46256		SCALE: AS SHOWN	

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All Contractors are required that their designs and construction methods and materials be in accordance with the local building codes. These design requirements are to take precedence over the project specific details and drawings, written or implied. Verify all dimensions prior to construction. Contractor's are responsible for the accuracy and correctness of these conceptual drawings and drawings for new and/or existing construction.





Board of Zoning Appeals Staff Report

Meeting Date: April 24, 2024

DEPARTMENT CONTACT:

Gabrielle Herin (hering@fishers.in.us)

CASE NUMBER:

VA-24-5

PETITIONER:

Keith Bayless,
(keith@eatoncustomhomes.com)

PROPERTY ADDRESS/LOCATION:

13320 Haven Cove Ln

REQUEST: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 43% and to permit a 0/12 roof pitch instead of the minimum 5/12 roof pitch required for a new single-family house.

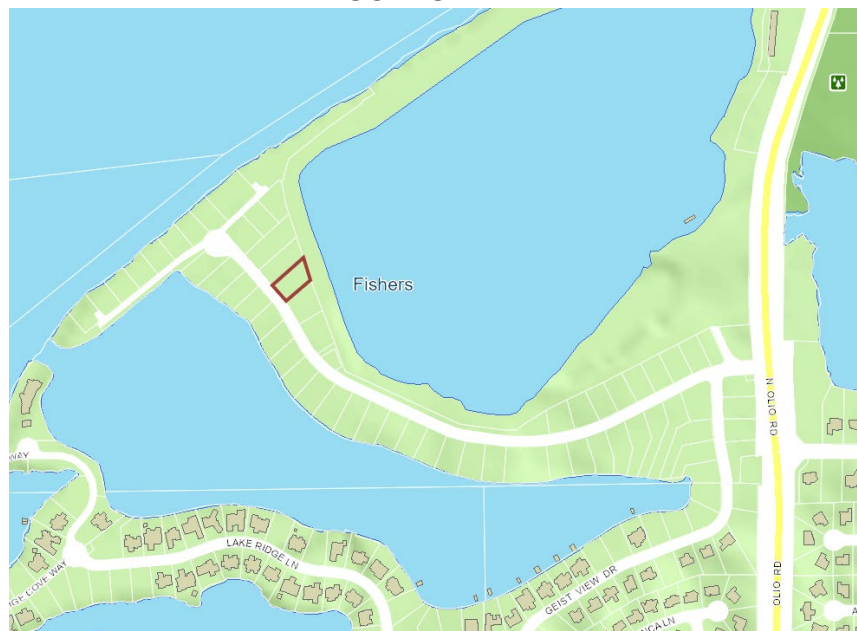
APPLICABLE REGULATIONS:
UDO Sections 3.2.3 &
6.3.4.B.3.d and
Marina PUD Ord No. 041210

EXISTING ZONING:
Marina PUD (Ord. No.
041210)

FISHERS 2040:
Suburban Residential

LOT SIZE: Approx. 0.41 acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

ZONING HISTORY:

The area known as the Marina PUD (Ordinance #: 041210) was rezoned to PUD-M in 2010. The PUD refers to the Unified Development Ordinance (UDO) R2 development standards for the maximum permitted impervious surface area. The minimum permitted roof pitch is based on architectural standards in the UDO.

SURROUNDING LAND USE & ZONING:

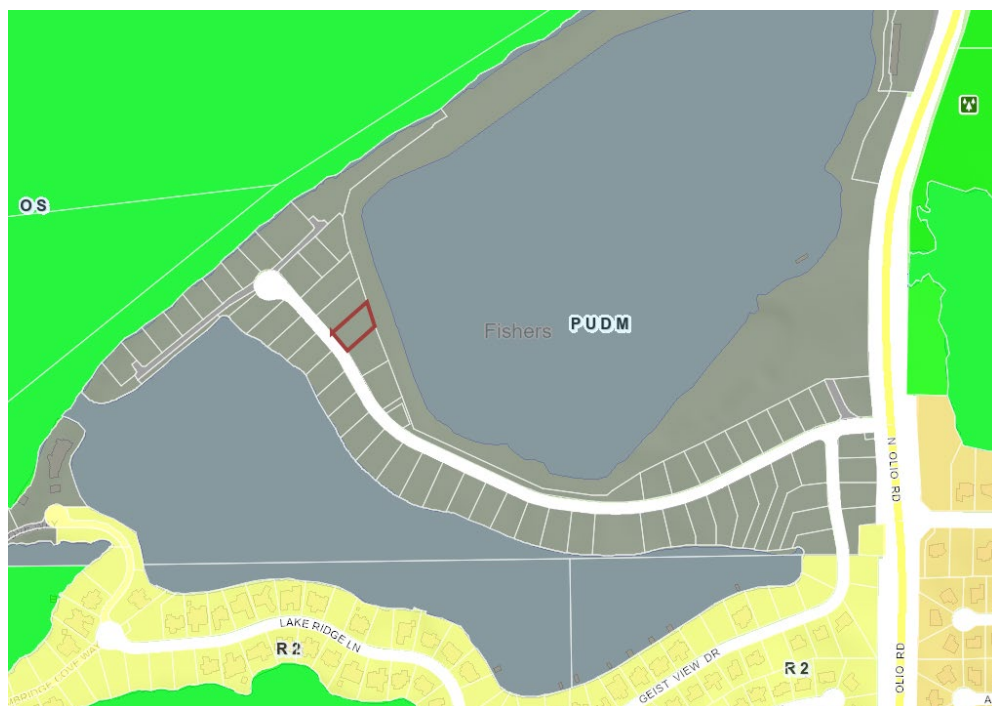
North: PUD-M (Traditional Single Family, Land Owned by Utility Company for Reservoir)

East: PUD-M, R3 (Traditional Single Family)

South: PUD-M, R2 (Geist Reservoir, Traditional Single Family)

West: PUD-M (Traditional Single Family)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

Summary of Request

- To increase the lot's maximum impervious surface coverage from 35% to 43%
- To permit a 0/12 roof pitch instead of the minimum required 5/12

91.13

COMPLY WITH

Figure 1. Layout of the house on the lot.



Figure 2. Front and rear elevations of the proposed custom-built home.

Fishers 2040

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

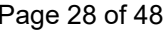
Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation



The Zimmer Residence

Cambridge Lot#453

...

Sheet #C	Cover
Sheet #1.0	Exterior Elevations
Sheet #1.1	Exterior Elevations
Sheet #1.2	Exterior Elevations
Sheet #2	Basement Foundation Plan
Sheet #3	First Floor Plan
Sheet #4	Second Floor Plan
Sheet #5	Roof Plan
Sheet #6	Sections / Details



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SQUARE FOOTAGE	
FIRST FLOOR	= 2841 SF
SECOND FLOOR	= 1751 SF
TOTAL	= 4592 SF
GARAGE SLAB	= 1360 SF
FRONT PORCH SLAB	= 91 SF
WALK UP WELL SLAB	= 454 SF
BASEMENT SLAB	= 2703 SF
FINISHED BASEMENT	= 2079 SF

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Suite 120c
Carmel, IN 46032
Nathan - 317.557.3518
Dean - 317.408.8999
www.mcginnisdesigngroup.com

**MCGINNIS DESIGN GROUP**

The Zimmer Residence
Cambridge Lot#453
...

Designed For:
Direct

Scale:
1/4" = 1'-0"

Date
01.23.24

File Name:
zimmer.dwg

C

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EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

The Zimmer Residence
Cambridge Lot#453

Designed For:
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Scale:
1/4" = 1'-0"

Date
01.23.24

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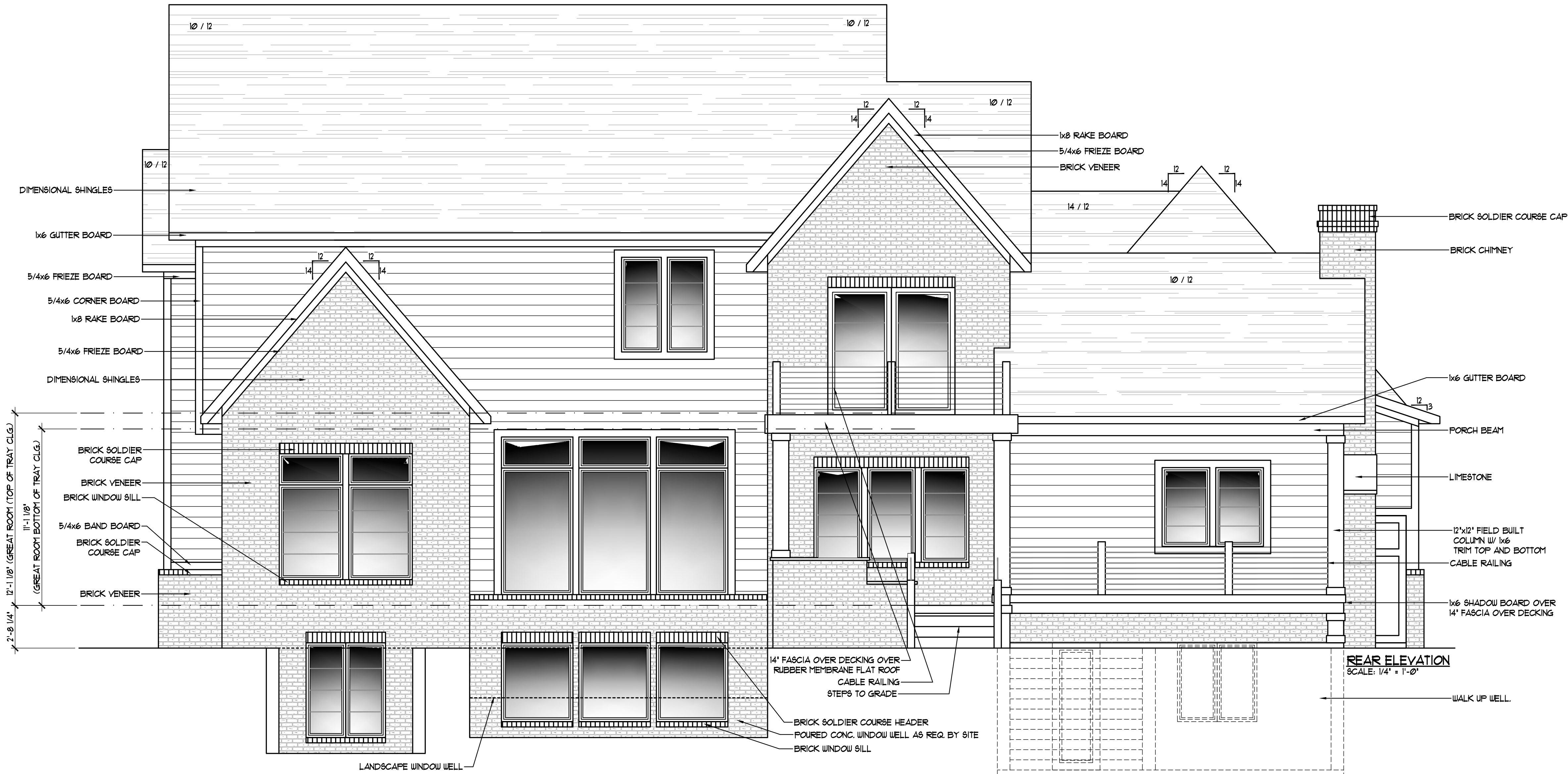
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FINISHED BASEMENT	= 2079 SF



EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

The Zimmer Residence
Cambridge Lot#453
...

Designed For:
Direct

Scale:
1/4" = 1'-0"

Date
01.23.24

File Name:
zimmer.dwg

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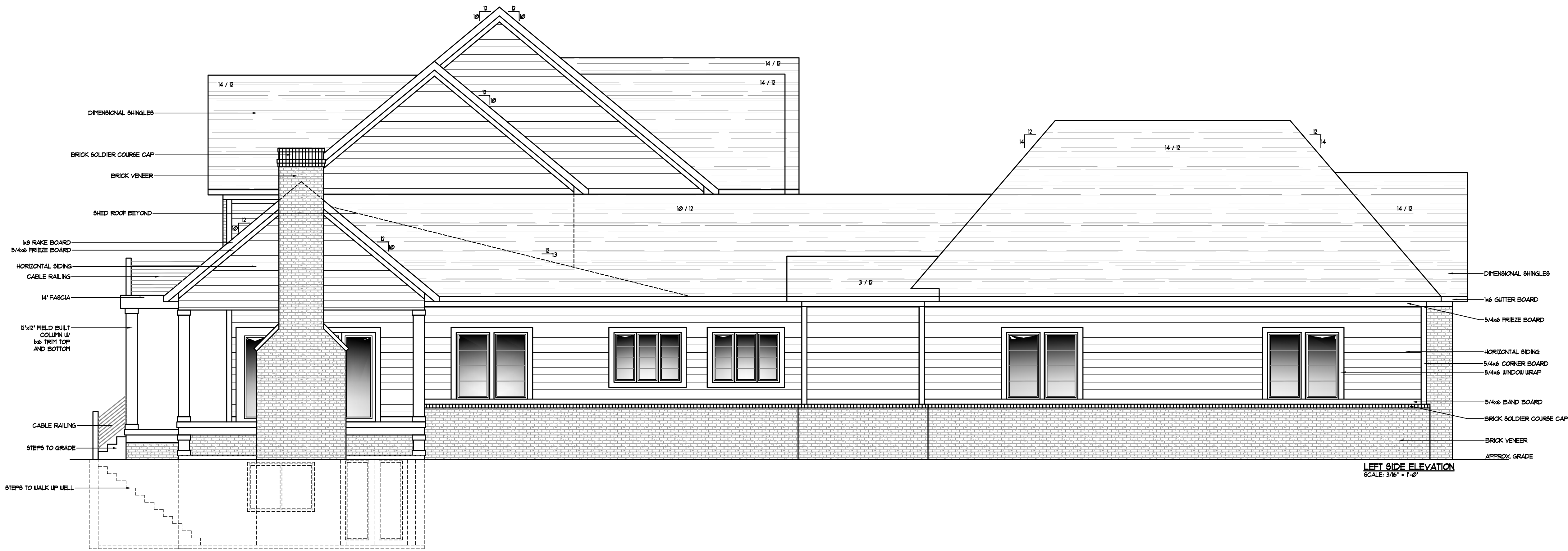
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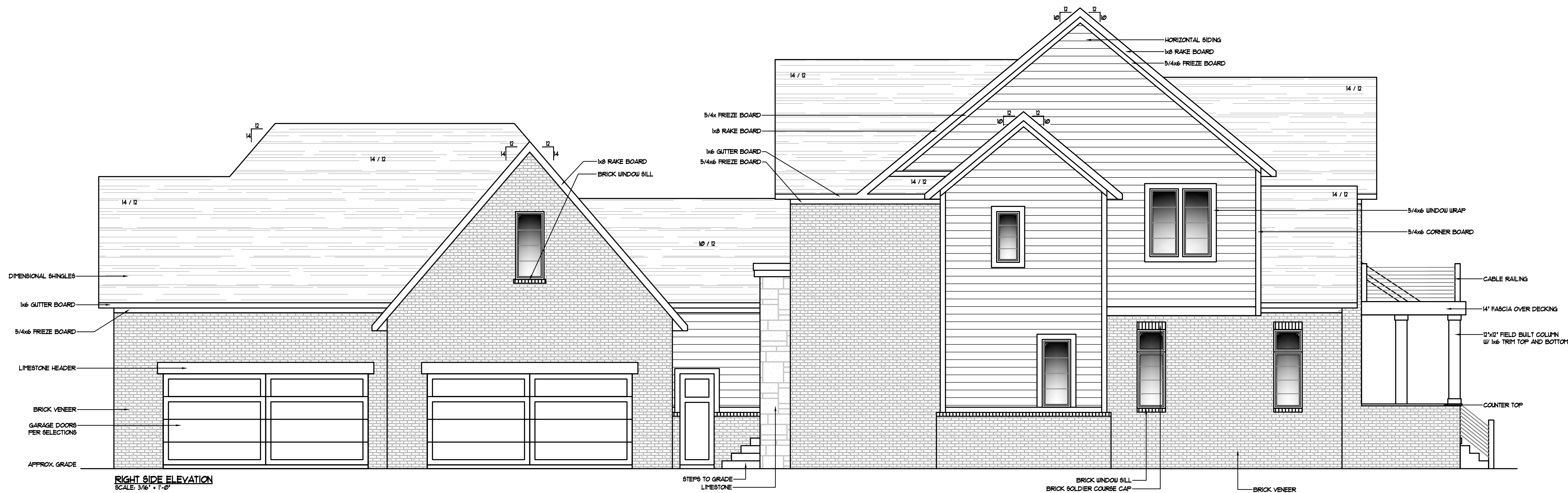
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BASEMENT SLAB	= 2703 SF
FINISHED BASEMENT	= 2079 SF



LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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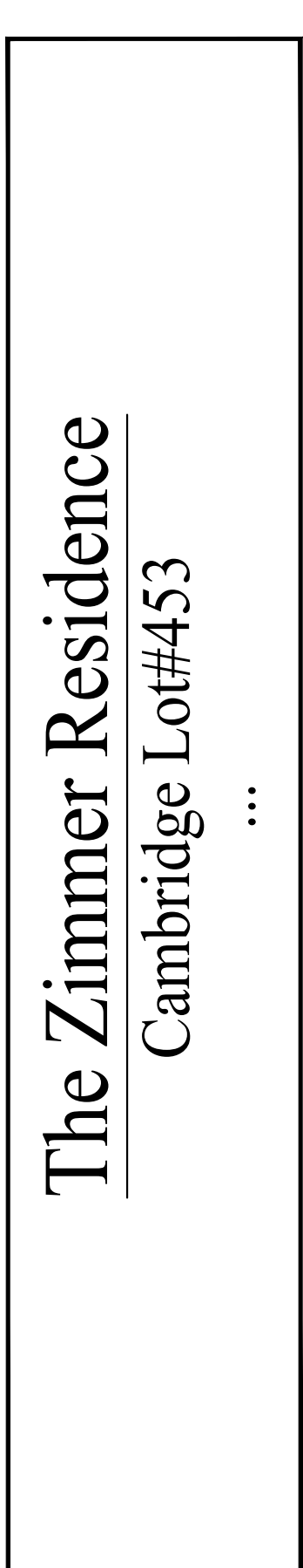
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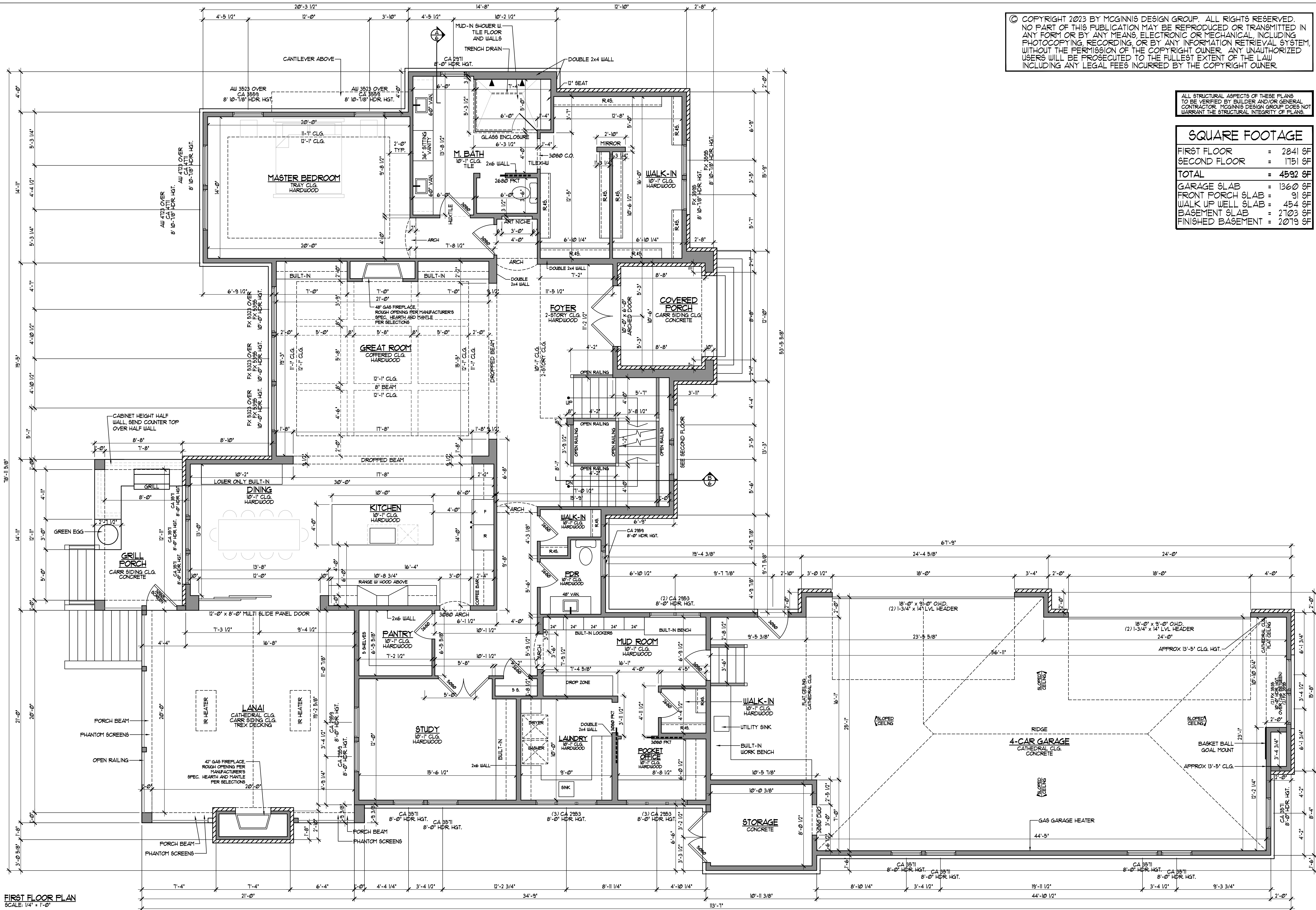
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FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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TOTAL	= 4592 SF
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WALK UP WELL SLAB	= 454 SF
BASEMENT SLAB	= 2703 SF
FINISHED BASEMENT	= 2079 SF

The Zimmer Residence

Cambridge Lot#453

Designed For:
Direct

Scale:
1/4" = 1'-0"

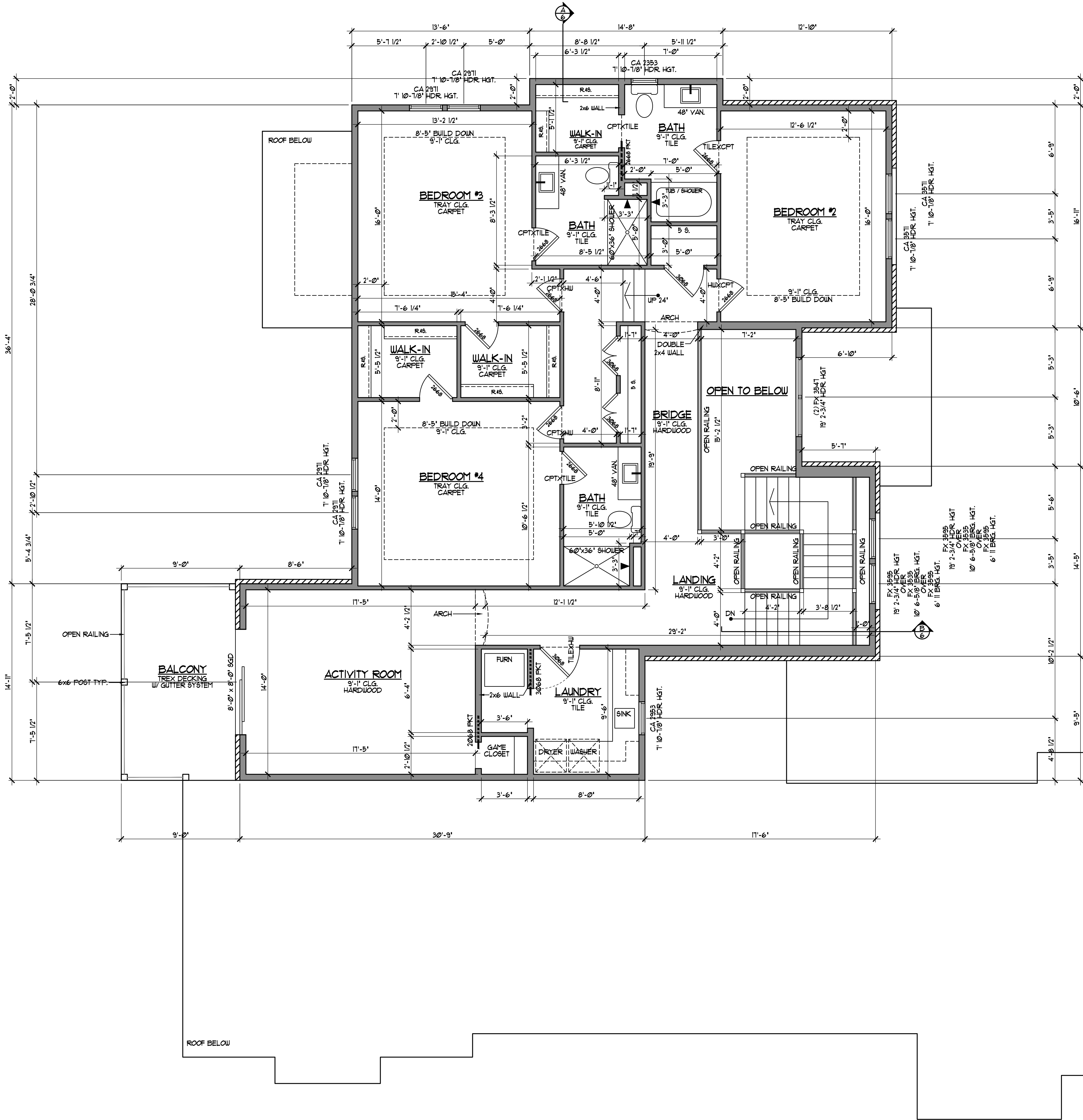
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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SECOND FLOOR	= 1751 SF
TOTAL	= 4592 SF
GARAGE SLAB	= 1360 SF
FRONT PORCH SLAB	= 91 SF
WALK UP WELL SLAB	= 454 SF
BASEMENT SLAB	= 2703 SF
FINISHED BASEMENT	= 2079 SF

The Zimmer Residence
Cambridge Lot#453

Designed For:
Direct

Scale:
1/4" = 1'-0"

Date
01.23.24

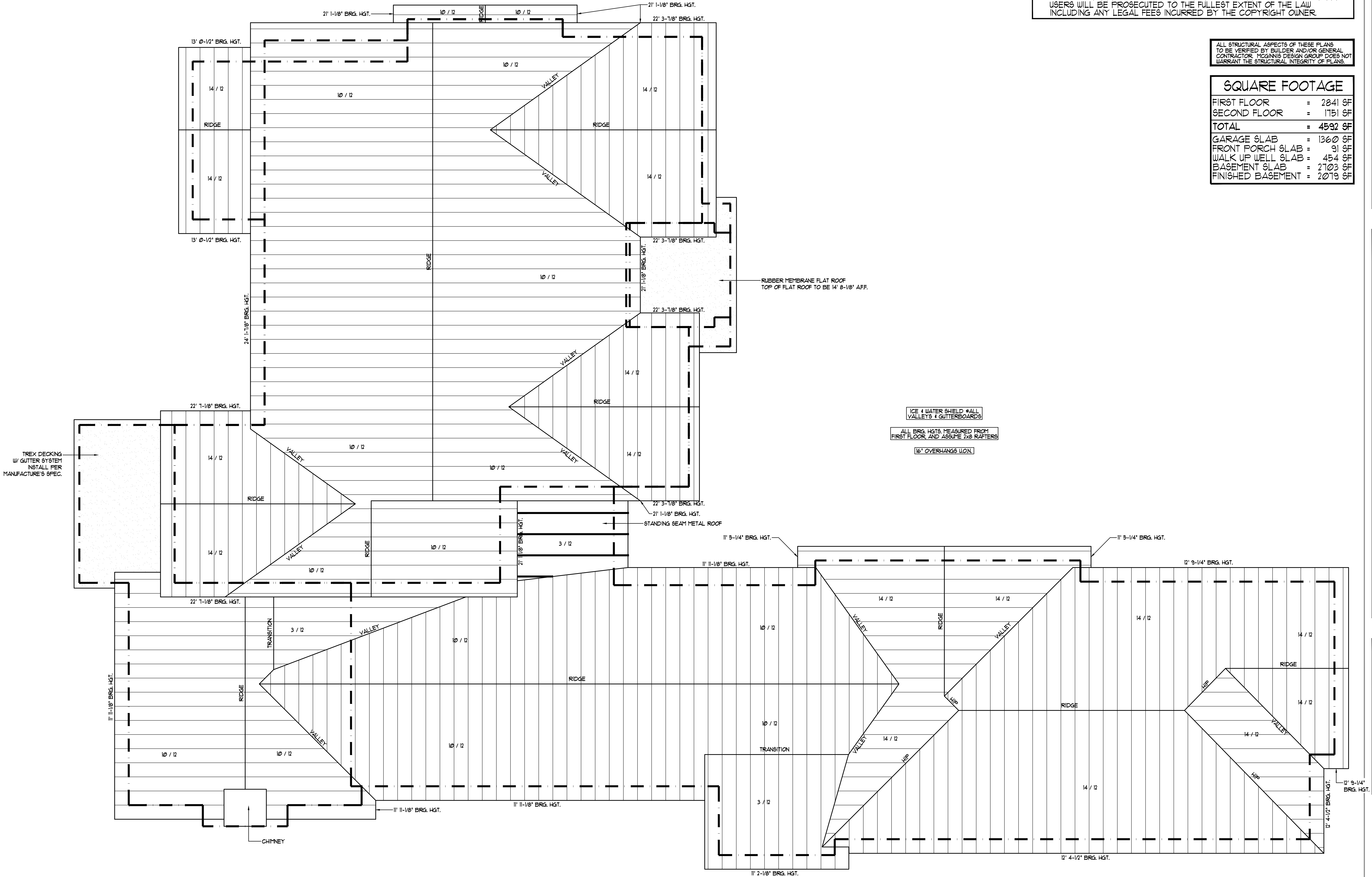
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TOTAL	= 4592 SF
GARAGE SLAB	= 1360 SF
FRONT PORCH SLAB	= 91 SF
WALK UP WELL SLAB	= 454 SF
BASEMENT SLAB	= 2703 SF
FINISHED BASEMENT	= 2079 SF



ROOF PLAN
SCALE: 1/4" = 1'-0"

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The Zimmer Residence
Cambridge Lot#453
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Designed For:
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Scale:
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Date
01.23.24

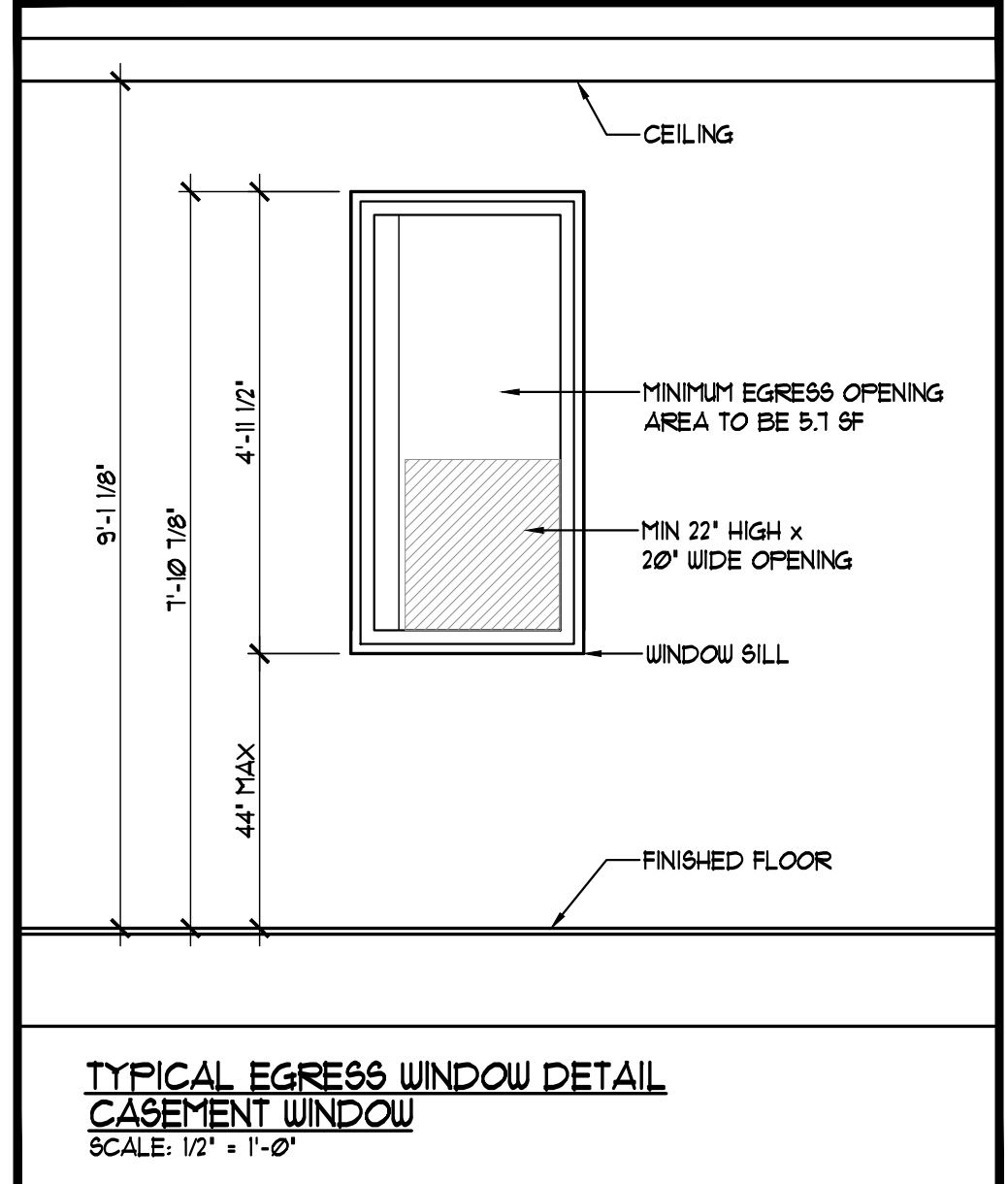
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SQUARE FOOTAGE		
FIRST FLOOR	=	2841 SF
SECOND FLOOR	=	1751 SF
TOTAL	=	4592 SF
GARAGE SLAB	=	1360 SF
FRONT PORCH SLAB	=	91 SF
WALK UP WELL SLAB	=	454 SF
BASEMENT SLAB	=	2703 SF
FINISHED BASEMENT	=	2079 SF



The Zimmer Residence
Cambridge Lot#453

<u>Designed For:</u> Direct
<u>Scale:</u> 1/4" = 1'-0"
<u>Date</u> 01.23.24
<u>File Name:</u> zimmer.dwg

5



Board of Zoning Appeals Staff Report

Meeting Date: April 24, 2024

DEPARTMENT CONTACT:

Gabrielle Herin (hering@fishers.in.us)

CASE NUMBER:

VA-24-7

PETITIONER:

Joe Logan, (jlogan2086@aol.com)

PROPERTY ADDRESS/LOCATION:

13284 Haven Cove Ln

REQUEST: Consideration of Development Standard Variances from Sections 3.2.3 and 6.3.4.B.3.d of the City's Unified Development Ordinance (UDO) and the Marina PUD Ordinance #: 041210 to increase the maximum permitted impervious surface area from 35% to 42%, to permit a 3/12 roof pitch and a flat roof over the front porch instead of the minimum 5/12 roof pitch required and to increase the maximum permitted height from 35 feet to 43 feet for a new single family home.

APPLICABLE REGULATIONS:

UDO Sections 3.2.3 &
6.3.4.B.3.d and
Marina PUD Ord No. 041210

EXISTING ZONING:

Marina PUD (Ord. No.
041210)

FISHERS 2040:

Suburban Residential

LOT SIZE: Approx. 0.63 acres

LOCATION MAP**STAFF RECOMMENDATION**

☐ Approve

☐ Continue

☐ Deny

☒ No Recommendation

ZONING HISTORY:

The area known as the Marina PUD (Ordinance #: 041210) was rezoned to PUD-M in 2010. The PUD refers to the Unified Development Ordinance (UDO) R2 development standards for the maximum permitted surface area and height of the home. The minimum permitted roof pitch is based on architectural standards in the UDO.

SURROUNDING LAND USE & ZONING:

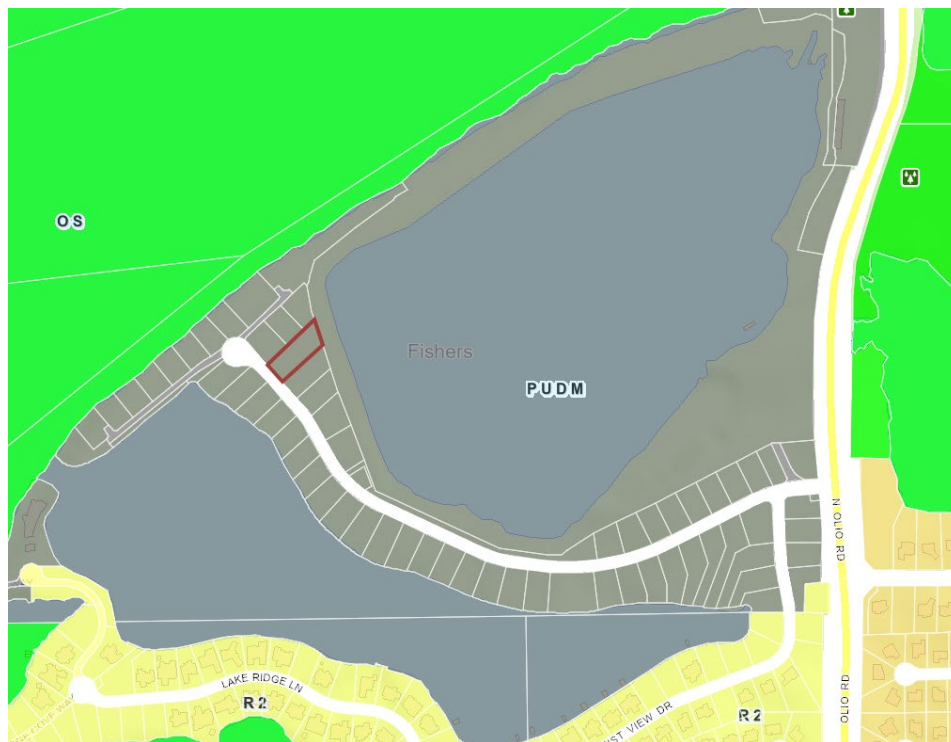
North: PUD-M (Traditional Single Family, Land Owned by Utility Company for Reservoir)

East: PUD-M, R3 (Traditional Single Family)

South: PUD-M, R2 (Geist Reservoir, Traditional Single Family)

West: PUD-M (Traditional Single Family)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

Joe Logan, on behalf of the Zimmers, is requesting several Development Standards Variances for a custom-built home:

- To increase the lot's maximum impervious surface coverage from 35% to 42%
- To increase the maximum height of the home to 43 feet
- To permit a few small sections of 3/12 roof pitch and a flat roof over the porch instead of the minimum required 5/12

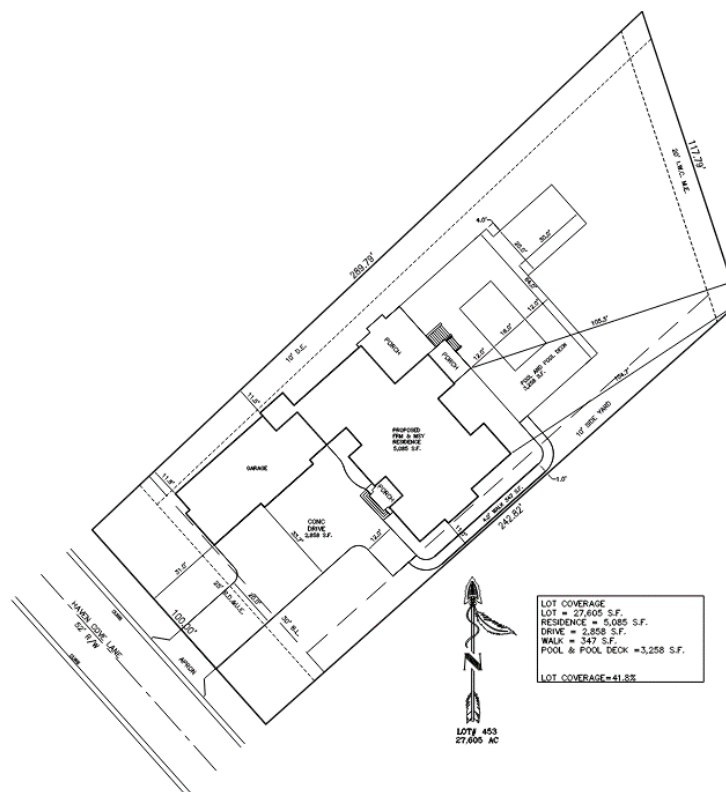


Figure 1. Layout of the house on the lot.

The impervious surface area maximum is exceeded because of the pool deck. Staff confirmed he would need to increase his impervious surface coverage to 42% and that the increase would not cause any concern from the Stormwater department.

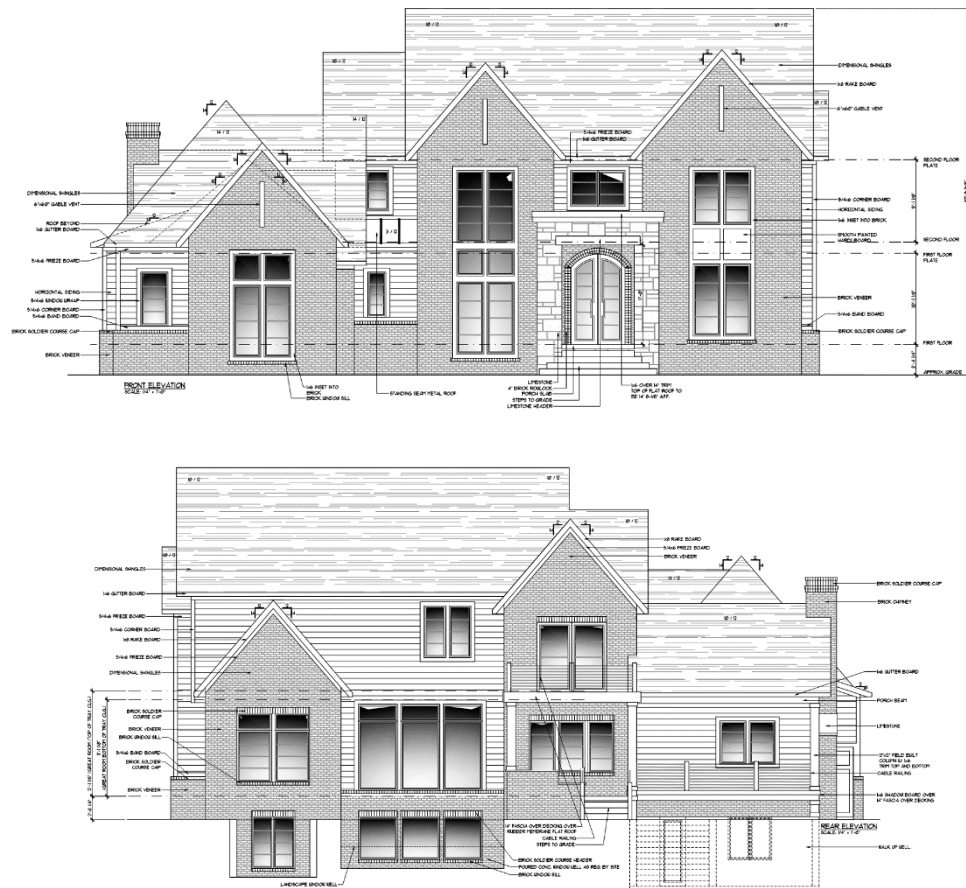


Figure 2. Front and rear elevations of the proposed custom-built home.

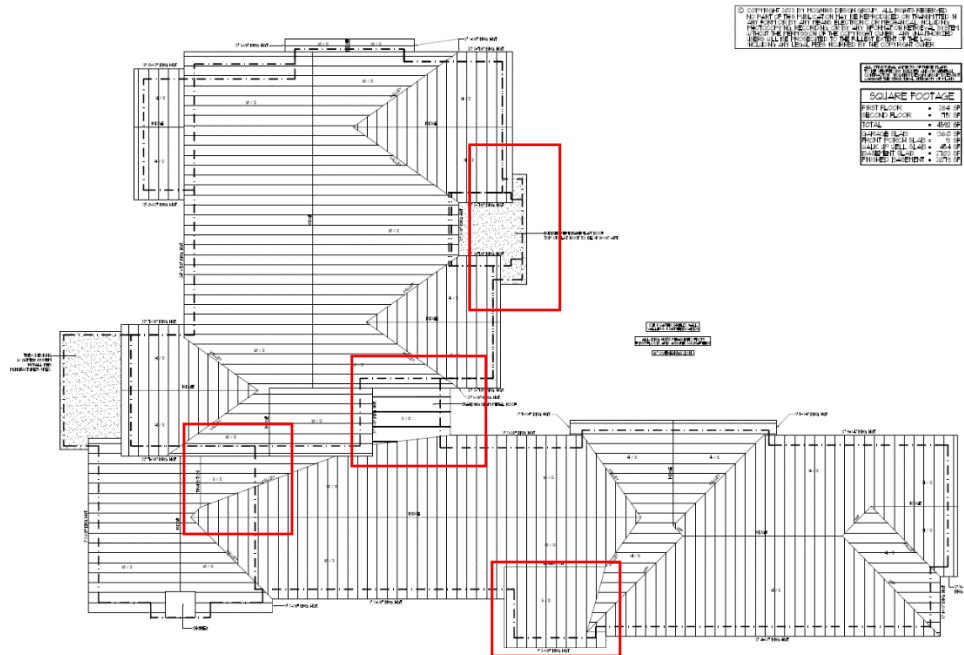
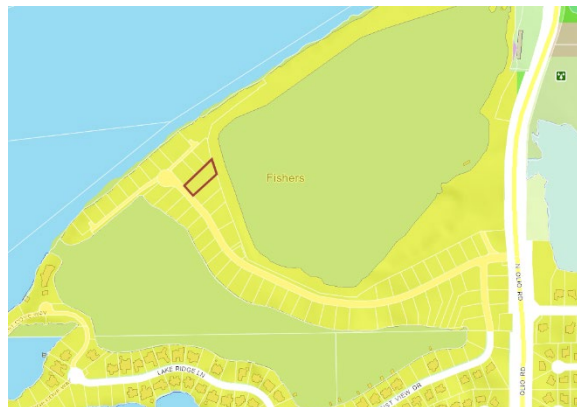


Figure 3. Roof sections not meeting roof pitch requirements indicated by red square.

Fishers 2040

The Fishers 2040 Plan identifies this area as Suburban Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

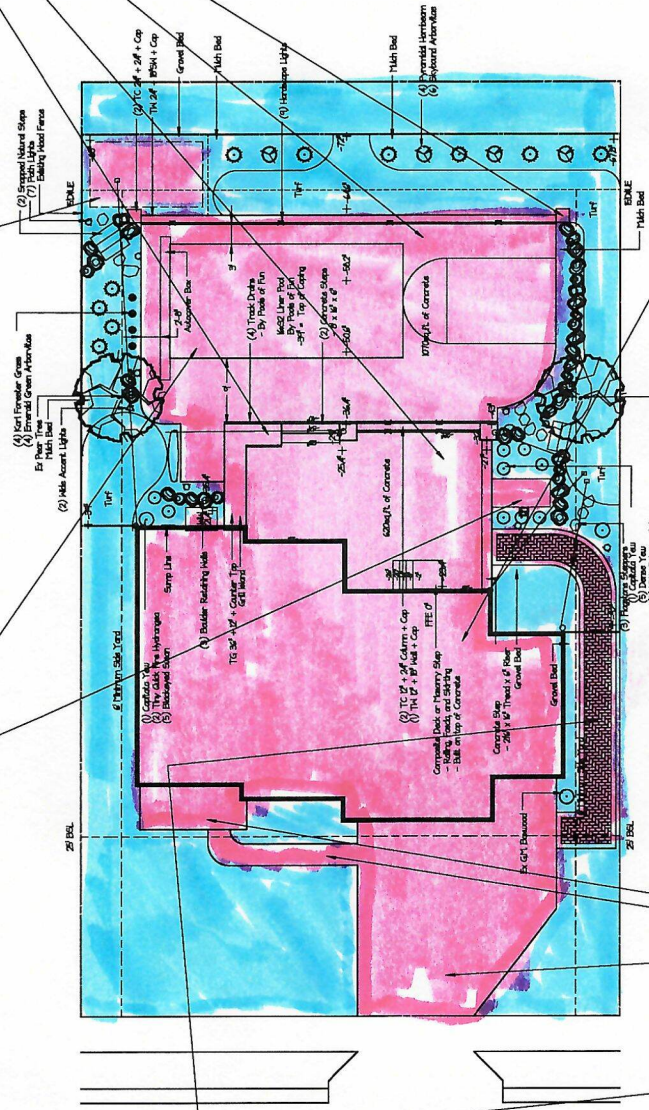
☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

— = pervious

— = impervious

Total Lot Coverage - 9620sq.ft.

1. Existing Patch, Driveway, and Sidewalk - 893sq.ft. = 9.28percent
2. Existing House - 181sq.ft. = 18.83percent
3. New Concrete Hardscaping for New Project - 1888sq.ft. = 19.63percent
4. Pool and Equipment Pad - 570sq.ft. = 5.93percent
5. Paver Walkway - 290sq.ft. = 3.01percent
6. Trampoline - 140sq.ft. = 1.46percent



Total Lot Coverage - 9620sq.ft.

1. Existing Patch, Driveway, and Sidewalk - 893sq.ft. = 9.28percent
2. Existing House - 181sq.ft. = 18.83percent
3. New Concrete Hardscaping for New Project - 1888sq.ft. = 19.63percent
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6. Trampoline - 140sq.ft. = 1.46percent

NOTES

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Rev	Change	Date	Notes
1	1-25		



12963 Silbury Hill Dr.
Fishers, IN 46037

Ruth
Full Lot Plan
Permit

DATE	1-18-24
DRAWN	DC
CHECKED	B
DATE	4-3-24
DATE	4-3-24

1 of 1



Board of Zoning Appeals Staff Report

Meeting Date: April 24, 2024

DEPARTMENT CONTACT:

Gabrielle Herin, Senior Planner
hering@fishers.in.us

CASE NUMBER:

VA-24-8

PETITIONER:

Tim Ruth, tim_ruth@icloud.com

PROPERTY ADDRESS/LOCATION:

12953 Silbury Hill Way, Fishers, IN 46037

REQUEST: Consideration of a Development Standards Variance from the Avalon PUD Ordinance #:121503E to increase the maximum allowed impervious surface percentage from 45% to 52% for a proposed pool.

APPLICABLE REGULATIONS:

Avalon PUD Ordinance #:
121503E

EXISTING ZONING:

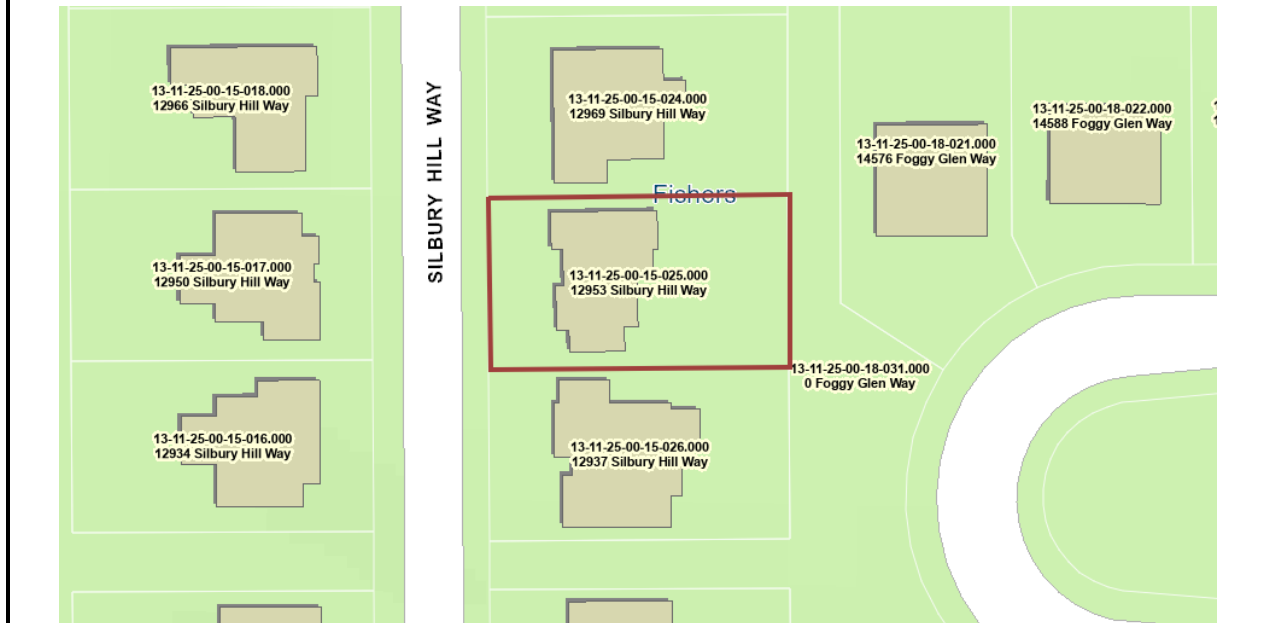
Avalon PUD

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.22 acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

ZONING HISTORY:

The area known as the Avalon PUD (Ordinance #: 010702A) was originally rezoned in 2002 to PUD-R with amendments in 2003 and 2004. The impervious surface area maximum was amended under the 2003 Ordinance amendments (Ordinance #s: 020303 and 021803G) from 35% to 45%.

SURROUNDING LAND USE & ZONING:

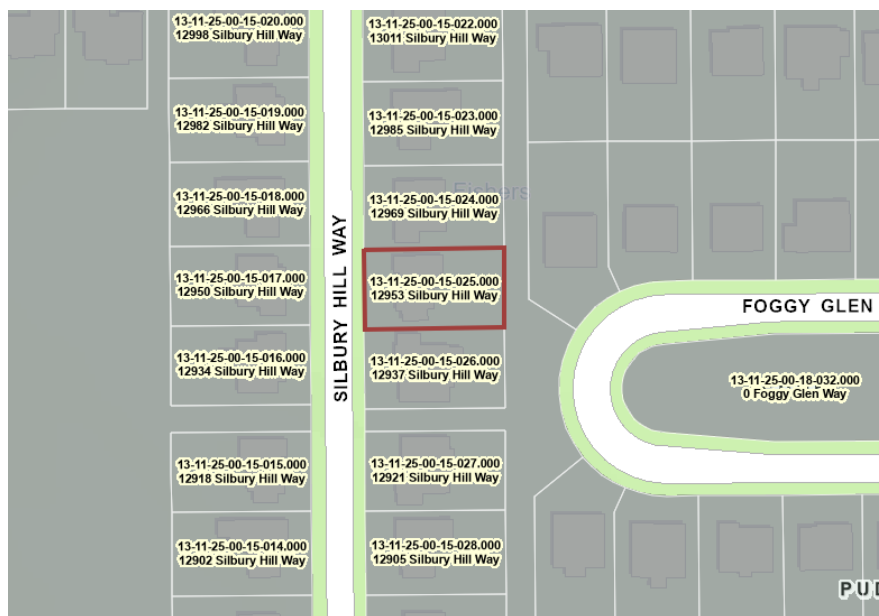
North: PUD-R (Traditional Single Family)

South: PUD-R (Traditional Single Family)

East: PUD-R (Traditional Single Family)

West: PUD-R (Traditional Single Family, Recreation Center & Woods)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

No public comments regarding this variance were received.

PETITION OVERVIEW:

Summary of Request

Tim Ruth, the property owner, is requesting a Development Standards Variance to increase the lot's maximum impervious surface area from 45% to 52% for hardscaping associated with a pool and a paver walkway. Staff confirmed he would need to increase his impervious surface coverage to 52% and that the increase would not cause any concern from the Stormwater department.

Fishers 2040

Fishers 2040 identifies the future land use of this lot to be suburban residential.

Fishers 2040 Future Land Use Map



STAFF RECOMMENDATION:

Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation
