



CITY OF FISHERS AGENDA

BOARD/COMMISSION: Planned Unit Development (PUD) Committee

DATE: 8/5/2026 at 5:00 PM

ADDRESS: Fishers Municipal Center Theater,
1 Municipal Drive, Fishers, IN 46038

Members of the public are encouraged to [submit comments to the board via this form](#) before 12 p.m. on the day of the meeting. Members of the public may [stream the live meeting online](#).

See the list of board members at [FishersIN.gov/PUD](https://fishersin.gov/PUD).

1. Regular PUD Committee

a. Balmoral Village

Address: 10101 Hamilton Hills Lane

Parcel: 14-14-10-00-00-013.000, 14-14-10-00-00-014.002, & 14-14-10-00-00-016.000

Case: PUD-26-6

Request: Request to Approve additional elevations for Balmoral Village Pennington Model, including the Pennington Elevation D, E, and F.

Petitioner: Talyor Navarre, Lennar Homes

Staff: Ross Hilleary

2. Staff Communication

DEPARTMENT CONTACT:

Ross Hilleary, Assistant Director of Planning

CASE NUMBER:

PUD-26-6

PETITIONER:

Taylor Navarre, Lennar Homes

PROPERTY ADDRESS/LOCATION:

14-14-10-00-00-014.101, 14-14-10-00-00-016.000,
 14-14-10-02-01-002.000, 14-14-10-02-01-003.000,
 14-14-10-02-01-001.000, & 14-14-10-00-00-014.001

REQUEST: Request to Approve additional elevations for Balmoral Village Pennington Model, including the Pennington Elevation D, E, and F.

APPLICABLE REGULATIONS:

Balmoral Village PUD and Unified Development Ord.

EXISTING ZONING:

Balmoral Village PUD

FISHERS 2040:

Suburban Residential

Lot Size: 44.59 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve

☒ Approve with Conditions

☐ Continue

☐ Deny

ZONING OVERVIEW

The property is currently zoned PUD-R Balmoral Village, Ordinance No. 111824 approved January 13, 2025 and allows for single-family and townhomes.



Zoning Map

PETITION OVERVIEW

The petitioner request to approve additional elevations for Balmoral Village Pennington Model, including the Pennington Elevation D, E, and F.

As part of the rezone process the following elevations were approved by the PUD Committee:

- Chartwell (A, B, C,)
- Halstead (A, B, C)
- Milford (A, B, C,)
- Pennington (A, B, C)

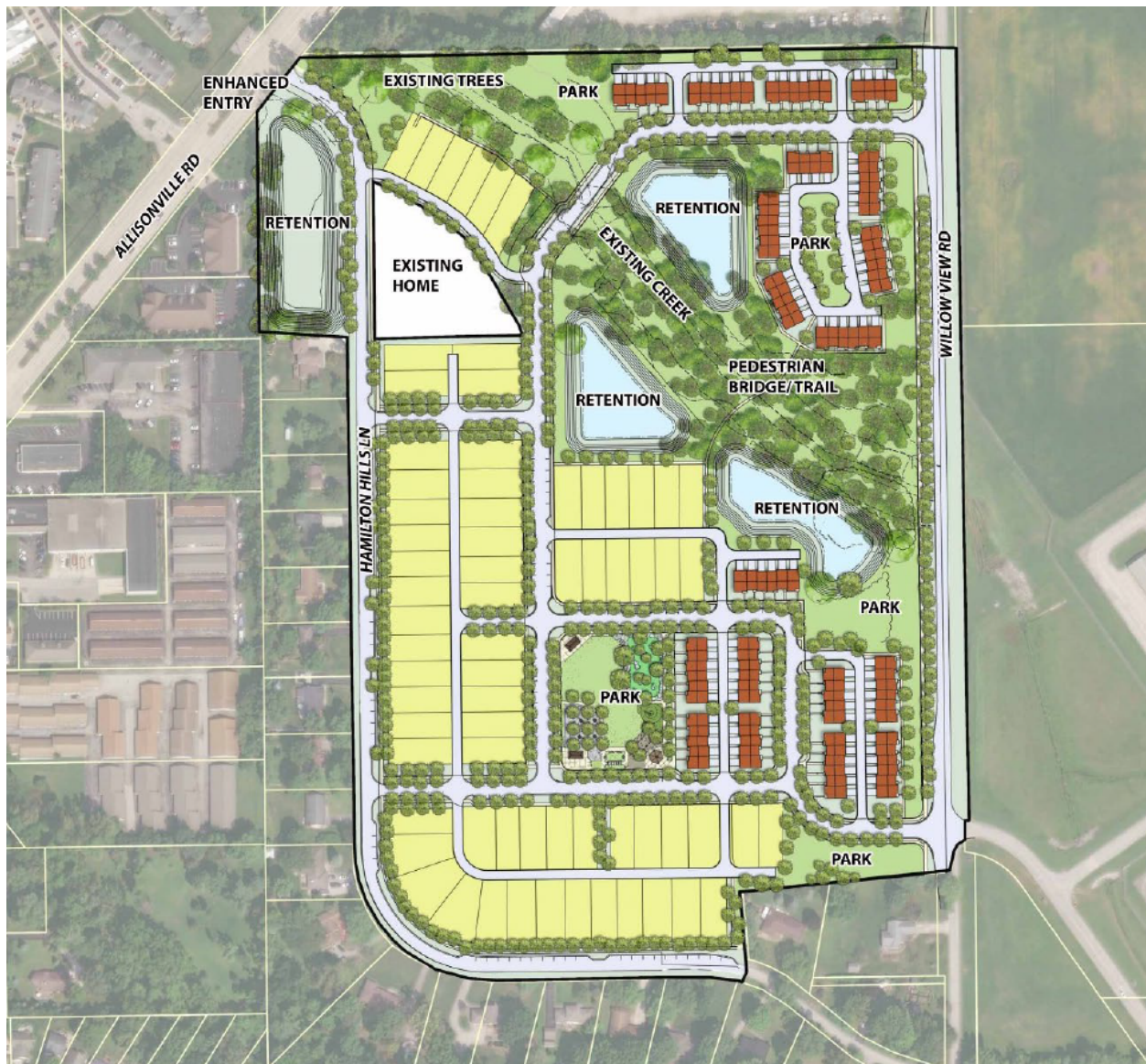
With the following conditions:

- All Single-Family homes have three materials, which includes masonry and two types of siding material (e.g., horizontal, board-and-batten, shake)

- All Single-Family homes have a single siding color (e.g. two different colors of the same tint/tone are acceptable)
- All Single-Family homes have a masonry wrap on the side and rear, providing masonry on all four (4) sides

SITE PLAN

Below is the concept plan from the PUD Ordinance. These new elevations would only apply to the Single-Family lots, shown in yellow.



Full Site Plan

PREVIOUSLY APPROVED ELEVATIONS



Chartwell Elevation A, B, C



Halstead Elevation A, B, C



Milford Elevation A, B, C



Pennington Elevation A, B, C

NEW ELEVATIONS

The petitioner request to approve additional elevations for Balmoral Village Pennington Model, including the Pennington Elevation D, E, and F.



Pennington D



Pennington E



Pennington F

ARCHITECTURAL DETAILS:

Materials used on this project are as follows:

- Masonry package consistent across the neighborhood
- Fiber Cement Siding

Details:

- All homes have a covered stoop or porch
- All homes have multiple roof lines
- All homes have high quality material either masonry or fiber cement board
- All homes have minimum size of 10" x 10" columns or a 16" tapered columns
- All homes will have a two- or three-car garage

STAFF RECOMMENDATION

The petitioner has communicated with staff to match the elevations to the conditions included in the original submission. Pennington D, E, and F all have masonry and two types of siding material (e.g., horizontal, board-and-batten, shake) with a single-color tone. Pennington F adds the additional dimension of 2nd story outdoor living area on the front elevation which is a new addition to the neighborhood. All Single-Family homes have a masonry wrap on the side and rear, providing masonry on all four (4) sides.

Staff recommends Approval as presented with the following conditions consistent with the approval of the previous elevations, for Pennington D, E, and F:

- three materials, which include masonry and two types of siding material (e.g., horizontal, board-and-batten, shake)
- have a single siding color (e.g. two different colors of the same tint/tone are acceptable)
- have a masonry wrap on the side and rear, providing masonry on all four (4) sides

STAFF RECOMMENDATION

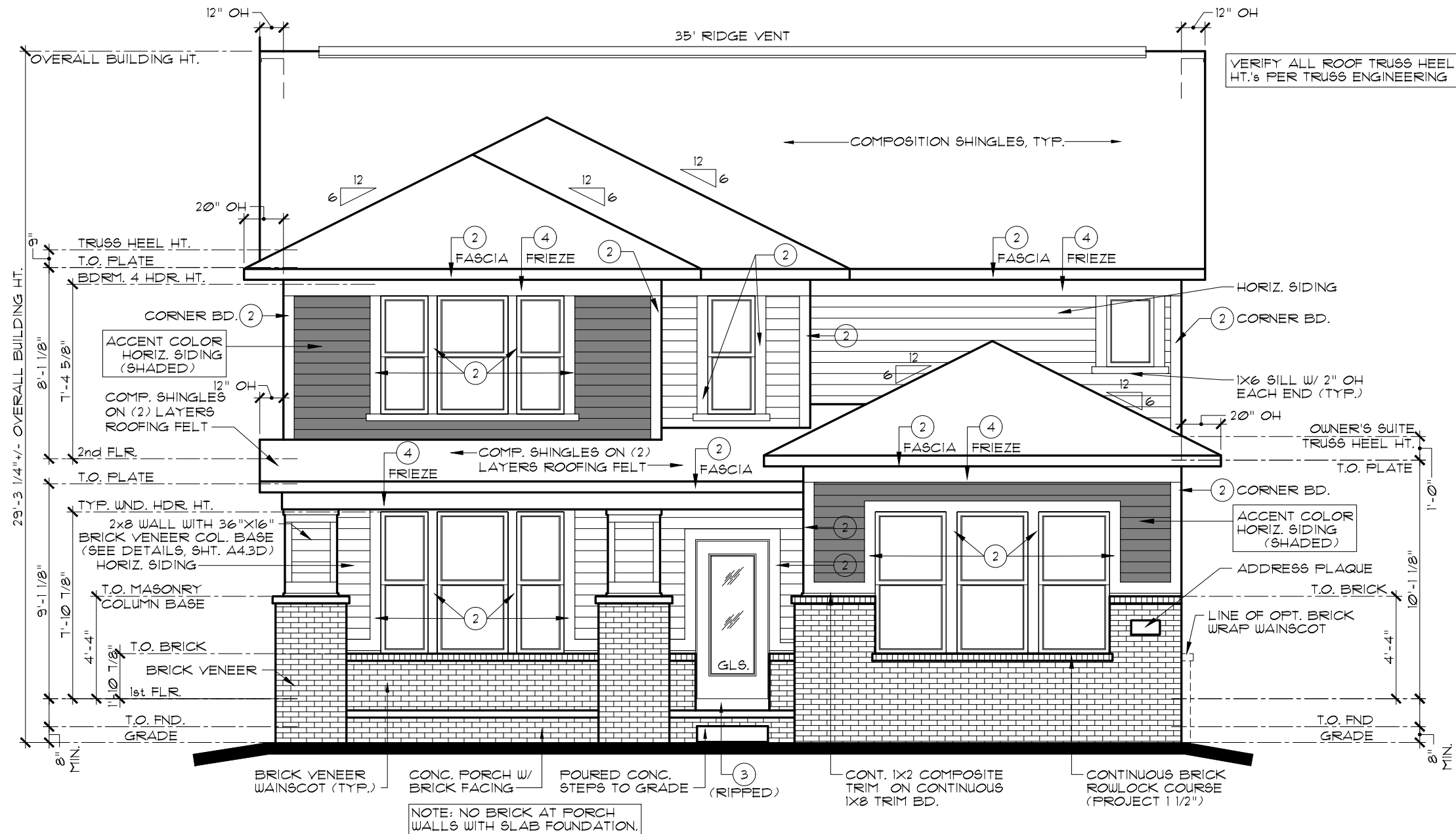
☐ Approve ☒ Approve with Conditions ☐ Continue ☐ Deny











FRONT ELEVATION D

SCALE: 3/16" = 1'-0"

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION
CONDITION. SLAB FOUNDATION SIMILAR.

EXTERIOR TRIM KEY

- | | |
|----------------|----------|
| V VINYL CORNER | 3 1 x 8 |
| 1 1 x 4 | 4 1 x 10 |
| 2 1 x 6 | 5 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

INDIANAPOLIS DIVISION



EVERYTHING'S
INCLUDED®

REV. NO.	DATE	REMARKS
1	1/27/21	ISSUE DATE
2	11/17/25	NEW ELEVATIONS
3		
4		
5		

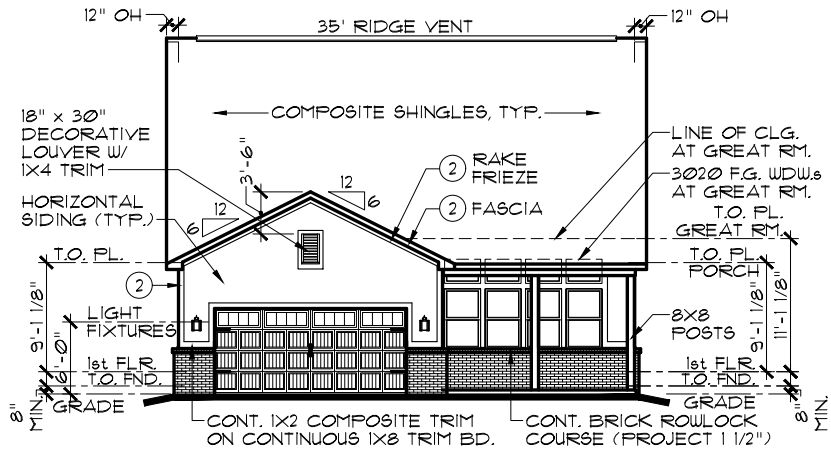
THESE PLANS AND THE DESIGNS
CONTAINED HEREIN ARE THE SOLE
PROPERTY OF LENNAR CORPORATION.
© 2018 LENNAR CORPORATION,
ALL RIGHTS RESERVED.

LENNAR CORPORATION EXPRESSLY
RESERVES ITS COPYRIGHT AND OTHER
PROPERTY RIGHTS IN THESE DESIGNS
AND DRAWINGS. UNAUTHORIZED
DUPLICATION OR DISTRIBUTION OF
THESE PLANS IS PROHIBITED.

MODEL	SET NO.	DRAWN BY	COLLECTION
PENNINGTON D	1759D0	SAM/MWE	HERITAGE
DRAWING TITLE	FRONT ELEVATION		
OPTION DESCRIPTION			

SHEET NO.

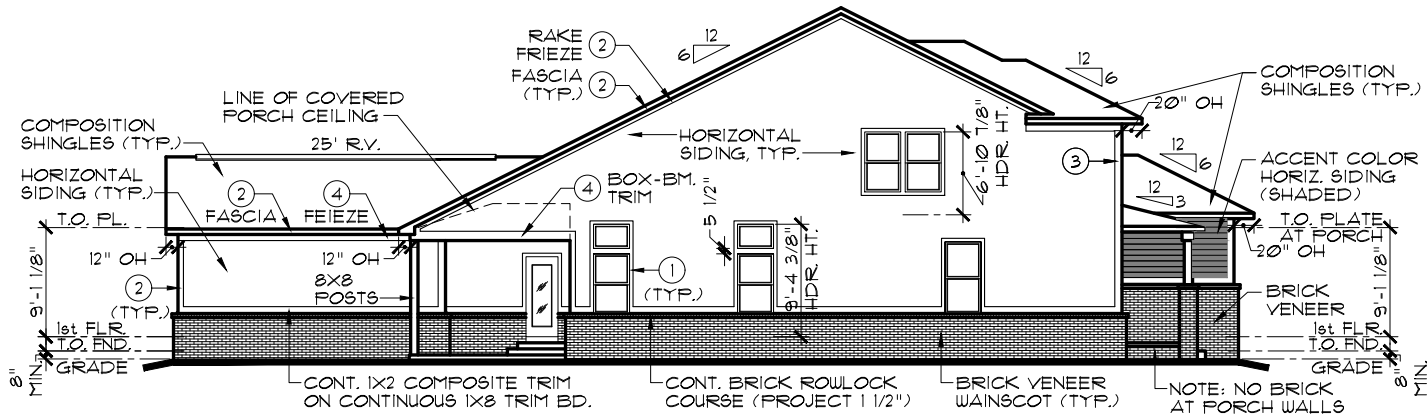
A1.1D



REAR ELEVATION

OPT. BRICK WAINSCOT WRAP

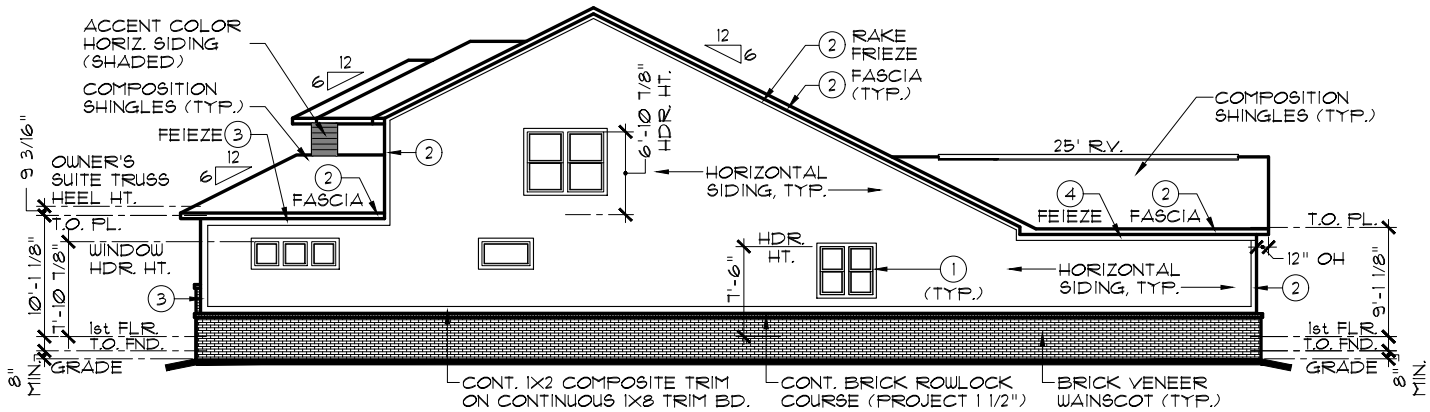
SCALE: 1/16" = 1'-0"



LEFT ELEVATION

OPT. BRICK WAINSCOT WRAP

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

OPT. BRICK WAINSCOT WRAP

SCALE: 1/16" = 1'-0"

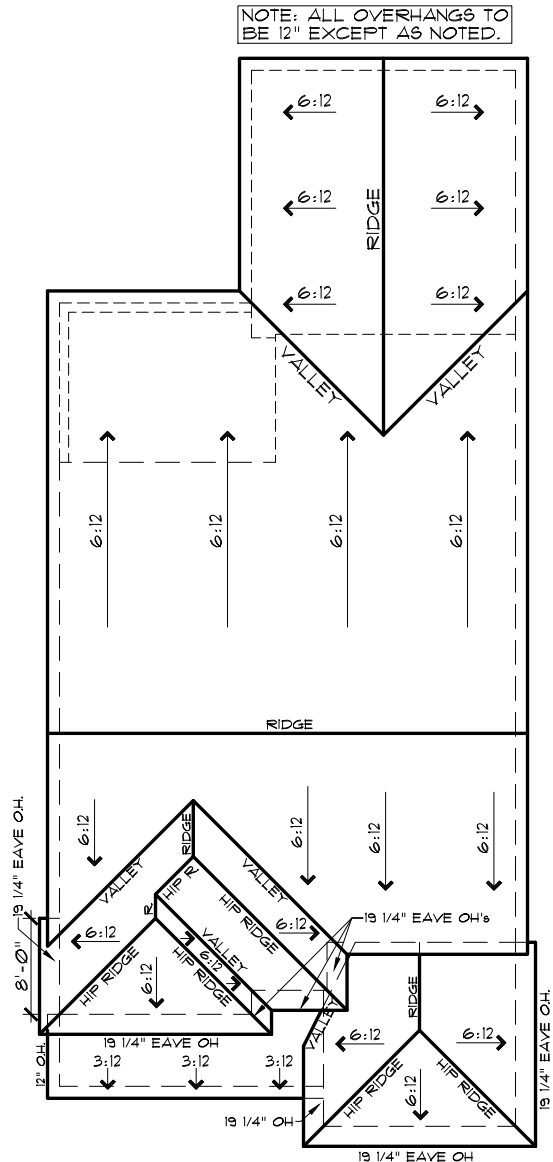
EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.



ROOF PLAN D

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

REMARKS	DATE	REV. NO.	ISSUE DATE	NEW ELEVATIONS
	1/27/21	1		
	11/7/25	2		
		3		
		4		
		5		

THESE PLANS AND THE DESIGNS CONTAINED HEREIN ARE THE SOLE PROPERTY OF LENNAR CORPORATION. © 2018 LENNAR CORPORATION. ALL RIGHTS RESERVED.

LENNAR CORPORATION EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DESIGNS AND DRAWINGS. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF THESE PLANS IS PROHIBITED.

LENNAR®

MODEL	SET NO.	DRAWN BY	COLLECTION
PENNINGTON D	1759D0	SAM/MWE	HERITAGE
DRAWING TITLE	SIDE, REAR ELEVATIONS		
OPTION DESCRIPTION	STD. BRICK FRONT OPT. BRICK WAINSCOT WRAP		

SHEET NO.

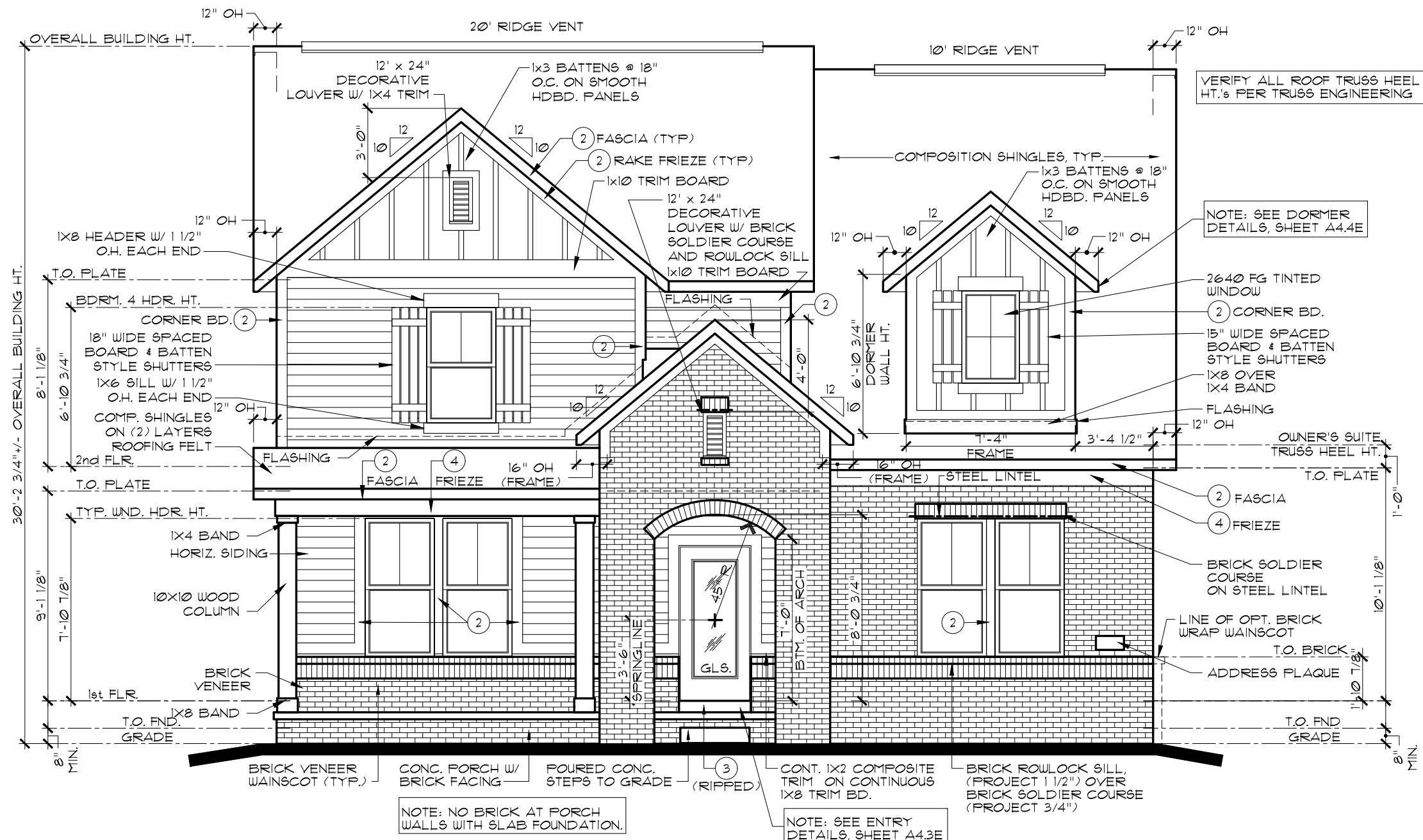
A1.2D











FRONT ELEVATION E

SCALE: 3/16" = 1'-0"

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

EXTERIOR TRIM KEY

- | | | | |
|---|--------------|---|--------|
| V | VINYL CORNER | 3 | 1 x 8 |
| 1 | 1 x 4 | 4 | 1 x 10 |
| 2 | 1 x 6 | 5 | 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

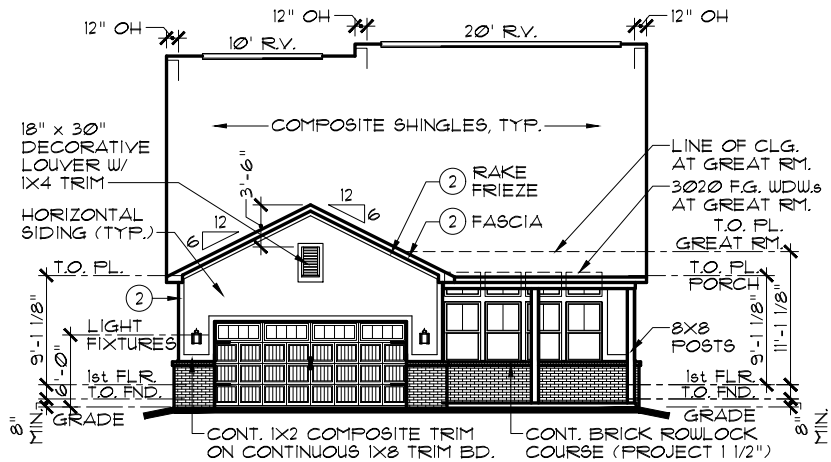
REV. NO.	DATE	REMARKS
1	1/27/21	ISSUE DATE
2	11/7/25	NEW ELEVATIONS
3		
4		
5		

THESE PLANS AND THE DESIGNS CONTAINED HEREIN ARE THE SOLE PROPERTY OF LENNAR CORPORATION. © 2018 LENNAR CORPORATION. ALL RIGHTS RESERVED. LENNAR CORPORATION EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DESIGNS AND DRAWINGS. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF THESE PLANS IS PROHIBITED.

MODEL	SET NO.	DRAWN BY	COLLECTION
PENNINGTON E	1759EO	SAM/MWE	HERITAGE
DRAWING TITLE	FRONT ELEVATION		
OPTION DESCRIPTION			

SHEET NO.

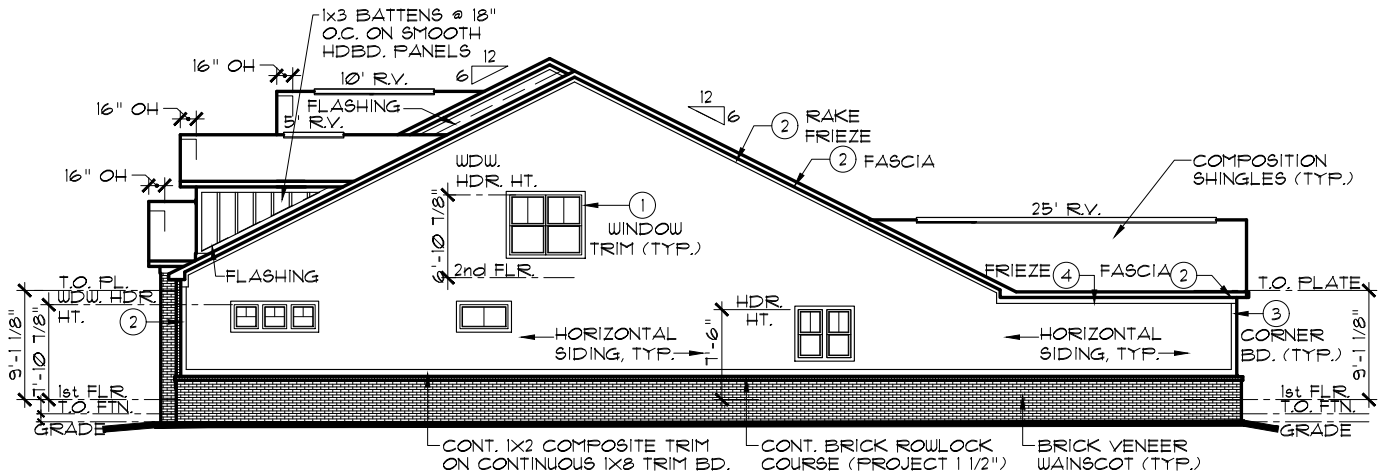
A1.1E



REAR ELEVATION

OPT. BRICK WAINSCOT WRAP

SCALE: 1/16" = 1'-0"



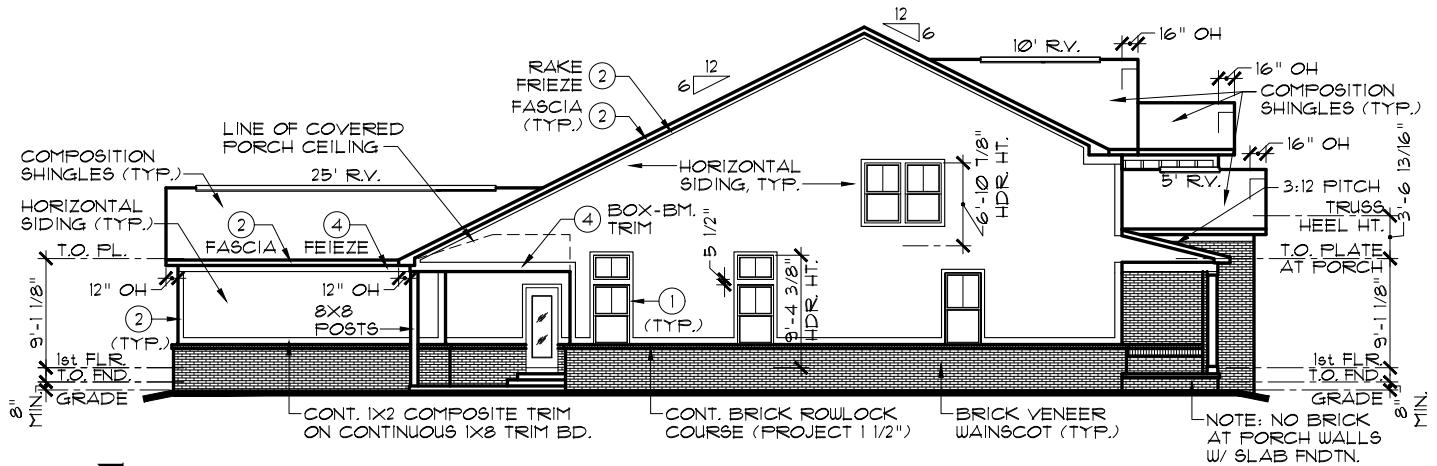
RIGHT ELEVATION

OPT. BRICK WAINSCOT WRAP

SCALE: 1/16" = 1'-0"

LEFT ELEVATION

OPT. BRICK WAINSCOT WRAP



SCALE: 1/16" = 1'-0"

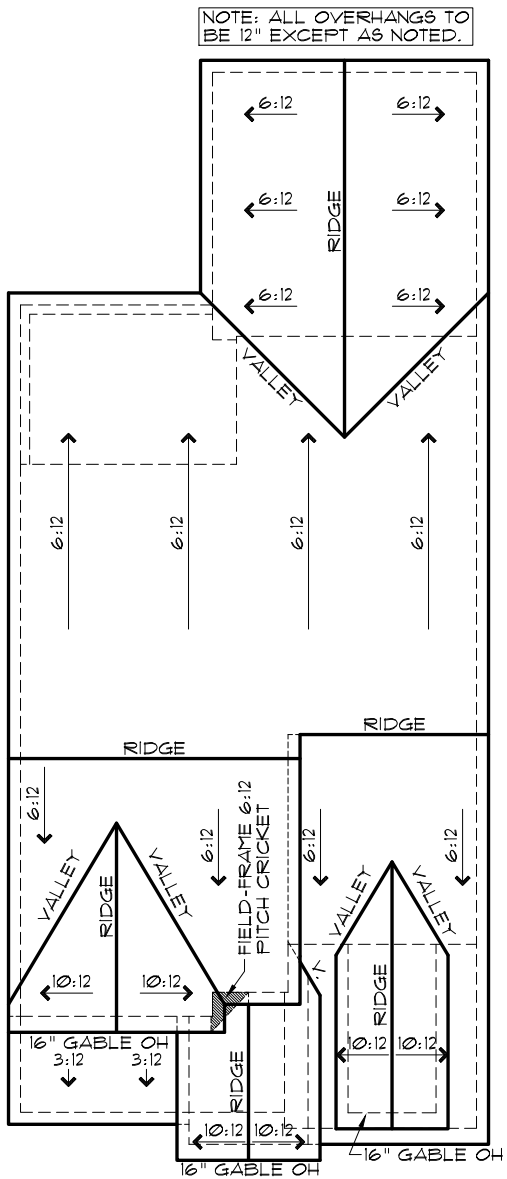
EXTERIOR TRIM KEY

- (V) VINYL CORNER
- (1) 1 x 4
- (2) 1 x 6
- (3) 1 x 8
- (4) 1 x 10
- (5) 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.



ROOF PLAN E

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

REMARKS	DATE	REV. NO.	ISSUE DATE	NEW ELEVATIONS
	1/27/21	1	1/17/25	
		2		
		3		
		4		
		5		

THESE PLANS AND THE DESIGNS CONTAINED HEREIN ARE THE SOLE PROPERTY OF LENNAR CORPORATION. © 2018 LENNAR CORPORATION, ALL RIGHTS RESERVED. LENNAR CORPORATION EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DESIGNS AND DRAWINGS. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF THESE PLANS IS PROHIBITED.

LENNAR®

MODEL	SET NO.	DRAWN BY	COLLECTION	HERITAGE
PENNINGTON E	1759E0	SAM/MWE		
DRAWING TITLE	SIDE, REAR ELEVATIONS			
OPTION DESCRIPTION	STD. BRICK FRONT OPT. BRICK WAINSCOT WRAP			

SHEET NO.

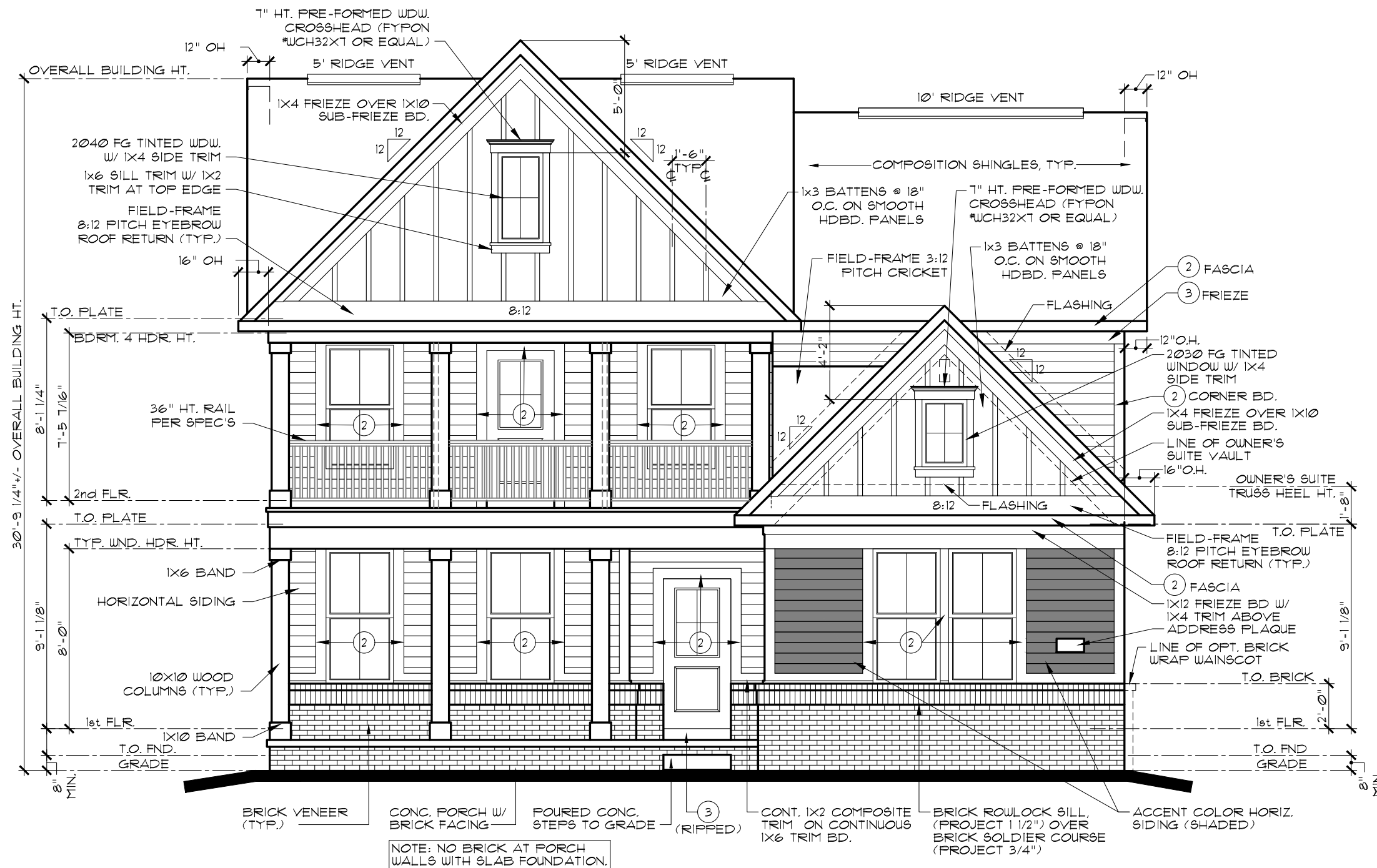
A1.2E











FRONT ELEVATION F

SCALE: 3/16" = 1'-0"

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

EXTERIOR TRIM KEY

- | | | | |
|---|--------------|---|--------|
| 1 | VINYL CORNER | 3 | 1 x 8 |
| 2 | 1 x 4 | 4 | 1 x 10 |
| 3 | 1 x 6 | 5 | 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

REV. NO.	DATE	REMARKS
1	1/27/21	ISSUE DATE
2	11/17/25	NEW ELEVATIONS
3		
4		
5		

THESE PLANS AND THE DESIGNS CONTAINED HEREIN ARE THE SOLE PROPERTY OF LENNAR CORPORATION. © 2018 LENNAR CORPORATION. ALL RIGHTS RESERVED. LENNAR CORPORATION EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DESIGNS AND DRAWINGS. UNAUTHORIZED DUPLICATION OR DISTRIBUTION OF THESE PLANS IS PROHIBITED.

SET NO.	1759FO
DRAWN BY	SAM/MWE
COLLECTION	HERITAGE
MODEL	PENNINGTON F
DRAWING TITLE	FRONT ELEVATION
OPTION DESCRIPTION	

SHEET NO. A1.1F

[illegible]

SCALE: 1/16" = 1'-0"