



CITY OF FISHERS AGENDA

BOARD/COMMISSION: Board of Zoning Appeals – Fishers

DATE: 7/22/2026 at 6:00 PM

ADDRESS: Fishers Municipal Center Theater,
1 Municipal Drive, Fishers, IN 46038

Members of the public are encouraged to [submit comments to the board via this form](#) before 12 p.m. on the day of the meeting. Members of the public may [stream the live meeting online](#).

See the list of board members at [FishersIN.gov/BZA](https://fishersin.gov/BZA).

1. Call to order / Pledge of Allegiance

2. Roll Call

3. Approval of Previous Minutes

- a. BZA DRAFT Minutes- 6/25/26

4. Public Hearings

a. Harmeyer Accessory Structure Setback

Parcel: 15-11-19-00-19-009.000

Address: 8827 Lindsey Ct

Case: VA-26-6

Request: Consideration of a Development Standards Variance from Section 6.2.2.C.2. to allow an accessory structure side setback reduction from ten feet (10') to two feet (2').

Petitioner: Maureen & Ethan Harmeyer

Planner: Grace Wiley

b. Loma Ct Lot 7 Setbacks

Parcel: 14-14-12-00-02-009.000

Address: 7727 Loma Ct

Case: VA-26-7

Request: Consideration of two (2) Development Standards Variances, from Section 3.3.5.B.2a. of the City's Unified Development Ordinance (UDO) to allow a front setback of 90 feet, reduced from the required front setback of 100 feet; and from Section 3.3.5.B.2c. of the City's UDO to allow a rear setback of 20 feet, reduced from the required rear setback of 50 feet.

Petitioner: Jack Whitsitt

Planner: Grace Wiley

c. **Bloehs Short-Term Rental**

Parcel: 15-11-19-00-01-019.000

Address: 13817 Wabash Dr

Case: SE-26-3

Request: Consideration of a Special Exception to allow for a Short-Term Rental use on a property zoned R5 - Residential.

Petitioner: Jared & Angela Bloehs

Planner: Grace Wiley

5. Old Business

6. New Business

7. Staff Communication

8. Board Signatures – Findings of Fact

9. Adjournment

**CITY OF FISHERS
BOARD OF ZONING APPEALS
MINUTES
June 25, 2026**

The Board of Zoning Appeals was convened at 6:00 p.m. by Steve Ferrucci.

In attendance: Howard Stevenson, Jeffrey Silvey, Tom Grinslade, Steve Ferrucci. Greg Lannan did not attend. Others in attendance: Rodney Retzner, Lucas Smith, Grace Wiley, Paul Walters, Kay Prange, Larry Lannan. The audience included Duane Anthony, Lynda and David Pendleton, Mark Garringer, Rosemary and Thomas Flannery, Patrick Weber, Jerry Ackerman, Shawn Moore, Kathy and Gary Stump, Ron and Kendra Lambuth, Tricia Daugherty, Cynthia Brown, James Ackerman, Dave and Shelly Smith.

Mr. Ferrucci asked for a Motion for the Minutes from 5-27-26. Mr. Silvey made a Motion to approve, which was seconded by all. The Minutes were approved, 4-0.

Public Hearings:

Mission Christian Academy Temporary Classrooms

Parcel: 15-11-30-00-00-023.101

Address: 13095 Publishers Dr

Case: VA-26-4

Request: Consideration of a Development Standards Variance from Section 5.6.2.B.3. of the City's Unified Development Ordinance (UDO) to allow for four (4) portable classrooms for two (2) years for the use of additional classroom space at Mission Christian Academy.

Petitioner: Jerry Ackerman

Planner: Grace Wiley

Jerry Ackerman from the Academy presented their request. They currently have 2 portable classrooms and need 2 more portable classrooms. Their current temporary use permit expires in 2026. In the next 2 years, a new addition will be built to replace the temporary classrooms. Mr. Ferrucci asked Mr. Ackerman to give an update on their expansion plans. Grace Wiley presented the Staff Report with No recommendation to the board. A representation of all the 4 classrooms was reviewed. The Academy is open to fencing off the area. Mr. Ferrucci opened the Public Hearing. No one from the Public spoke, although several members of the audience were there to support the MCA. Mr. Ferrucci closed the Public Hearing.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve, seconded by Mr. Stevenson. The Motion was approved, 4-0.

Garringer Setback

Parcel: 15-14-01-02-06-031.000

Address: 8523 Legacy Ct

Case: VA-26-5

Request: Consideration of a Development Standards Variance from Section 3.2.10.B.2d of the City's Unified Development Ordinance (UDO) to allow a rear setback of 15 feet, rather than the required 20 feet, for the construction of an attached three-seasons room.

Petitioner: Mark Garringer

Planner: Grace Wiley

Mr. Garringer presented views of the 3-seasons room. Grace Wiley presented the Staff Report with No Recommendation to the Board. Mr. Ferrucci opened the Public Hearing. Seeing no one to speak, he closed the Public Hearing.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve, seconded by Mr. Silvey. The Motion was approved, 4-0.

Pendleton Short-Term Rental

Parcel: 15-11-19-00-03-038.000

Address: 13962 Wakefield Pl

Case: SE-26-2

Request: Consideration of a Special Exception to allow for a Short-Term Rental use on a property zoned R5 - Residential.

Petitioner: Lynda Pendleton

Planner: Grace Wiley

The Pendletons made their request to continue using this home as an Airbnb. The home is owned by the family, and Lynda's mother lived there for 20 years. They have operated an Airbnb there for several years (3 ½ years of hosting) when they received a notice that the property is not in compliance with the Fishers short-term rental policy. The property is considered to be a partnership with their neighbors. Taxes are paid and the property is well kept.

Grace Wiley presented the Staff Report with no recommendation to the Board.

Mr. Ferrucci opened the Public Hearing.

Neighbors attended in support. The petitioner received Emails of support from:

Patricia Nytko

Angel Oisadill

Colleen Fields

Kendra Lambuth (13972 Whittier Dr.)

Scott Kinnard

(Not all attendees signed in.)

Rosemary Flannery (13963 Wakefield Pl.) spoke that there have been no issues.

Mr. Ferrucci closed the Public Hearing

He and asked for any discussion from the Board. There was no additional discussion and Mr. Ferrucci spoke about the 7 characteristics that the Board would consider for a Special Exception and that the Pendletons put together an excellent presentation.

Mr. Ferrucci asked for a Motion. Mr. Grinslade made a Motion to approve, seconded by Mr. Stevenson. The Motion was approved, 4-0.

As there was no other business, the meeting was adjourned at 6:43 p.m.

Respectfully Submitted by:

Kay Prange, Recording Secretary



Board of Zoning Appeals Staff Report

Meeting Date: July 22, 2026

DEPARTMENT CONTACT:

Grace Wiley

CASE NUMBER:

VA-26-6

PETITIONER:

Maureen & Ethan Harmeyer

PROPERTY ADDRESS/LOCATION:

8827 Lindsey Ct

REQUEST: Consideration of a Development Standards Variance from Section 6.2.2.C.2. to allow an accessory structure side setback reduction from ten feet (10') to two feet (2').

APPLICABLE REGULATIONS:

Unified Development Ordinance (UDO)

EXISTING ZONING:

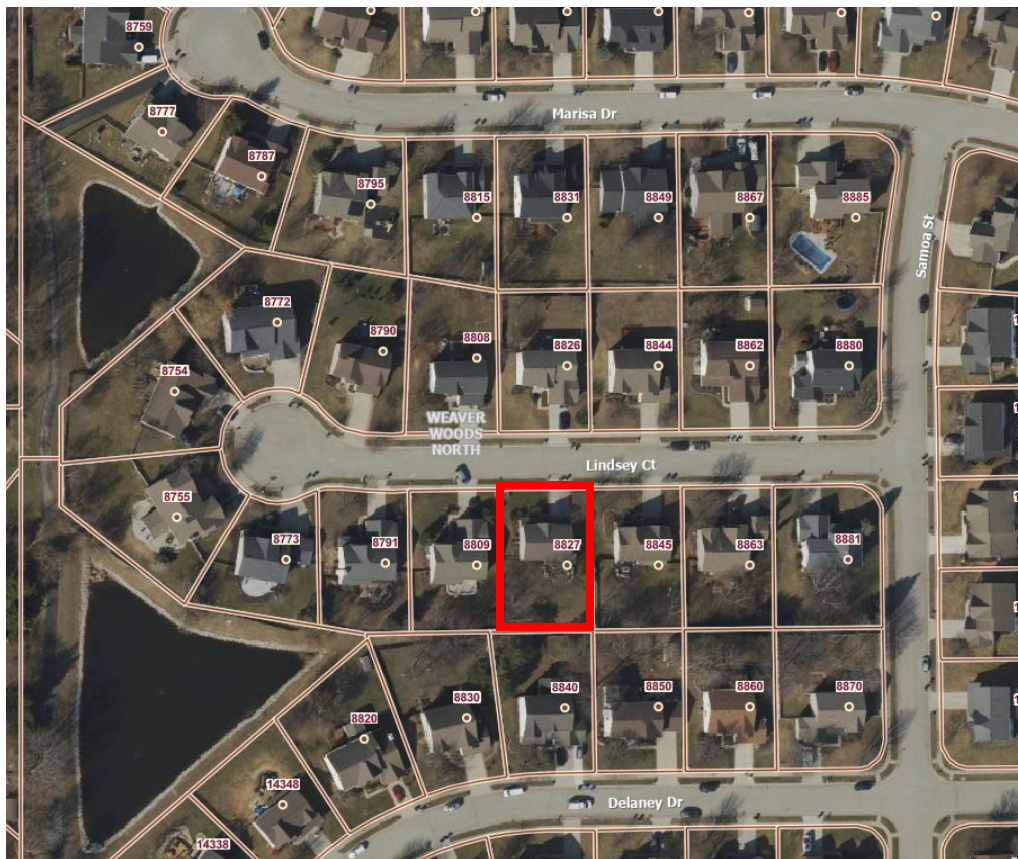
R4 – Residential

FISHERS 2040:

Suburban Residential

LOT SIZE: 0.23 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve, with Condition ☐ Continue ☐ Deny ☒ No Recommendation

Meeting Date: July 22, 2026

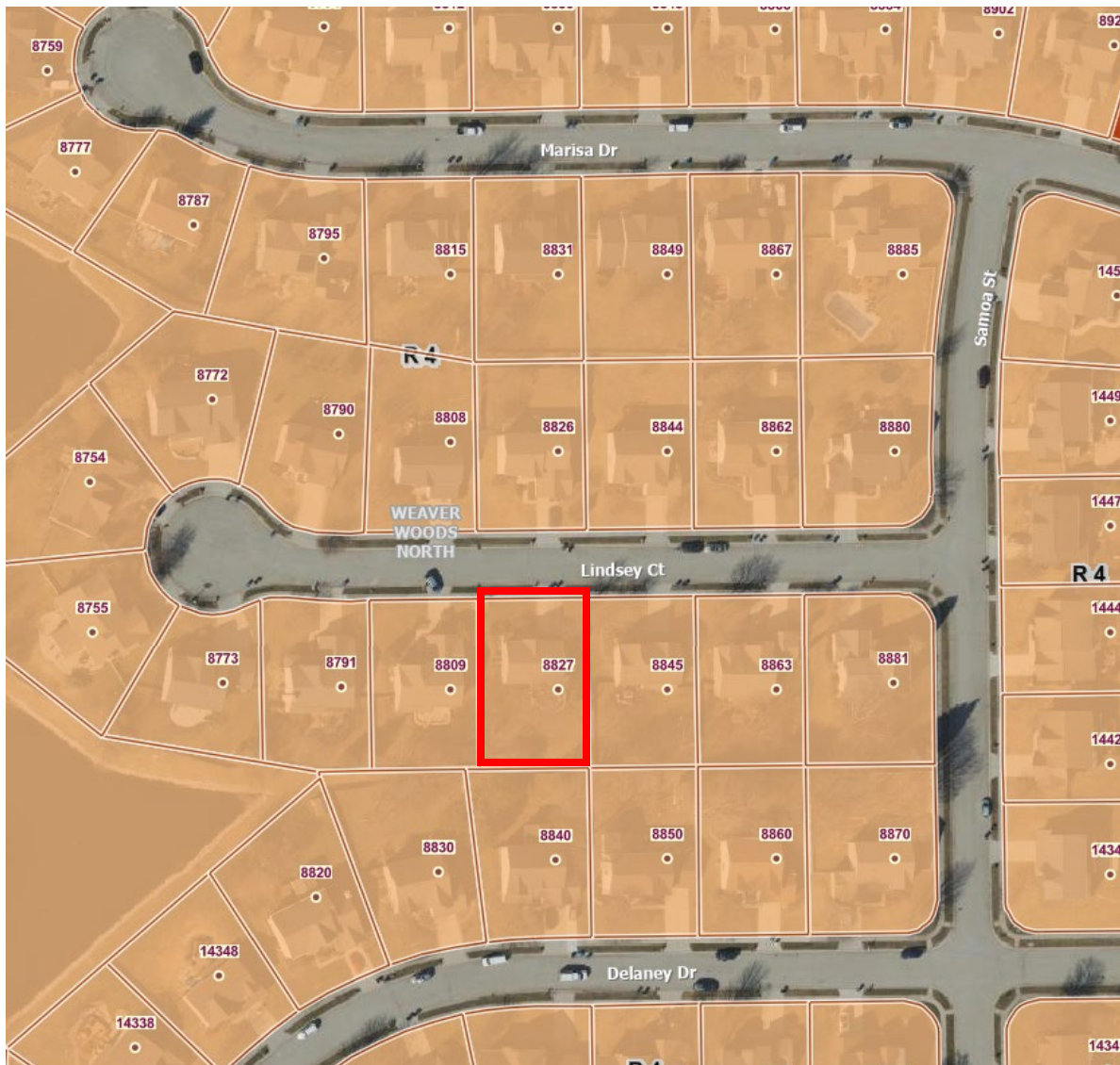
Case Number: VA-26-6

ZONING HISTORY:

This property is zoned R4 – Residential and regulated by the City of Fishers Unified Development Ordinance (Ord. #07618F).

SURROUNDING LAND USE & ZONING:

North: R4 – Residential
East: R4 – Residential
South: R4 – Residential
West: R4 – Residential



FISHERS 2040 COMPREHENSIVE PLAN

The Fishers 2040 Plan identifies this area as Suburban Residential.



Suburban Residential

PURPOSE

Single-family detached residential at low densities ranging from two to four dwelling units per acre. For larger development, a variety of densities within the permitted range is encouraged to allow for more diversity in housing type.

LAND USES

- Single-family detached residential

DENSITY/INTENSITY

- Residential development between two and four dwelling units per acre

DEVELOPMENT FEATURES

- Development shall protect and enhance natural environment.
- Internal and external pedestrian and vehicular connectivity is required.
- A mix of housing types and architectural styles is desired.

- Curvilinear street layout is permitted, however grid or modified grid street layout is also permitted to increase connectivity with surrounding neighborhoods. Vehicular and pedestrian connections to neighboring parcels is required.
- To provide opportunities for affordable, sustainable housing, smaller lots and smaller minimum home sizes may be appropriate depending on the location, quality, and character of the development plan and homes.

EXAMPLES: Sandstone, Silverton



This aerial photo of residential lots in the Sandstone neighborhood is an example of typical suburban residential densities.



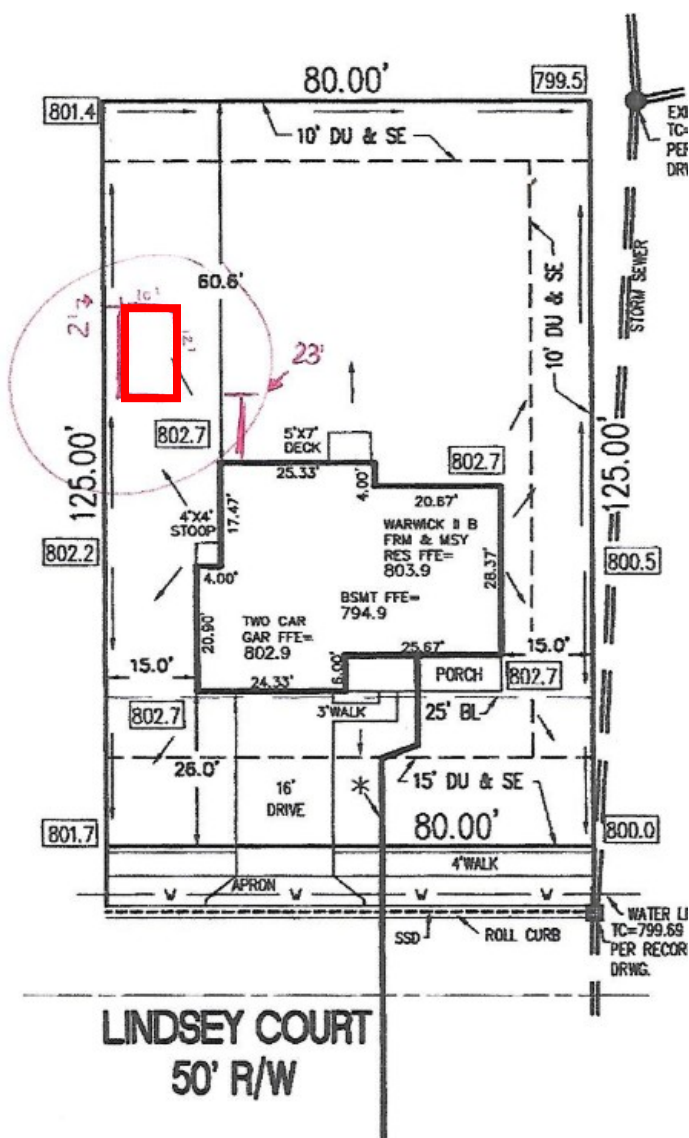
This photo of a home in the Silverton neighborhood is typical of the architecture, size and front yard setbacks typical to suburban residential neighborhoods.

Case Number: VA-26-6

At the time of writing this Staff Report, no public comments have been received.

The petitioner is requesting a Development Standards Variance from Section 6.2.2.C.2. to allow an accessory structure side setback reduction from ten feet (10') to two feet (2').

The proposed site plan is shown below, with the proposed shed shown in red. The proposed shed is 120 square feet in area and approximately 7 feet in height. Additional details of the shed can be found in the petitioner packet.



Proposed site plan. Proposed shed is outlined in red.

DECISION CRITERIA:

Excerpt from UDO Sec. 10.2.24.E.

In acting on all Variance requests, the Board shall use decision criteria to approve or deny Variances consistent with the requirements of Indiana Code as set forth below:

2. Variances of Development Standards

- a. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.
- b. The use and value of the area adjacent to the property included in the Variance will not be affected in a substantially adverse manner.
- c. The strict application of the terms of the Ordinance will result in practical difficulties in the use of the property.

STAFF RECOMMENDATION:

Staff has NO RECOMMENDATION to the BZA for this variance request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve, with Conditions ☐ Continue ☐ Deny ☒ No Recommendation

#VA-26-6 8827 Lindsey Ct - Harmeyer

Variance request for a storage shed. Details of the look and feel are attached in the additional documents. Please be aware that we comply with all HOA guidelines and rules to ensure proper fit for the area.

Development Standards Variance Decision Criteria

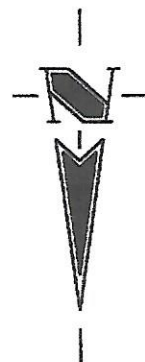
1. *The approval will not be injurious to the public health, safety, morals, and general welfare of the community.*
 - ➔ No concern to public health, safety, morals, and general welfare as we intend to build a simple storage shed for gardening tools and more (e.g. lawn mower, grill, outdoor furniture, etc).
2. *The use and value of the area adjacent to the property included in the Variance will not be affected in a substantially adverse manner.*
 - ➔ We comply with all given HOA guidelines and rules to ensure value of the area adjacent is not negatively impacted. We hope to improve the value of the property and area.
3. *The strict application of the terms of the Ordinance will result in practical difficulties in the use of the property.*
 - ➔ If the variance is not approved, the shed would have to be placed in the middle of the backyard. That would create difficulties for our family to actually enjoy our yard as intended.

NOTE: THIS DRAWING IS BASED ON CONSTRUCTION PLANS OR RECORD DRAWINGS AND IS NOT BASED UPON A FIELD SURVEY. SCHNEIDER ENGINEERING CORP. DOES NOT WARRANT THE ACCURACY OR SUFFICIENCY OF THIS INFORMATION. THE CONTRACTOR SHOULD VERIFY EXISTING CONDITIONS PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCY FOUND UPON THIS DRAWING SHOULD BE REPORTED TO SCHNEIDER ENGINEERING CORP. IMMEDIATELY; FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR'S ASSUMPTION OF LIABILITY.

NOTE: THE BASEMENT ELEVATION DEPICTED HEREON HAS BEEN DETERMINED AND BASED UPON THE PAD GRADES AND OR CONTOURS TAKEN FROM THE CONSTRUCTION PLANS FOR THE SUBDIVISION. UNLESS STATED, NO INFORMATION ABOUT FLUCTUATING WATER TABLES, SOIL CONDITIONS OR SOIL TYPES WITHIN THE BUILDING AREA HAS BEEN PROVIDED OR STATED ON SAID PLAN. IT IS RECOMMENDED THAT BASEMENT FINISHED FLOOR ELEVATIONS BE AT LEAST (2) FEET ABOVE THE NORMAL POOL ELEVATION OF ANY ADJOINING BODIES OF WATER UNLESS A STUDY OF FACTS REVEALS OTHERWISE. IF DURING THE EXCAVATION PROCESS, ANY GROUNDWATER IS WITNESSED, SCHNEIDER ENGINEERING CORP. SHOULD BE NOTIFIED IMMEDIATELY. THE BASEMENT ELEVATION SHOULD BE RAISED (2) FEET ABOVE THE GROUNDWATER LEVEL AND ADDITIONAL CONSTRUCTION TECHNIQUES SHOULD BE INCORPORATED TO ALLEVIATE FUTURE PROBLEMS.

PER HSE'S "STANDARDS FOR DESIGN AND CONSTRUCTION OF BUILDING SEWERS" THE LOWEST ELEVATION TO HAVE GRAVITY SANITARY SERVICE MUST BE A MINIMUM OF ONE (1) FOOT ABOVE THE LOWEST TOP OF CASTING ELEVATION OF EITHER THE FIRST UPSTREAM OR DOWNSTREAM MANHOLE ON THE PUBLIC SEWER TO WHICH THE CONNECTION IS TO BE MADE.

LOT # 173
10,000 SF



ASSUMED NORTH
SCALE: 1" = 30'

NOTE:
SIDEWALK TO BE PLACED
1' FROM PROPERTY LINE,
5' FROM BACK OF CURB,
PER PLAN.

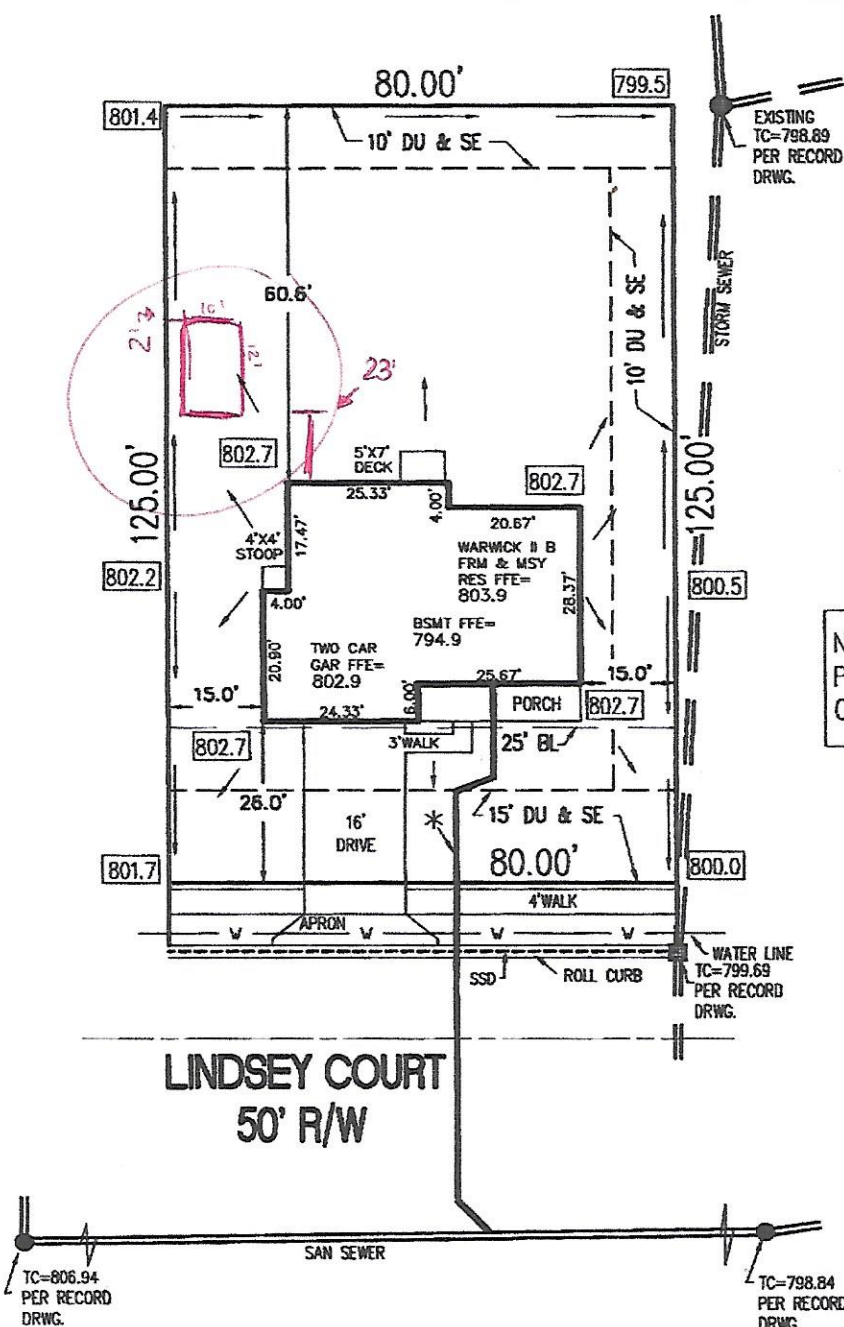
* APPROXIMATE LOCATION
CONFIRM BEFORE
CONSTRUCTION 6" SAN. LAT.

NOTE: GARAGE F.F.E. IS
PROPOSED TO BE 3.2' ABOVE
CURB INLET PER PLAN

SQUARE FOOTAGE:

LOT - 10,000 SF
SOD - 348 ± SQ YDS
EVEN WITH REAR OF HOUSE
HYDROSEEDING - 4,158 ± SF
CONC DRIVE - 496 ± SF
PUBLIC WALK - 256 ± SF
PRIVATE WALK - 38 ± SF

SIGNATURE _____ DATE _____
SIGNATURE REPRESENTS CONFIRMATION OF RECEIPT OF PLOT PLAN BY CUSTOMER.



Harmeyer Shed – Project Details

Base Building	TR-700
Size	10ft x 12ft
Wall Size	7ft (+roof)
Roof Type	Standard
Roof Color	Charcoal
Siding Type	Siding
Siding Color	Gray By Me
Trim Color	Delicate White

Front and right side:



Back and left side:



Steel supported floor/foundation:



Weaver Woods North Property Owners Association
3002 East 56th Street
Indianapolis, IN 46220
317-253-1401

4/15/2026

ETHAN K. and MAUREEN HARMEYER
8827 LINDSEY COURT
FISHERS, IN 46038

RE: 8827 LINDSEY COURT
Lot#: 173

Dear ETHAN K. and MAUREEN HARMEYER:

The improvement request that you sent in regarding a Shed was received and approved by the Architectural Control Committee.

- **You are still required to follow up with your local municipality to determine if a permit is necessary for your improvement.**
- **It is highly recommended that you have the property lines properly marked before any fence installation.**
- **If your improvement is going into an easement- be aware that if the local utilities or city/county need access to this easement they can require you to remove your improvement at your expense.**

You have 90 days from beginning of the project to complete the updates unless you apply to the committee for an extension.

Any questions please feel free to contact Tammy Lamartz at tlamartz@ardsleymgmt.com.

Thank you,

Weaver Woods North Property Owners Association

WEAVER WOODS NORTH

ARCHITECTURAL CONTROL COMMITTEE HOMEOWNER REQUEST FOR CHANGE

1. Name Maureen Harmsen Phone 812-717-0929

Address 8827 Lindsey Ct, Fishers IN 46038

2. Briefly describe the proposed change: Storage Shed in the
backyard

3. Will there be changes or modifications in basic utility services or existing structures to accommodate the proposed change? Please indicate.

	Yes	No		Yes	No
Electric	_____	_____	Exterior Walls	_____	_____
Telephone	_____	_____	Patio Fencing	_____	_____
Gas	_____	_____	Patio Slab	_____	_____
Water	_____	_____	Sidewalks	_____	_____
Sewage	_____	_____	Pavements	_____	_____
TV Cable	_____	_____	Other _____	_____	_____

4. Please list below the major construction materials, which will be used in this project. Be as specific as possible. (Exterior materials must conform to those used on the original building or be sufficiently compatible).

Wood, Shingles, Window, Please see attachments
Steel supported foundation for further details

Name M. Harmsen Address 8827 Lindsey Ct, Fishers IN 46038

5. Do you have the approval of any immediate neighbors whose view would be altered by your proposed improvement. Would any part of the proposed improvement extend into any Common Area, Utility, Drainage or Sewer Easement, Landscape Easement, Landscape Preservation Easement or Lake Easement shown on the plot plan of your lot? Yes _____ No X

Names of Neighbors /

6. If the proposed project is an addition or alteration that would change the structural appearance of your residence, please attach the following information:

- A.) Plot plan indicating the location and dimension of the project.
- B.) Blueprints or working drawings indicating all necessary dimensions and elevations.
- C.) Color swatches/chips of the paint(s) and/or stain(s) to be used.
- D.) If available, a photograph or drawing of a similar completed project.

7. Project Schedule:

A.) The project will be done by: ☐ Homeowner
☐ Contractor(s) Name: Home Depot / Tuffdied
☒ Both

B.) Please indicate the approximate time needed to complete this project, subsequent to the committee approval 2-3 months.

C.) Please indicate any building permits that will be required _____

D.) All projects must be completed within 120 days of approval. Please notify Ardsley Management when project is completed via email at tlamartz@ardsleymgmt.com. We ask that you submit pictures of your completed project. Please note that the board of directors does have the option to request a walk through with you of completed project. If no response is given to Ardsley Management after project completion, and the project is not done as requested and approved, the board has the right to employ an attorney. At this point all attorney expenses, including those of the entire architectural process, will be on the homeowner. Initial GH

NOTE: A PLOT PLAN INDICATING THE LOCATION AND DIMENSIONS OF THE PROPOSED IMPROVEMENT MUST BE INCLUDED WITH ANY ARCHITECTURAL CHANGE REQUEST. THIS REQUEST FORM WILL BE RETURNED TO YOU WITHOUT APPROVAL IF A PLOT PLAN IS NOT INCLUDED. THE BOARD/ARCHITECTURAL COMMITTEE IS ALLOWED UP TO 30 DAYS FROM DATE OF RECEIPT TO APPROVE YOUR REQUEST.

NOTE: All submitted materials shall remain the property of the Association. You may wish to make a copy for your personal records.

I hereby acknowledge that I have read and understand the DECLARATIONS OF COVENANTS AND RESTRICTIONS.

Homeowner's Signature Maureen Harney Date: 04/08/2016

Print Name: MAUREEN HARNEY

Send Architectural Control Form To:
WEAVER WOODS NORTH Board of Directors
Architectural Control Committee Chairperson
3002 East 56th Street * Fax 317-259-0387 *phone 317-253-1401 ext. 237
Indianapolis, IN. 46220
tlamartz@ardsleymgmt.com

PLEASE DO NOT WRITE BELOW

Project approved by the Weaver Woods North Architectural Control Committee

Chairman

Print Name

Date

Completion approved by the Weaver Woods North Board of Directors

Print Name and position

Date



Board of Zoning Appeals Staff Report

Meeting Date: July 22, 2026

DEPARTMENT CONTACT: Grace Wiley	CASE NUMBER: VA-26-7
---	--------------------------------

PETITIONER: Jack Whitsitt	PROPERTY ADDRESS/LOCATION: 7727 Loma Ct
-------------------------------------	---

REQUEST: Consideration of two (2) Development Standards Variances, from Section 3.3.5.B.2a. of the City's Unified Development Ordinance (UDO) to allow a front setback of 90 feet, reduced from the required front setback of 100 feet; and from Section 3.3.5.B.2c. of the City's UDO to allow a rear setback of 20 feet, reduced from the required rear setback of 50 feet.

APPLICABLE REGULATIONS: Unified Development Ordinance (UDO)	EXISTING ZONING: I1 - Industrial	FISHERS 2040: Flex Employment Center/R+D
---	--	--

LOT SIZE: 0.83 Acres

LOCATION MAP



STAFF RECOMMENDATION

☐ Approve, with Condition
 ☐ Continue
 ☐ Deny
 ☒ No Recommendation

Meeting Date: July 22, 2026

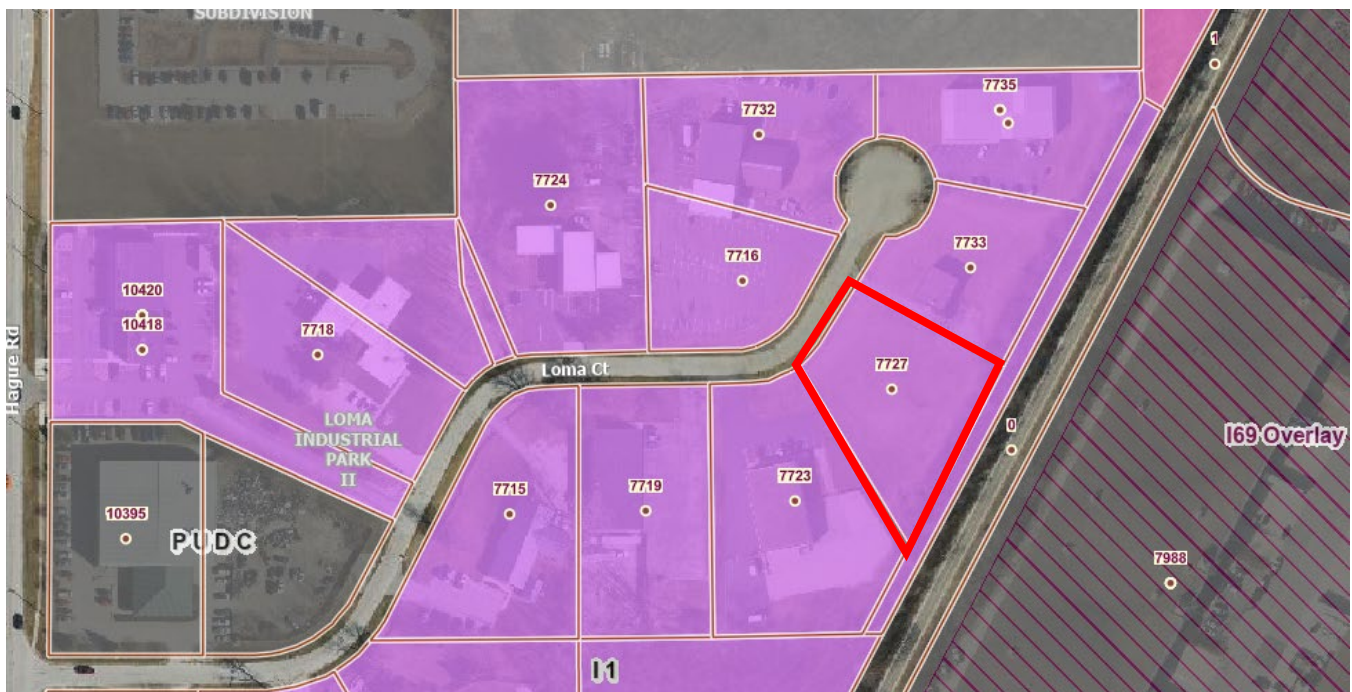
Case Number: VA-26-7

ZONING HISTORY:

This property is zoned I1 – Industrial and regulated by the City of Fishers Unified Development Ordinance (Ord. #07618F).

SURROUNDING LAND USE & ZONING:

North: I1 – Industrial
East: PUDC – Crosspoint (commercial); I-69 Overlay
South: I1 – Industrial
West: I1 – Industrial



FISHERS 2040 COMPREHENSIVE PLAN

The Fishers 2040 Plan identifies this area as Flex Employment Center/R+D.



Flex Employment Center / R+D

PURPOSE

A mix of employment uses that includes office, research and development (R&D) and components of light or flex-industrial uses. R&D includes basic and applied research, application of such knowledge to the production process, research facilities, clean manufacturing and support services in a coordinated and high quality, aesthetic environment and incubator facilities for start-ups and growing tech/research companies. Campus settings with coordinated buildings and pedestrian environments are strongly encouraged. Employment intensive uses which allow existing buildings to be converted to high tech office and makers space are also encouraged.

LAND USES

- Professional and business office
- Research and development centers
- Manufacturing and makers space
- Employment supporting commercial (small-scale restaurants, office supply and the like)
- Warehouse uses permitted for products made on-site

DENSITY/INTENSITY

- The maximum densities and intensities shall be limited by development standards. The UDO may add further standards on density and intensity and may utilize more than one zoning district to regulate this category.

DEVELOPMENT FEATURES

- Development shall protect and enhance natural environment.
- Connectivity to surrounding neighborhoods via active transportation is a priority.
- Buffering between residential uses where appropriate.
- Screened and landscape parking areas.
- Careful attention to traffic circulation and pedestrian connectivity both internally and externally.

EXAMPLES:



The Meyer Najem building in Fishers is an example of a modern office building that meets the needs of the twenty-first century employer.



The photo above is an example of the building scale and aesthetic that is envisioned in the Flex Employment category. Buildings are encouraged to use innovative materials and construction methods that allow for adaptation to changing needs.

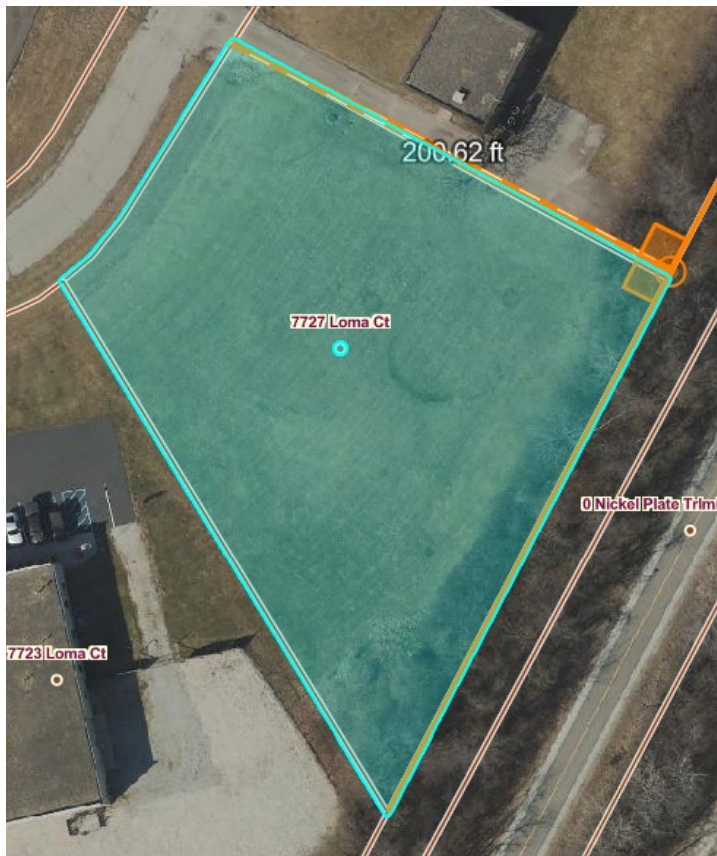
SUMMARY OF PUBLIC COMMENTS:

At the time of writing this Staff Report, no public comments were received.

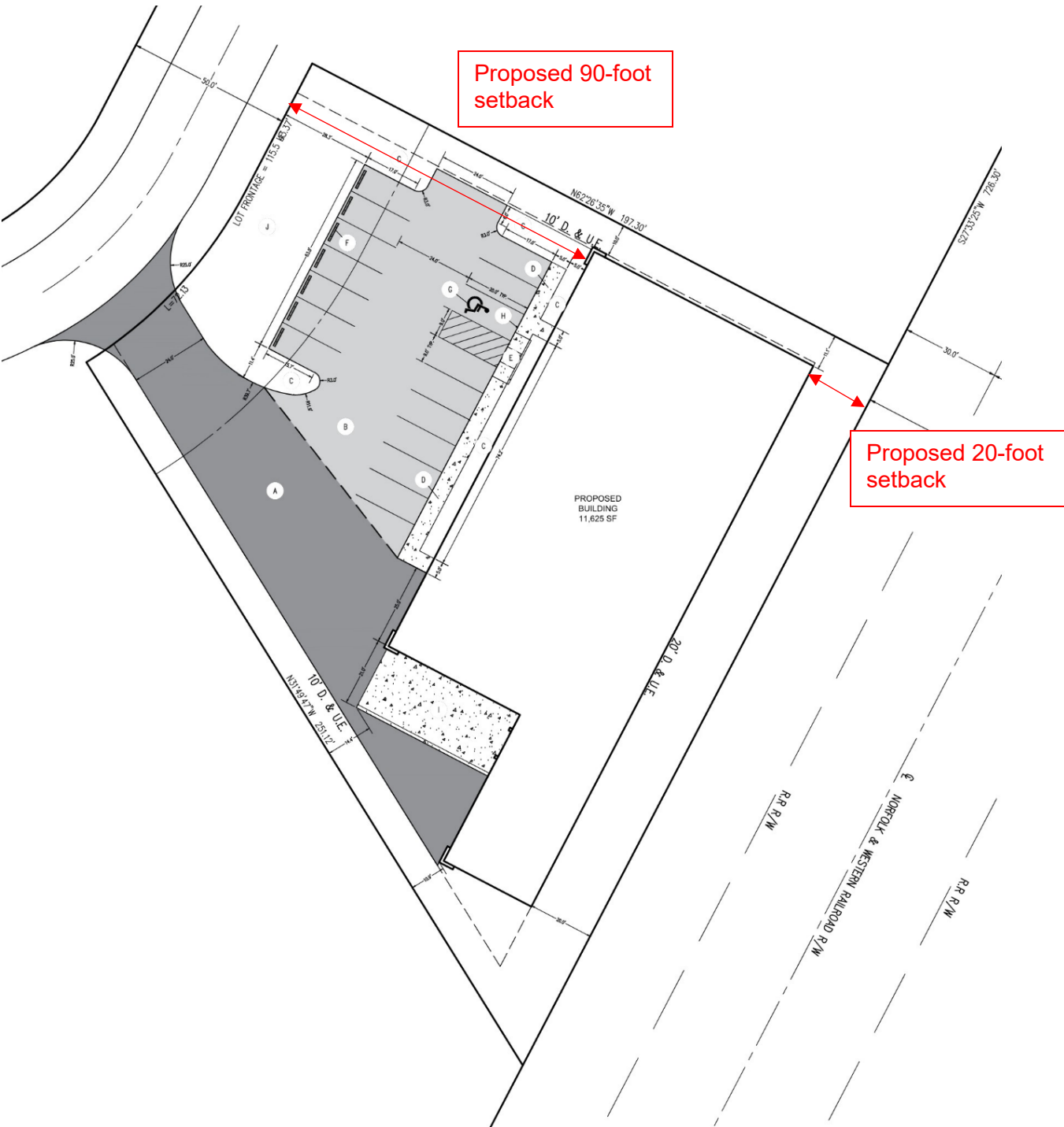
PETITION OVERVIEW:

The petitioner is requesting two (2) Development Standards Variances, from Section 3.3.5.B.2a. of the City's Unified Development Ordinance (UDO) to allow a front setback of 90 feet, reduced from the required front setback of 100 feet; and from Section 3.3.5.B.2c. of the City's UDO to allow a rear setback of 20 feet, reduced from the required rear setback of 50 feet.

The lot is approximately 200 feet deep, as shown below. The proposed site plan is shown on the next page, with the requested reduced setbacks shown. The proposed setbacks will not encroach into any easements.



Measurement showing 200-foot depth of 7727 Loma Ct



Proposed site plan.

DECISION CRITERIA:

Excerpt from UDO Sec. 10.2.24.E.

In acting on all Variance requests, the Board shall use decision criteria to approve or deny Variances consistent with the requirements of Indiana Code as set forth below:

2. Variances of Development Standards

- a. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.
- b. The use and value of the area adjacent to the property included in the Variance will not be affected in a substantially adverse manner.
- c. The strict application of the terms of the Ordinance will result in practical difficulties in the use of the property.

STAFF RECOMMENDATION:

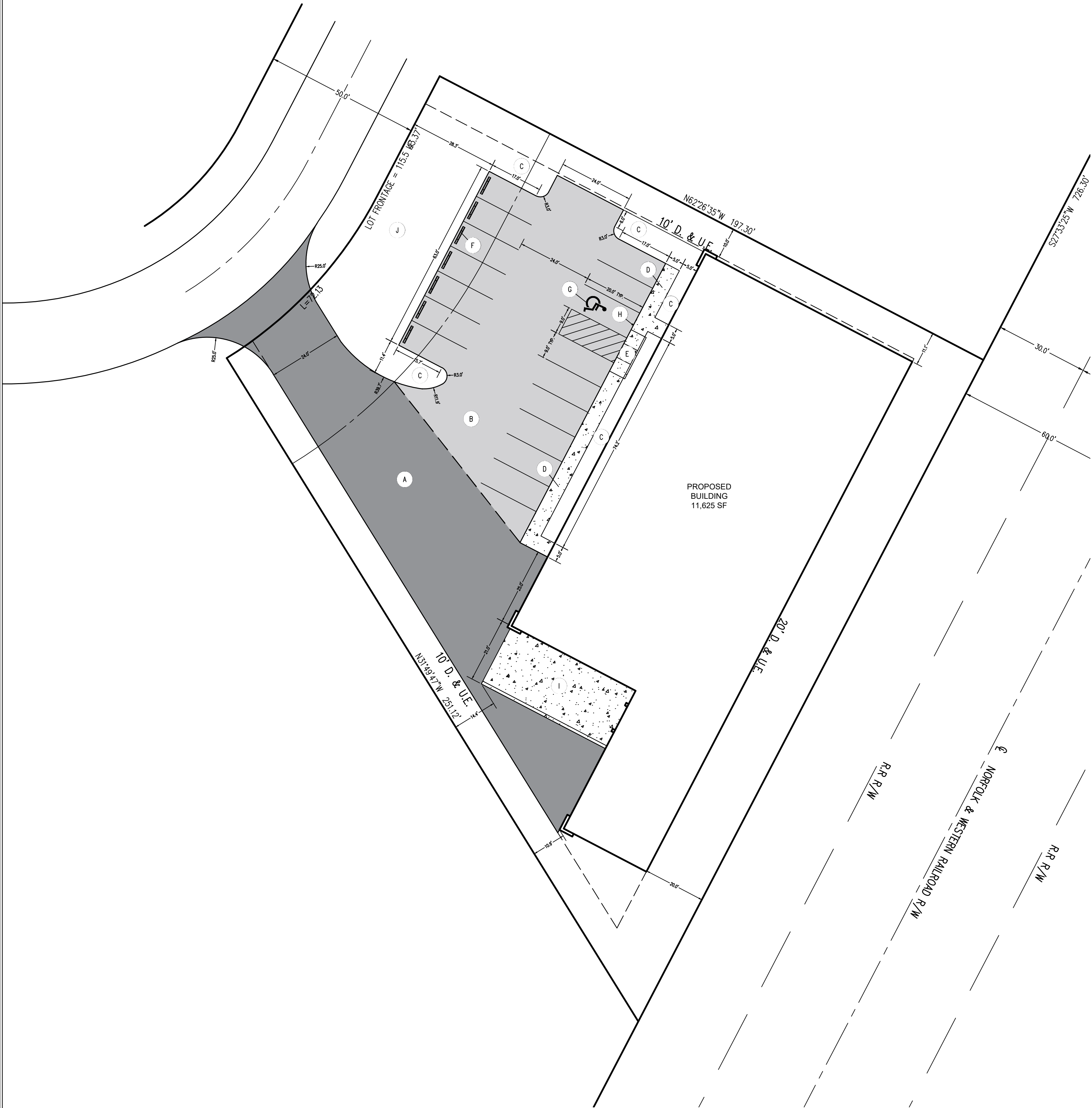
Staff has NO RECOMMENDATION to the BZA for this variance request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve, with Conditions ☐ Continue ☐ Deny ☒ No Recommendation



- 4
C804

5
C804

2
C804

1
C804

3
C804

7
C804

8
C804

9
C804

A

B

C
PROPOSED LANDSCAPE AREA
(REFER TO SHEET L101 FOR ADDITIONAL INFORMATION.)

D

E

F
PROPOSED CONCRETE WHEEL STOP
(CONTRACTOR MUST COORDINATE WITH OWNER ON FINAL LOCATION.)

G

H

I

J
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT

PROPOSED STANDARD DUTY ASPHALT PAVEMENT

PROPOSED CONCRETE SIDEWALK

PROPOSED INLINE ACCESSIBLE RAMP

PROPOSED CONCRETE WHEEL STOP
(CONTRACTOR MUST COORDINATE WITH OWNER ON FINAL LOCATION.)

PROPOSED ACCESSIBLE PARKING/SYMBOL

PROPOSED ADA PARKING SIGN

PROPOSED RECESSED LOADING DOCK

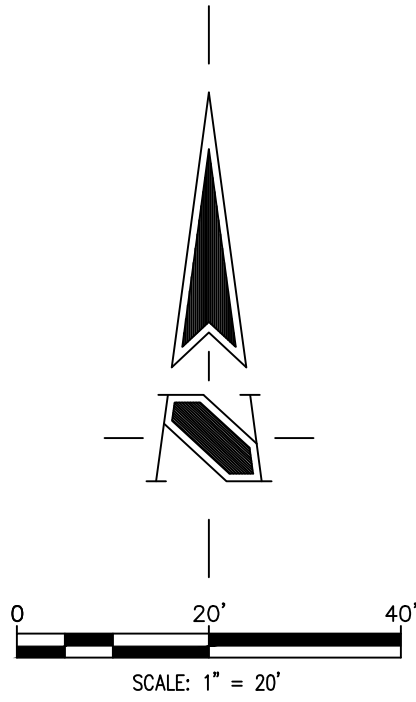
EXISTING DRAINAGE SWALE

FISHERS I-1 ZONING STANDARDS

1 Lot / Site Dimensions	
1a. Lot area (min)	n/a
1b. Lot width (min)	n/a
1c. Lot frontage (min)	150'
2 Building Setbacks	
2a. Front	100'
2b. Side interior lot line (min) ¹	0'
Side street (min) ¹	15'
2c. Rear ¹	50'
3 Parking Setbacks	
3a. Front (min)	10'
3b. Side lot line (min)	0'
3c. Side street (min)	10'
3d. Rear lot line (min)	5'
4 Height	
4a. Primary Structure (max)	42' / 3 stories
5. Other	
5a. Requires municipal water and sewer hookup	
5b. Impervious area of lot (max)	75%
Notes	
1. Additional buffer yard requirements may apply	

SITE CALCULATIONS

- LOT FRONTAGE = 115.5 LF
- BUILDING SETBACKS:
 - FRONT: 10'
 - SIDES: 10'
 - REAR: 20'
- PARKING SETBACKS:
 - FRONT: 28.3'
 - SIDES: 10'
 - REAR: N/A
- BUILDING HEIGHT: 23'
- NO MUNICIPAL SEWER HOOKUP AVAILABLE
- IMPERVIOUS AREA = 23,745 OUT OF 36,358 TOTAL AREA = 65.3% COVERAGE



ON-SITE SUPPLY

7727 LOMA COURT, FISHERS, IN 46038

DESIGN & BUILD CORPORATION
10029 E. 126TH STREET, FISHERS, IN 46038

DATE: 06/09/2026
DRAWN BY: EMC
SHEET TITLE:

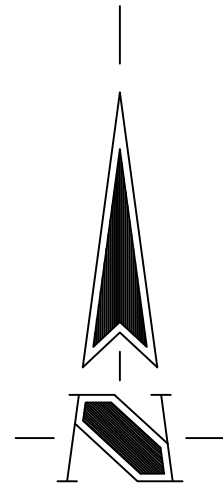
PROJECT NO.: 2621284
CHECKED BY: MRW

DRAWING FILE:
T:\26K\2621284\CAD\2621284_C101.DWG

XREF(S):

SHEET NO.:

C101



PLANT SCHEDULE

<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>QTY</u>	
<u>TREES</u>					
GIN AUT	Ginkgo biloba 'Autumn Gold' / Autumn Gold Ginkgo	2.5' Cal.		2	
TAX MIC	Taxodium distichum Mickelson / Shawnee Brave Bald Cypress	2.5' Cal.	B&B	2	
<u>SHRUBS</u>					
BUX GRG	Buxus x 'Green Gem' / Green Gem Boxwood	3 gal.	Pot	18	
JUN DAU	Juniperus chinensis Daub's Frosted / Daub's Frosted Juniper	3 gal.	Pot	5	
<u>GRASSES</u>					
CAL KAR	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	3 gal.	Pot	5	
PAN SHD	Panicum virgatum 'Shenandoah' / Shenandoah Switch Grass	3 gal.	Pot	10	
<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>	<u>QTY</u>
<u>SOD/SEED</u>					12,797 sf
TUR SOD	Turf Sod / Drought Tolerant Fescue Blend	sod			

PLANTING NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- ALL SHRUB PLANTING AREAS, GROUND COVER AND PERENNIAL BEDS TO BE COVERED WITH A 3" LAYER OF SHREDDED HARDWOOD BARK MULCH. MULCH SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SAWMILL OR LUMBERING OPERATION. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOOD STAKE INDICATING VARIETY AND SIZE OF TREE. ALL GROUND COVER AND PLANTING BED LINES SHALL BE MARKED WITH HIGHLY VISIBLE PAINT LINES WITH OCCASIONAL WOOD STAKES FOR REFERENCE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANT LOCATIONS ON THE SITE.
- NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO THE BID IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT ID. AT NURSERY OR CONTRACTOR'S OPERATIONS PRIOR TO MOVING TO THE JOB SITE. PLANTS MAY BE INSPECTED, APPROVED OR REJECTED ON THE JOB SITE BY LANDSCAPE ARCHITECT. ALL PLANTS SHALL MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, 2004 EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY LANDSCAPE ARCHITECT.
- ALL LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS/HER PORTION OF WORK.
- PEAT MOSS TO BE USED ON PROJECT SHALL BE DOMESTIC OR IMPORTED MATERIAL, CHOCOLATE BROWN IN COLOR AND COMPOSED OF PARTIALLY DECOMPOSED VEGETABLE MATERIAL. PEAT MOSS TO BE MILDLY ACIDIC IN CHARACTER AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IN WRITING PRIOR TO BID DATE OF ANY PLANTS HE/SHE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED ON PLANS.
- ALL LANDSCAPE PLANTINGS TO BE MAINTAINED BY CONTRACTOR FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, MULCHING, MOWING, AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS.
- CONTRACTOR TO SUBMIT UNIT PRICES FOR EVERY TYPE OF WORK AS REQUIRED BY LANDSCAPE ARCHITECT.
- BACK FILL FOR TREE PLANTING SHALL BE 75% APPROVED TOPSOIL AND 25% APPROVED PEAT MOSS. TOP LAYER OF BACK FILL SHALL BE 100% EXISTING TOPSOIL. A 5-10-5 ANALYSIS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO BACK FILL AT APPROVED RATES.
- FOR ALL PERENNIAL BEDS, SPREAD 2" OF ORGANIC MATTER OVER THE PLANTING BED AND WORK INTO THE TOP 4" OF PLANTING MIX OR TOPSOIL.

FISHERS PLANTING STANDARDS

TREE CANOPY COVERAGE REQUIREMENT: 25% OF IMPERVIOUS AREA
- TOTAL IMPERVIOUS AREA: 23,745 SF
- 25% = 5,936 SF OF CANOPY COVERAGE

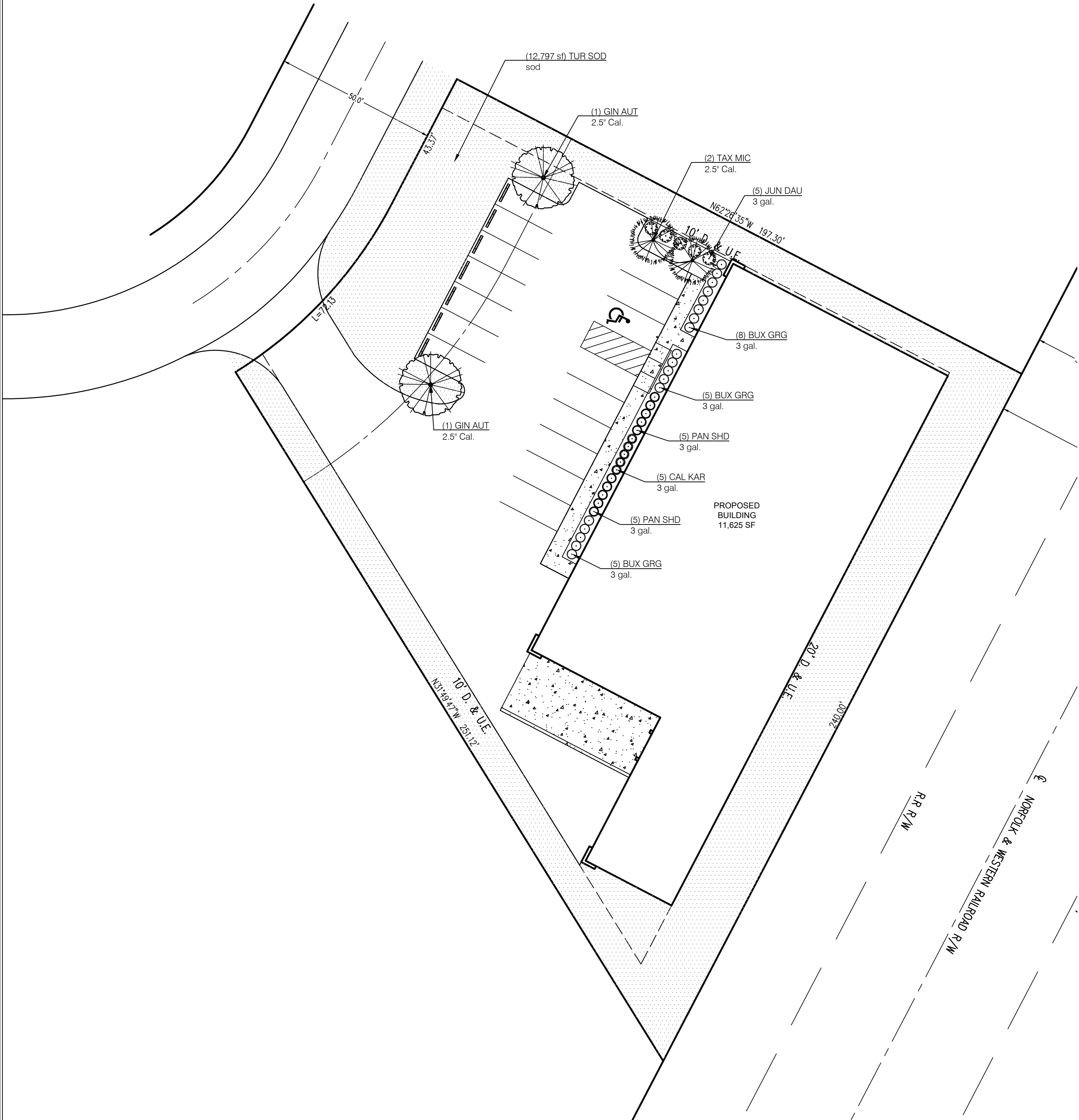
TOTAL CANOPY PROVIDED: 3400 SF
-(2) BALDYPRESS @ 200 SF EACH
-(2) SNKCD @ 1500 SF EACH
= 14.3% OF IMP. SURFACE

FOUNDATION PLANTING REQUIREMENTS: 1 SHRUB PER 10 LF OF BUILDING
- 520 LF OF BUILDING = 52 SHRUBS REQUIRED
- 30% OF SHRUB REQUIREMENT CAN BE ORNAMENTAL GRASSES
- SHRUBS/GRASSES PROVIDED: 15 GRASSES, 23 SHRUBS
= 38 FOUNDATION PLANTS

STREET TREE REQUIREMENTS: 1 CANOPY TREE PER LOT FRONTAGE
- NONE PROVIDED DUE TO DRAINAGE SWALE ALONG FRONTAGE

BUFFERYARD: NONE REQUIRED

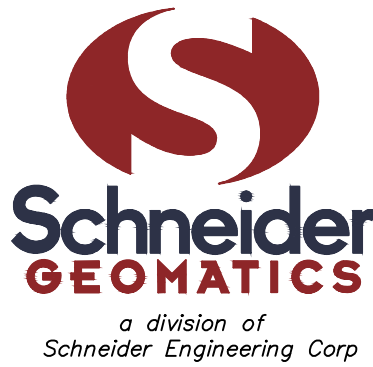
PARKING LOT LANDSCAPE REQUIREMENTS:
- PERIMETER PLANTINGS ALONG EDGE FACING STREET
 - 30 SHRUBS PER 100 LF (19 REQUIRED FOR 63 LF OF STREET FRONTAGE)
 - 2 TREES PER 100 LF (1 REQUIRED FOR 63 LF OF STREET FRONTAGE
 - NO PERIMETER PLANTINGS PROVIDED DUE TO DRAINAGE SWALE AND EASEMENTS
 - 1 INTERIOR LANDSCAPE ISLAND PER 10 PARKING SPACES, 1 CANOPY TREE PER ISLAND
 - 16 SPACES = 2 ISLANDS REQUIRED
 - 2 TERMINAL ISLANDS PROVIDED WITH 1 CANOPY TREE EACH
 - NO LESS THAN 2 CANOPY TREES PER 2,000 SF OF PARKING AREA
 - 5,598 SF OF PARKING AREA = 3 TREES REQUIRED
 - 4 PERIMETER TREES PROVIDED



REVISIONS:

DATE:

SCHNEIDER GEOMATICS (2025)



LAWRENCE OFFICE
8901 OTIS AVENUE
SUITE 100
INDIANAPOLIS, IN 47216
TELEPHONE: (317)826-7101
WWW.SCHNEIDERGEOMATICS.COM

ON-SITE SUPPLY

7727 LOMA COURT, FISHERS, IN 46038

DESIGN & BUILD CORPORATION
10029 E. 126TH STREET, FISHERS, IN 46038

DATE: 06/09/2026	PROJECT NO.: 2621284
DRAWN BY: EMC	CHECKED BY: MRW

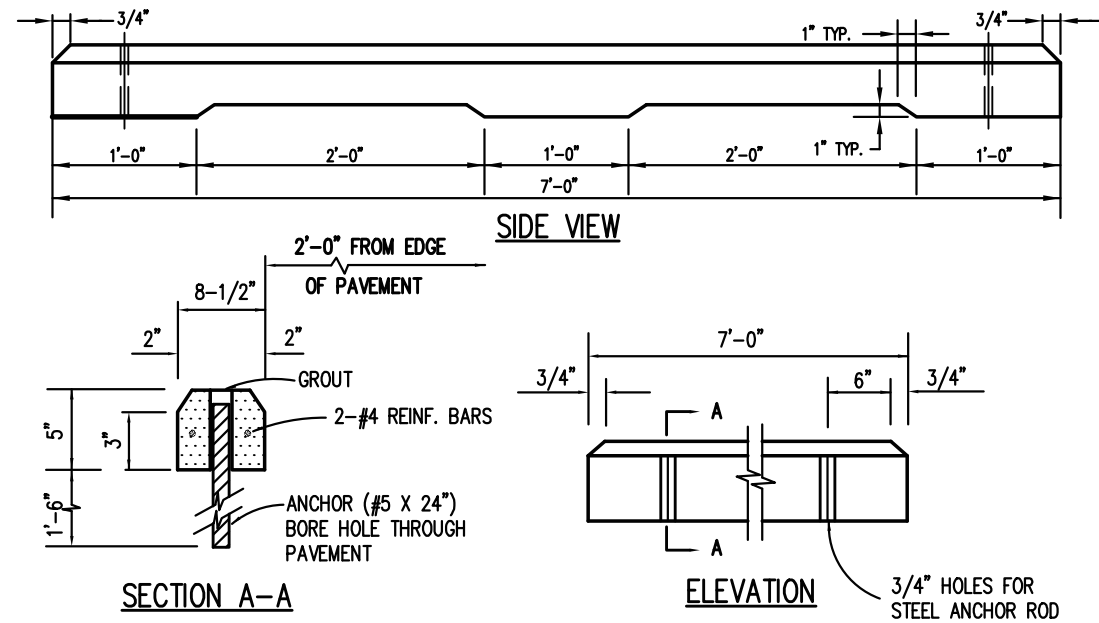
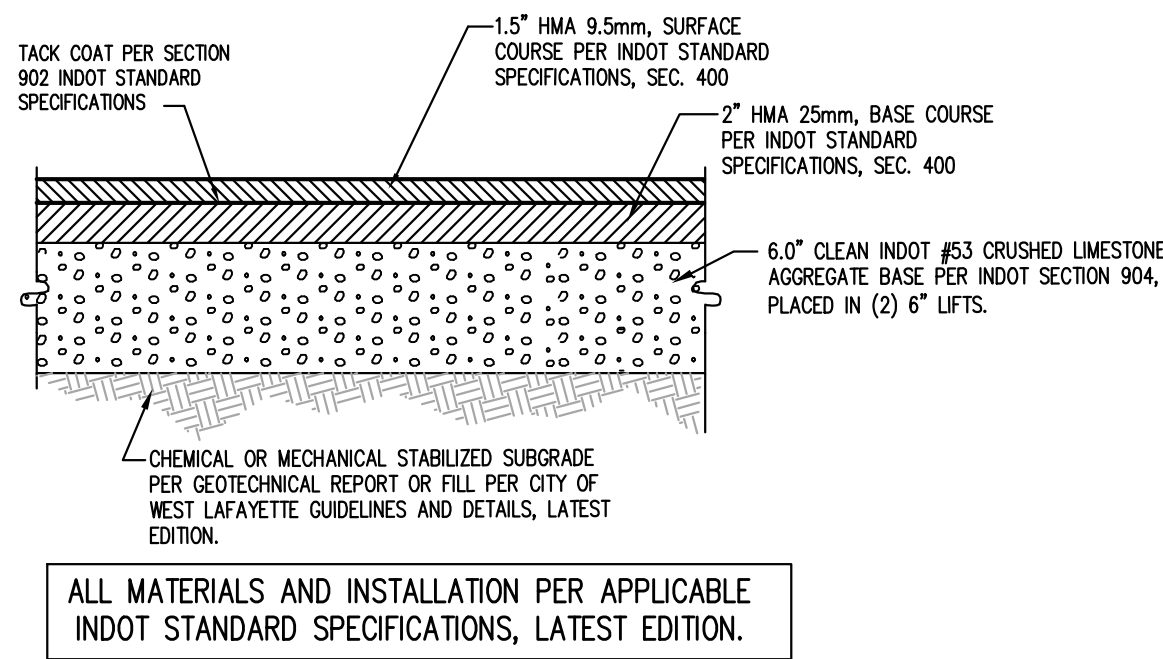
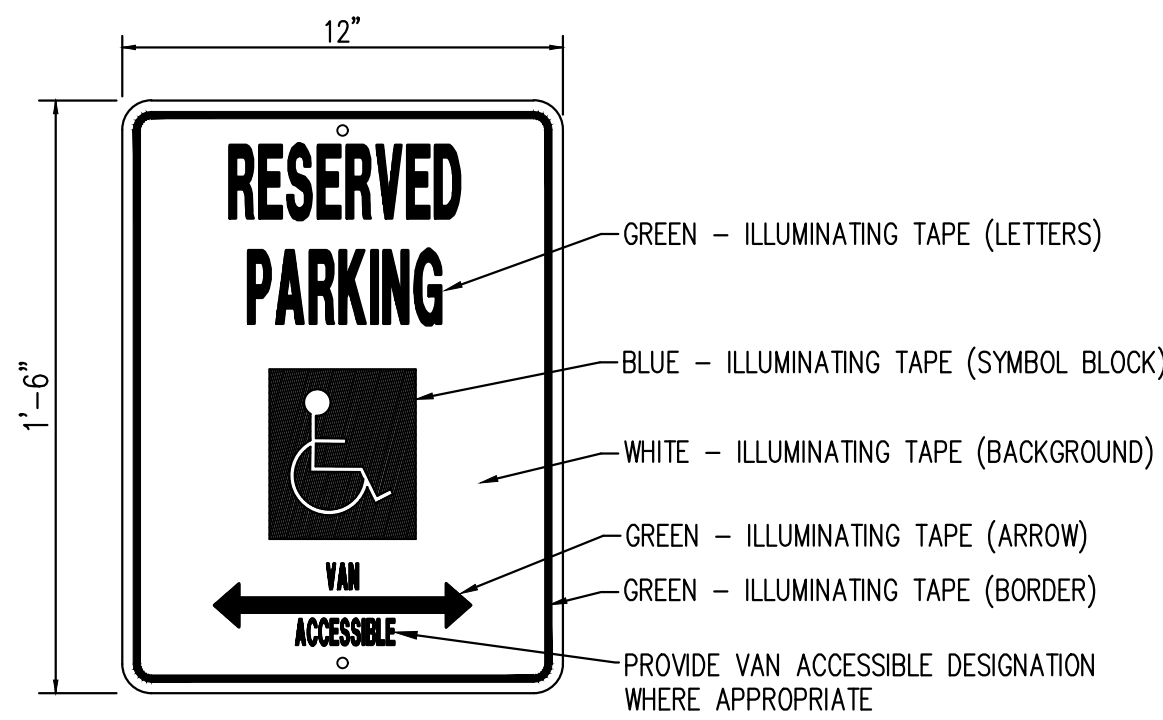
SHEET TITLE:
LANDSCAPE PLAN

DRAWING FILE:
T:\26X\2621284\CAD\2621284_L101.DWG

XREF(S):

SHEET NO.:

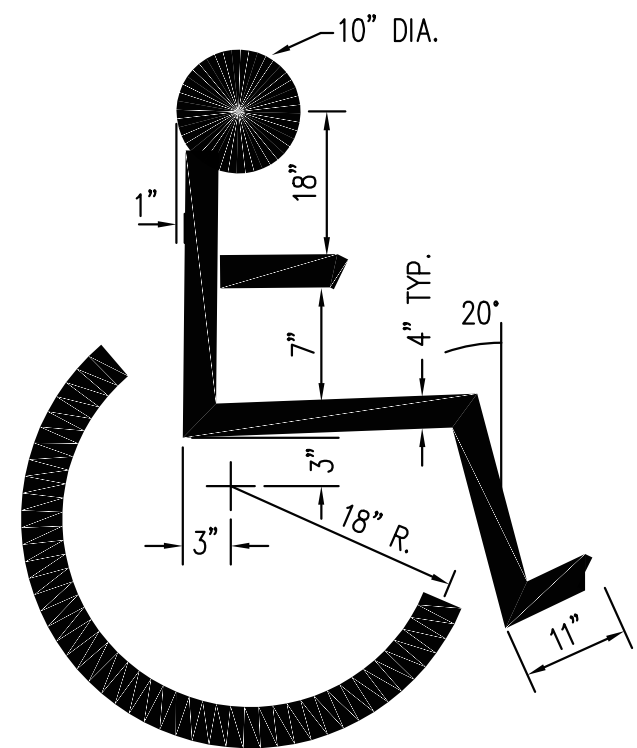
L101



8 ADA SIGNAGE DETAIL
NTS 015526-01

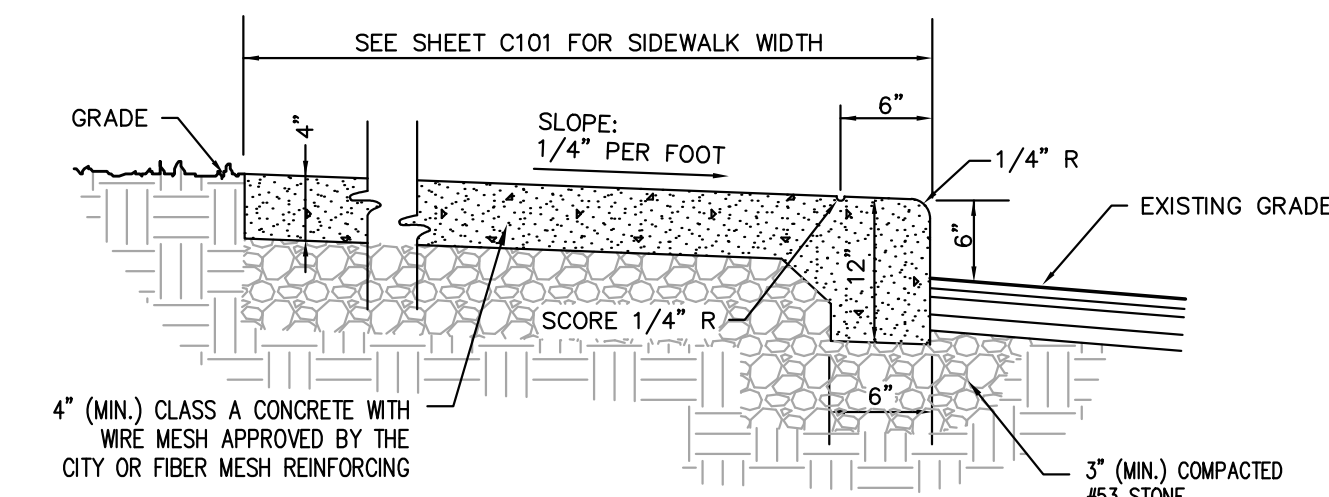
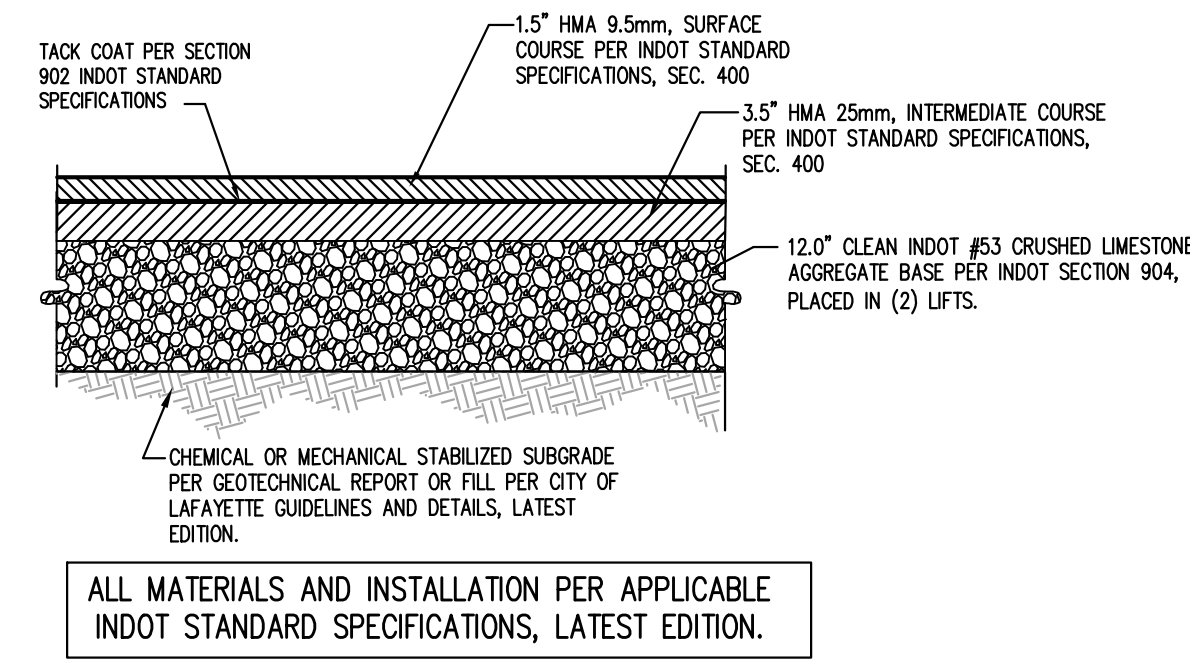
5 STANDARD DUTY ASPHALT PAVING
NTS 321216-06

3 PRE-CAST CONCRETE WHEEL STOP
NTS 321713.19-01



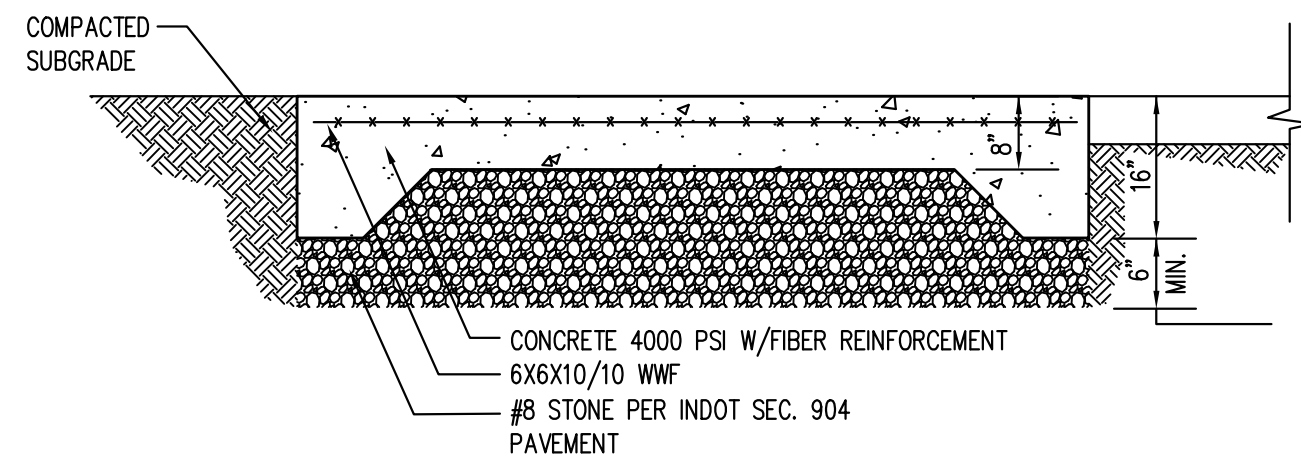
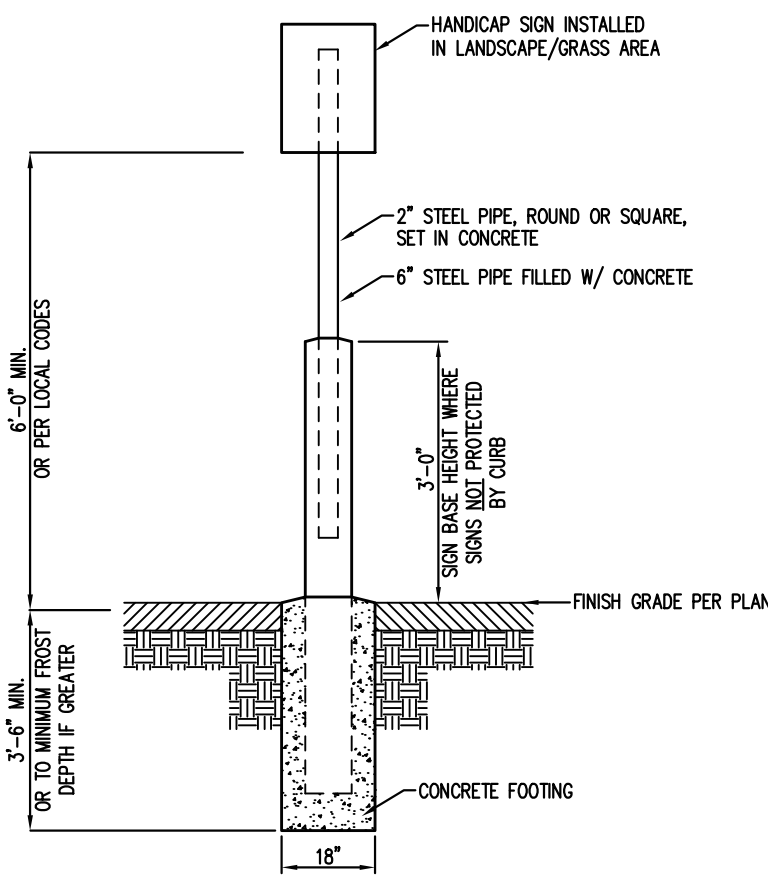
NOTE: ALL ACCESSIBLE PARKING STRIPING TO BE 4" AND PAINTED BLUE

7 PAINTED ADA ACCESSIBLE SYMBOL DETAIL
NTS 321723.13-01



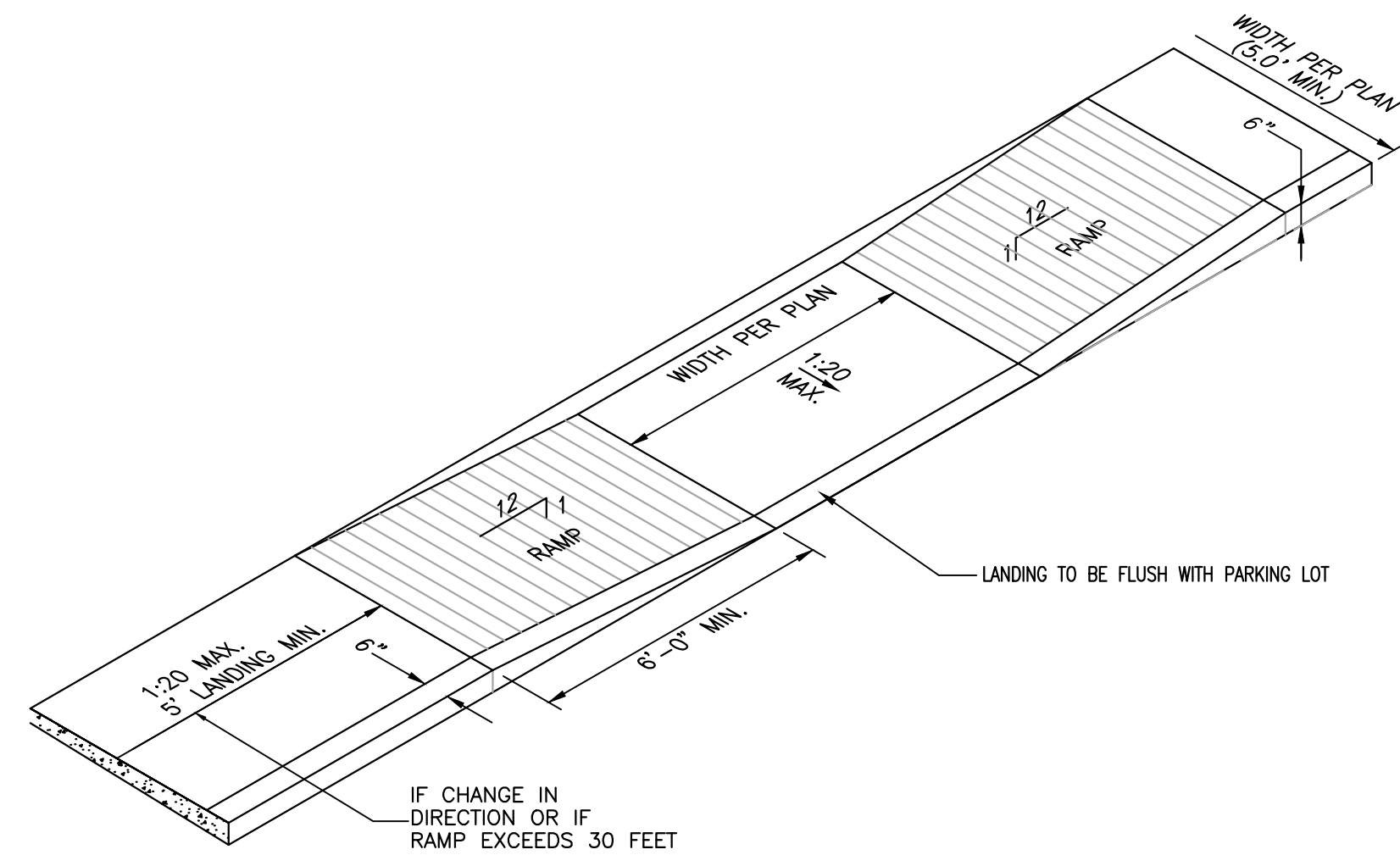
4 HEAVY DUTY ASPHALT PAVEMENT SECTION
NTS 321216-05

2 COMBINED CURB AND SIDEWALK
NTS 321623-05



● PREPARED SUBGRADE PER INDOT No. 201

6 HEAVY DUTY CONCRETE
NTS 321633-01



1 INLINE ACCESSIBLE RAMP
NTS 321613-01

REVISIONS:

DATE:

SCHNEIDER GEOMATICS (2025)



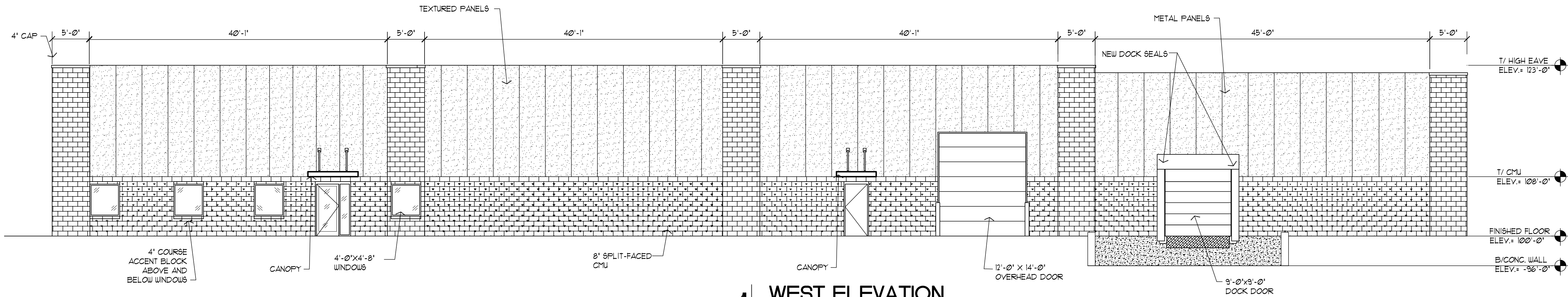
LAWRENCE OFFICE
8901 OTIS AVENUE
SUITE 100
INDIANAPOLIS, IN 47216
TELEPHONE: (317)826-7101
WWW.SCHNEIDERGEOMATICS.COM

ON-SITE SUPPLY

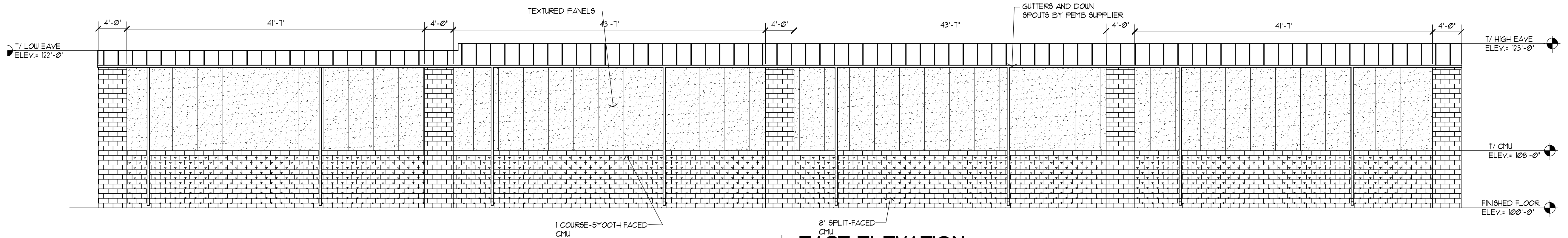
7727 LOMA COURT, FISHERS, IN 46038

DESIGN & BUILD CORPORATION
10029 E. 126TH STREET, FISHERS, IN 46038

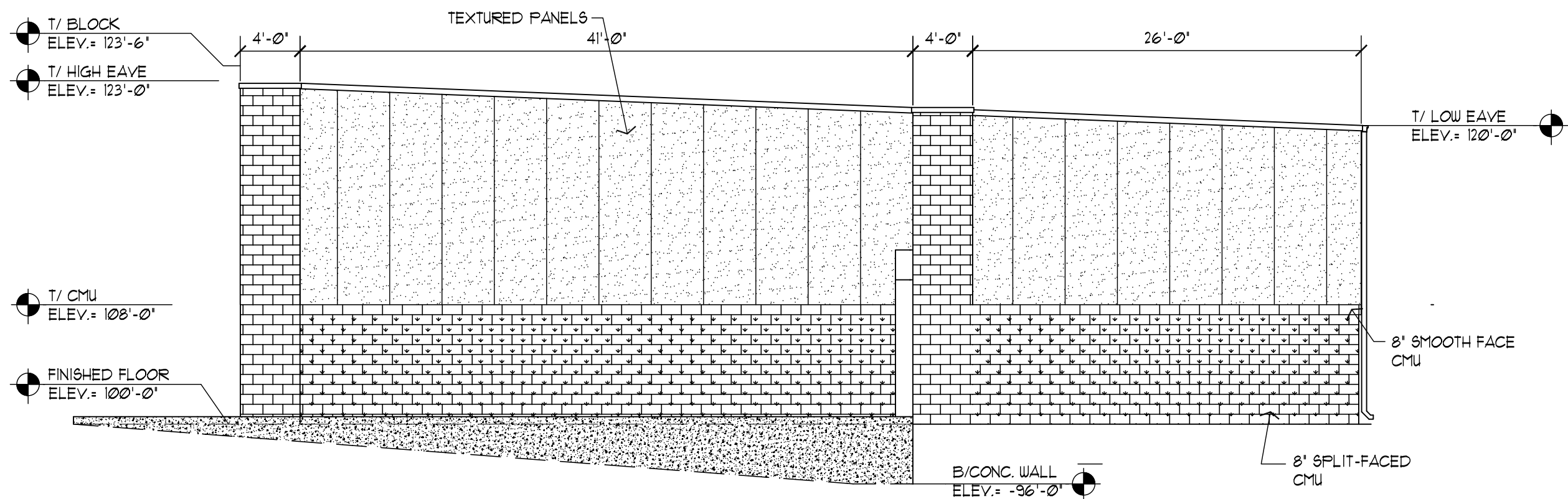
DATE: 06/09/2026	PROJECT NO.: 2621284
DRAWN BY: EMC	CHECKED BY: MRW
SHEET TITLE:	
DRAWING FILE: T:\WORK\2621284\CAD\2621284_C804.DWG	
XREF(S):	
SHEET NO.: C804	



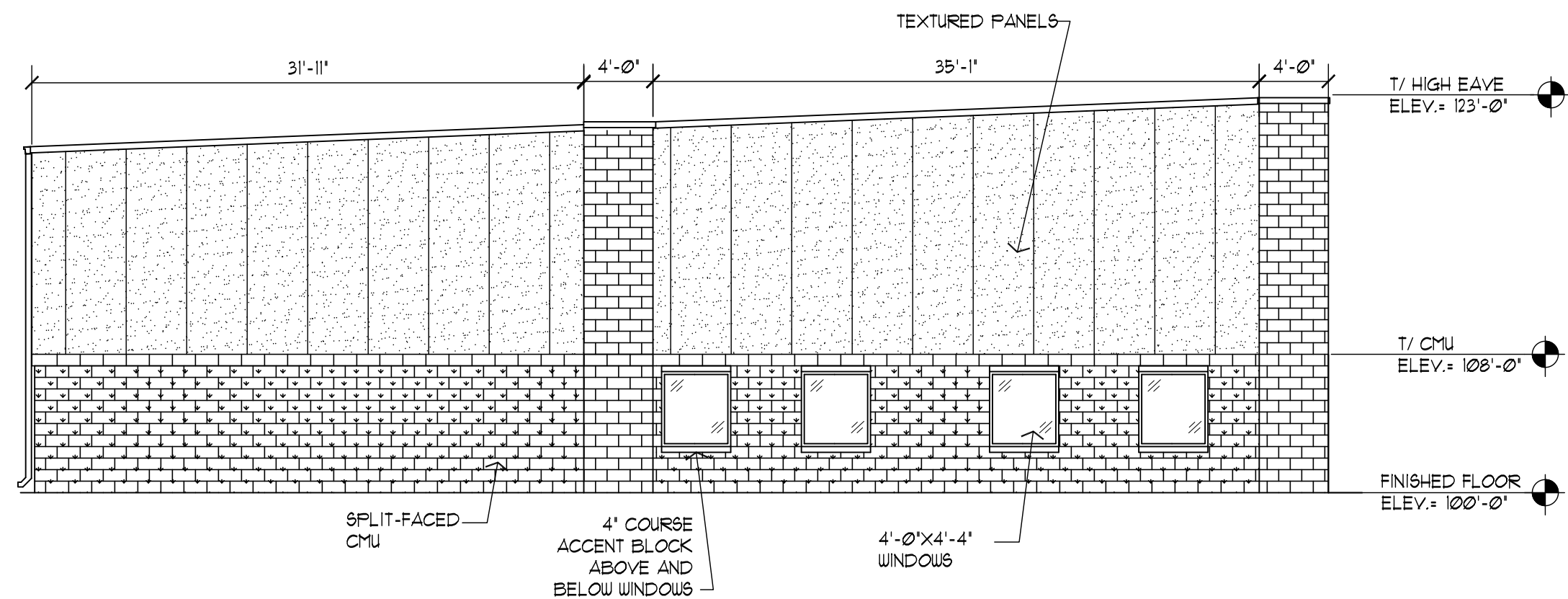
1 WEST ELEVATION



2 EAST ELEVATION



3 SOUTH ELEVATION



4 NORTH ELEVATION

peterSON ARCHITECTURE

298 south 10th street
suite 500
noblesville in 46060
p 317.770.9714
f 317.770.9718
studio@peterSONarchitecture.com

NEW CONSTRUCTION
ON SITE SUPPLY

FISHERS, INDIANA

DESIGN & BUILD CORP.

CLIENT REVIEW
05/07/2026

REVISIONS:		
1	REVISION DATE	----
2	REVISION DATE	----
3	REVISION DATE	----
4	REVISION DATE	----
5	REVISION DATE	----

DRAWN BY: B. HORMANN
CHECKED BY: D. PETERSON
PROJECT NUMBER: 25-00012

EXTERIOR ELEVATIONS

A201

THESE DRAWINGS ARE GIVEN IN CONFIDENCE
AND SHALL BE USED ONLY IN PURSUANT TO THE
AGREEMENT WITH
PETERSON ARCHITECTURE, P.C.
NO OTHER USE OR DUPLICATION MAY BE MADE
WITHOUT THE PRIOR WRITTEN CONSENT OF
PETERSON ARCHITECTURE, P.C.
ALL OTHER COPYRIGHT AND COMMON LAW
RIGHTS ARE HEREBY SPECIFICALLY RESERVED.

Development Standards Variance Decision Criteria – Findings of Fact
7727 Loma Ct., Fishers, IN
Case #VA-26-7

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community.

The requested reductions to the front building setback (100ft to 90ft) and rear building setback (50ft to 20ft) will not adversely affect the public health, safety, or general welfare. The ten foot reduction to the front setback still maintains a substantial setback from the roadway and fits in with the surrounding industrial characteristics of Loma Court.

The reduced rear setback is appropriate because the property is bordered by a Sand Key Properties, LLC easement and the Nickel Plate Trail. These areas provide a permanent open buffer that minimizes negative impacts on adjacent properties. The proposed setbacks will not create safety concerns or adversely affect the industrial neighboring properties.

2. The use and value of the area adjacent to the property included in the Variance will not be affected in a substantially adverse manner.

The requested setback reductions will not adversely affect the use or value of adjacent properties. As the last undeveloped lot on Loma Court, the proposed development on Lot 7 will remain in line with the industrial nature of Loma Court. The modest reduction in the front setback is consistent with the surrounding industrial development area. At the southeast portion of the property, an existing easement and the Nickel Plate Trail provide a buffer between the proposed building and neighboring properties, minimizing potential impacts. As a result, the requested variances will not negatively affect the character, use, or value of the surrounding area.

3. The strict application of the terms of the Ordinance will result in practical difficulties in the use of the property.

Strict application of the required setbacks would create practical difficulties by unnecessarily limiting the buildable area of the last undeveloped lot on Loma Court. The reduced front setback and rear setback are justified by the site's unique conditions, including the existing easement and Nickel Plate Trail, which limit the usable area while providing separation from neighboring properties. The requested variances allow for reasonable development of the property without adversely affecting surrounding properties or the public interest.

Narrative Statement
Variance of Development Standards – Front & Rear Setbacks
7727 Loma Ct., Fishers, IN

Applicant requests approval of both front and rear building setback variances to allow construction of an industrial building on the last undeveloped lot within Loma Court Industrial Park. The proposed use for Applicant's industrial business, On-Site Supply, is consistent with the surrounding properties and will complete the existing development of the area.

The requested setback reductions are both modest and necessary due to practical difficulties created by the site's unique layout, including an existing easement and the Nickel Plate Trail. The proposed development will not interfere with the easement or use of the Nickel Plate Trail. The front setback variance reduces the required setback from 100 feet to 90 feet, and the rear setback variance reduces the required setback from 50 feet to 20 feet. Approval of the variances will allow reasonable use of the property while maintaining the character and established industrial uses within the park.

LOT NUMBER SEVEN (7) IN LOMA INDUSTRIAL PARK II, A SUBDIVISION IN HAMILTON COUNTY, INDIANA, AS PER PLAT THEREOF RECORDED IN PLAT BOOK 12, PAGES 81-82, IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA.

DULY ENTERED FOR TAXATION
Subject to final acceptance of transfer
1st day of April 2024 - JAT
Robin M. Miller Auditor of Hamilton County
Parcel # 14-14-12-00-009.000

2024011110 WD \$25.00
04/01/2024 02:59:15PM 4 PGS
Trini Beaver
Hamilton County Recorder IN
Recorded as Presented



TGR

SPECIAL WARRANTY DEED

THIS INDENTURE WITNESSETH, that MS Performance LLC, an Indiana limited liability company ("Grantor"), CONVEYS AND WARRANTS to LYRLYR LLC, an Indiana limited liability company ("Grantee"), for the sum of Ten Dollars (\$10.00), and other valuable consideration, the receipt of which is hereby acknowledged, certain real estate located in Hamilton County, in the State of Indiana, more particularly described in Exhibit A, attached hereto and by reference made a part hereof (the "Real Estate").

Subject to: (a) the lien of current real estate taxes and other assessments, including without limitation drainage assessments, not yet due and payable; (b) any real estate taxes and assessments payable hereafter; and (c) covenants, agreements, easements, restrictions and rights of way of record.

THE WARRANTIES OF GRANTOR HEREUNDER ARE LIMITED TO ITS ACTS AND DEEDS, AND THOSE CLAIMING BY, THROUGH OR UNDER GRANTOR, AND NOT OTHERWISE.

As further consideration, the undersigned persons executing this deed on behalf of Grantor represent and certify, for the purpose of inducing Grantee to accept this Special Warranty Deed, that: (1) he/she each has been fully empowered to execute, acknowledge and deliver this deed; (2) Grantor has full legal capacity to convey the real estate described herein and conveyed hereby; and (3) all necessary individual or entity action for the making of this conveyance has been taken and done.

Signature Page(s) Follows.

IN WITNESS WHEREOF, Grantor has caused the foregoing to be executed this 29
day of March, 2024.

GRANTOR:

MS Performance LLC,
an Indiana limited liability company

By: [Signature]

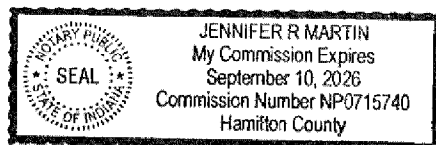
Printed: Max Siegel

Its: Sole Member

STATE OF IN)
) SS:
COUNTY OF Marion)

Before me, a Notary Public in and for said County and State, personally appeared Max Siegel, who being first duly sworn by me upon his/her oath, acknowledged execution of the foregoing, stated that he/she is the Sole member for MS Performance LLC, an Indiana limited liability company, that he/she is duly authorized to execute the foregoing on its behalf, and who having been duly sworn stated that the representations therein are true.

WITNESS MY HAND and Notarial Seal this 28 day of March, 2024.



[Signature]
Notary Public

Tax Parcel Numbers:

14-14-12-00-02-009.000

Address of Transferred Property:

0 Loma Court, Fishers, IN 46038

Grantee's Address for Mailing of Tax Statements and Recorded Deed:

0 Loma Court
Fishers IN 46038

THIS INSTRUMENT PREPARED BY:
Patrick M. Rooney, Attorney at Law
1638 Shelby St, Suite 101
Indianapolis, Indiana 46203
pmrooney1@gmail.com; 317.445.9956

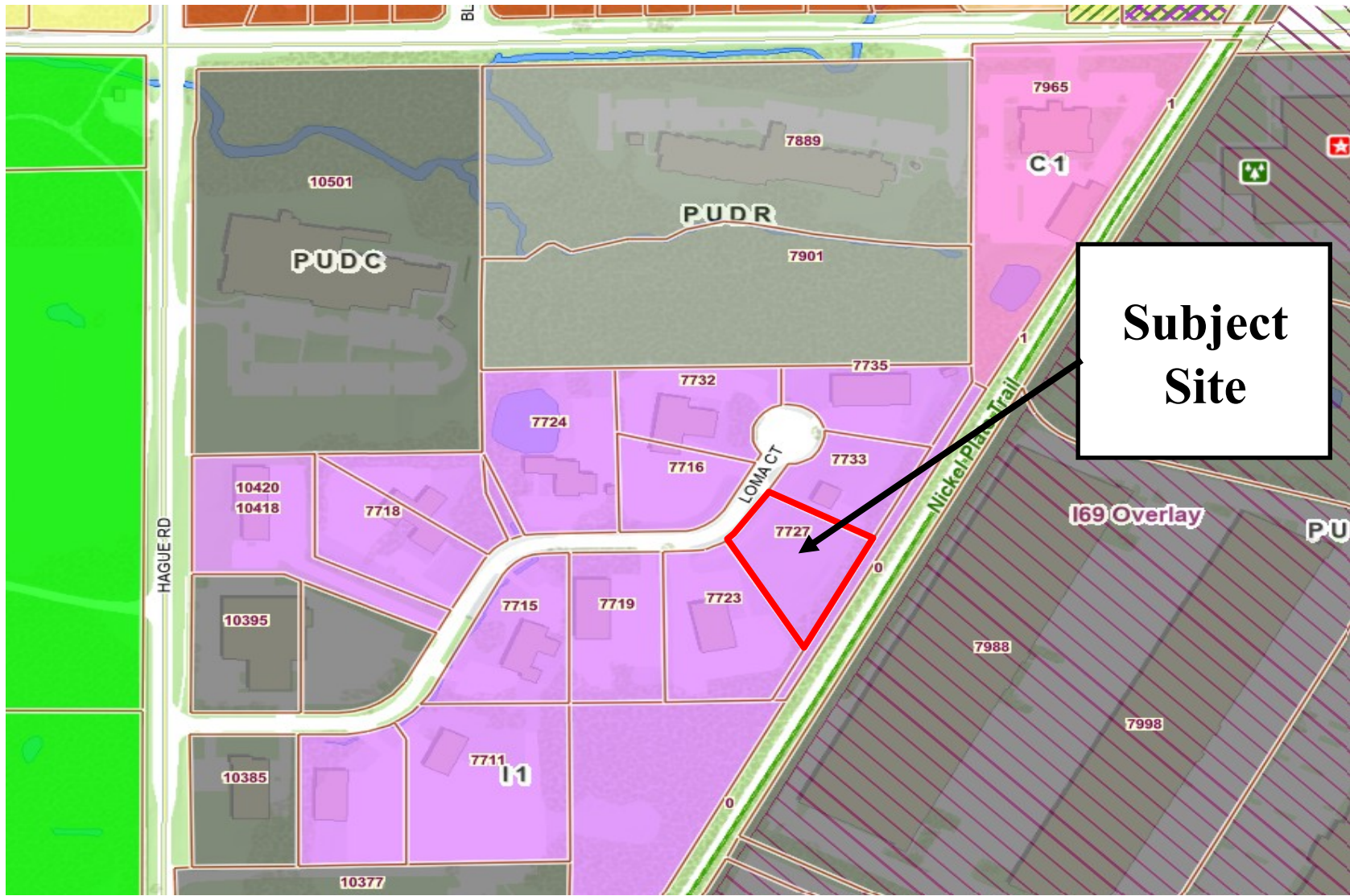
I affirm under penalties for perjury that
I have taken reasonable care to redact
each social security number in this
document, unless required by law.
/s/ Patrick M. Rooney

Exhibit A

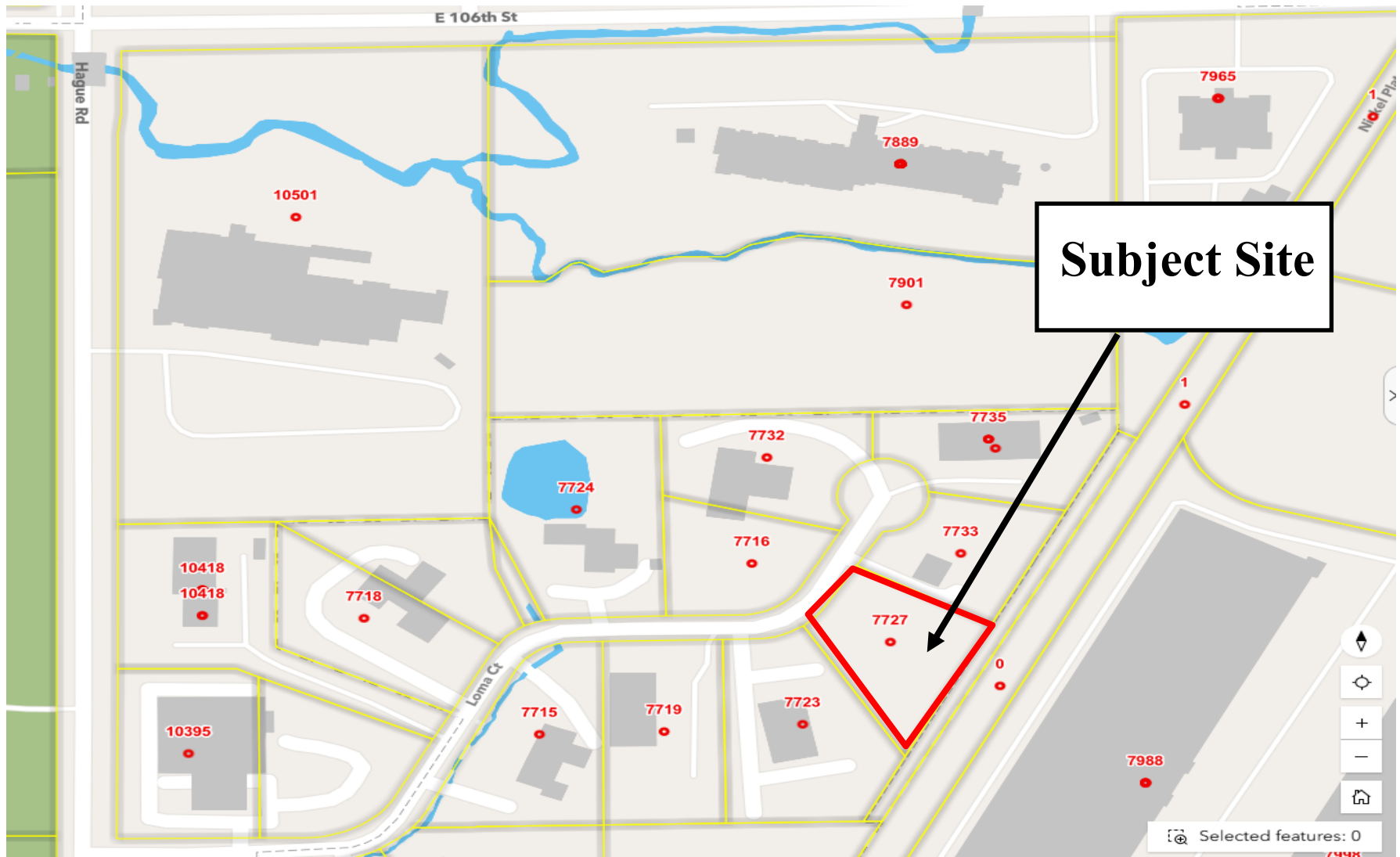
Legal Description of Real Estate

Lot number Seven (7) in Loma Industrial Park II, a subdivision in Hamilton County, Indiana, as per plat thereof recorded in plat Book 12, Pages 81- 82, in the Office of the Recorder of Hamilton County, Indiana.

Lot 7 Loma II Industrial Park Zoning Map



Lot 7 Loma II Industrial Park Vicinity Map



PROPERTY OWNER AUTHORIZATION AND CONSENT

Property Address: 7727 Loma Ct., Fishers, IN 46038

Parcel Number: 14-14-12-00-02-009.000

I, John A. Gallagher, Member of LYRLYR, LLC ("Owner"), being the owner of the above-referenced property, hereby authorize and appoint **Jack Whitsitt and Church Church Hittle + Antrim** (collectively, "Authorized Representative") to act on the entity's behalf in connection with the preparation, filing, processing, and presentation of any application, petition, variance request, zoning approval, development approval, or related land use matter concerning the above-referenced property before the applicable governmental authority.

I expressly consent to the filing of such variance applications and authorize Authorized Representative to communicate with governmental staff, submit documents and exhibits, attend meetings and hearings, and otherwise take actions reasonably necessary to pursue the requested approvals.

This Authorization and Consent shall remain effective until revoked in writing by the Owner.

[Signature Page Follows]

IN WITNESS WHEREOF, Owner has caused this Property Owner Authorization and Consent to be executed this 1st day of June, 2026.

OWNER:

LYRLYR, LLC

By: John A. Gallagher

Name: John A. Gallagher

Title: Member

STATE OF Indiana)
COUNTY OF Hamilton) SS:

Before me, a Notary Public in and for said County and State, personally appeared John Gallagher, Member of LYRLYR, LLC, who acknowledged execution of the foregoing Property Owner Authorization and Consent for and on behalf of such limited liability company.

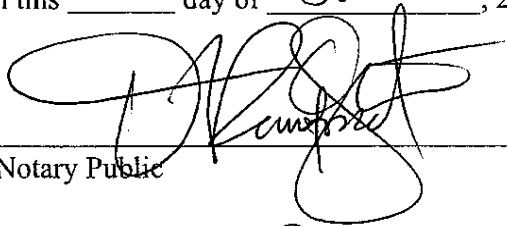
WITNESS, my hand and Notarial Seal this 1st day of June, 2026.

My Commission Number/Expiration:

10th Dec / 2027

My County of Residence:

Monroe



Notary Public

RANSFORD OSEI

Printed Name

RANSFORD OSEI
NOTARY PUBLIC - SEAL
STATE OF INDIANA
COMMISSION NUMBER NP0724022
MY COMMISSION EXPIRES DEC 10, 2027

Meeting Date: July 22, 2026

Case Number: SE-26-3

ZONING HISTORY:

The property is zoned R5, regulated by the City of Fishers Unified Development Ordinance (Ord. #07618F).

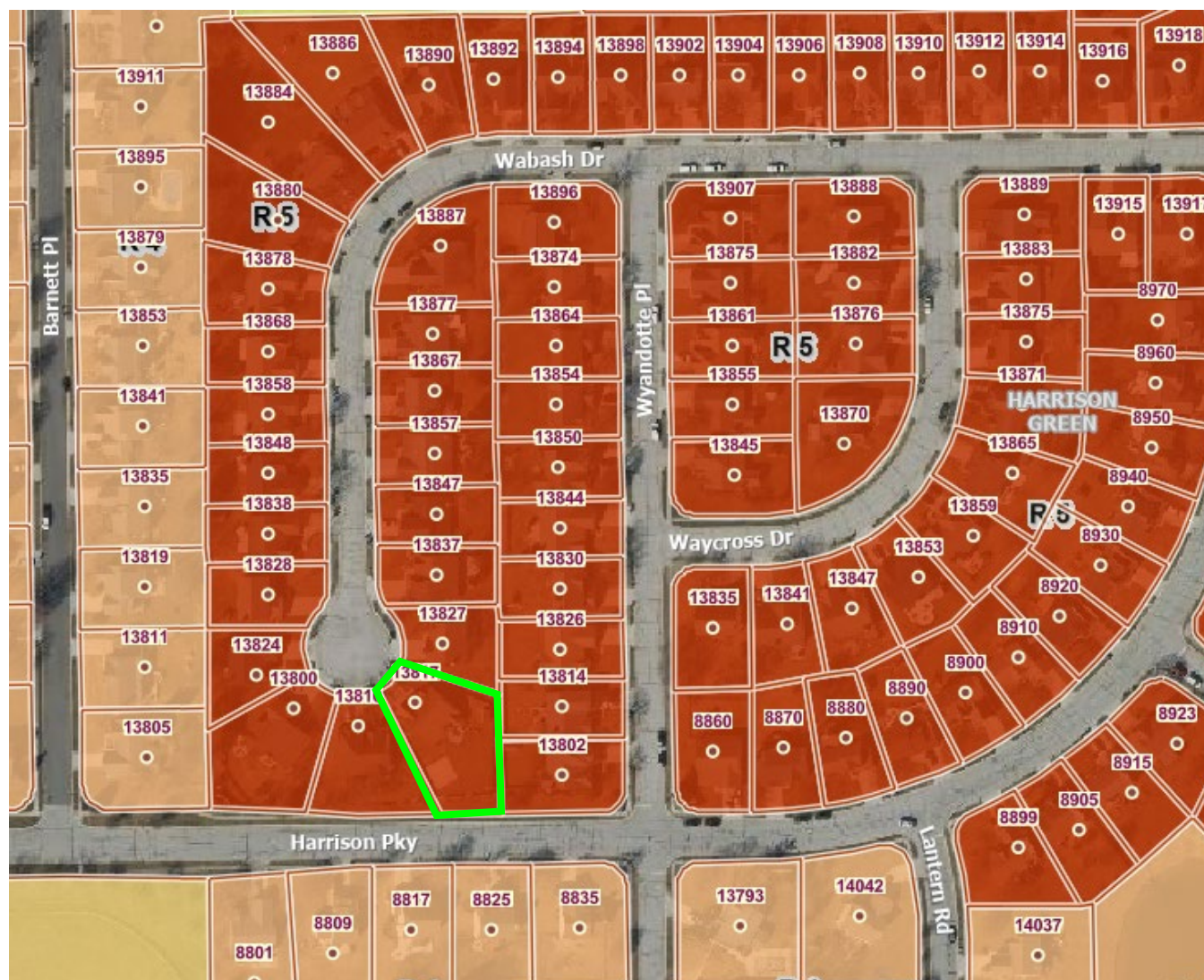
SURROUNDING LAND USE & ZONING:

North: R5 – Single-Family Residential

East: R5 – Single-Family Residential

South: R4 – Single-Family Residential

West: R5 – Single-Family Residential

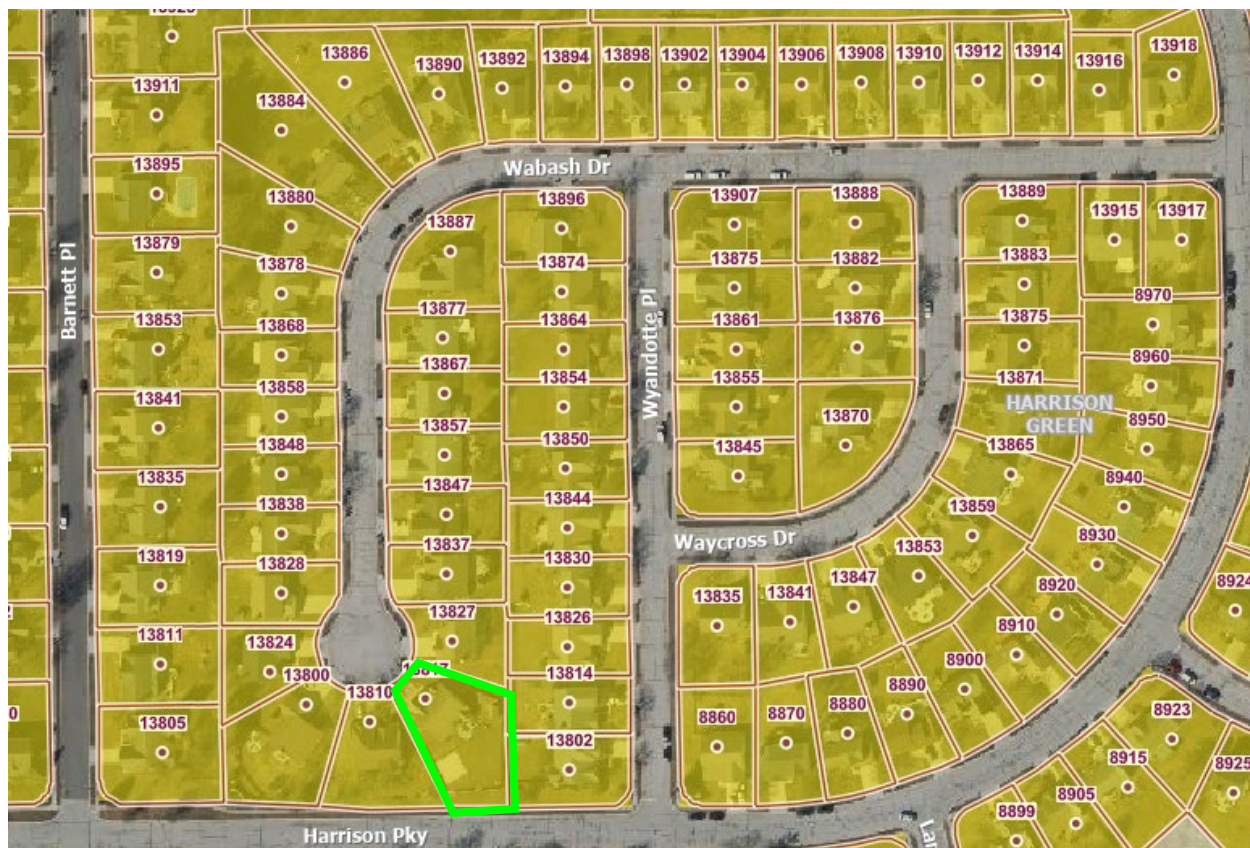


Meeting Date: July 22, 2026

Case Number: SE-26-3

FISHERS 2040 COMPREHENSIVE PLAN

The Fishers 2040 Plan identifies this area as Suburban Residential.



Suburban Residential

PURPOSE

Single-family detached residential at low densities ranging from two to four dwelling units per acre. For larger development, a variety of densities within the permitted range is encouraged to allow for more diversity in housing type.

LAND USES

- Single-family detached residential

DENSITY/INTENSITY

- Residential development between two and four dwelling units per acre

DEVELOPMENT FEATURES

- Development shall protect and enhance natural environment.
- Internal and external pedestrian and vehicular connectivity is required.
- A mix of housing types and architectural styles is desired.

- Curvilinear street layout is permitted, however grid or modified grid street layout is also permitted to increase connectivity with surrounding neighborhoods. Vehicular and pedestrian connections to neighboring parcels is required.
- To provide opportunities for affordable, sustainable housing, smaller lots and smaller minimum home sizes may be appropriate depending on the location, quality, and character of the development plan and homes.

EXAMPLES: Sandstone, Silverton



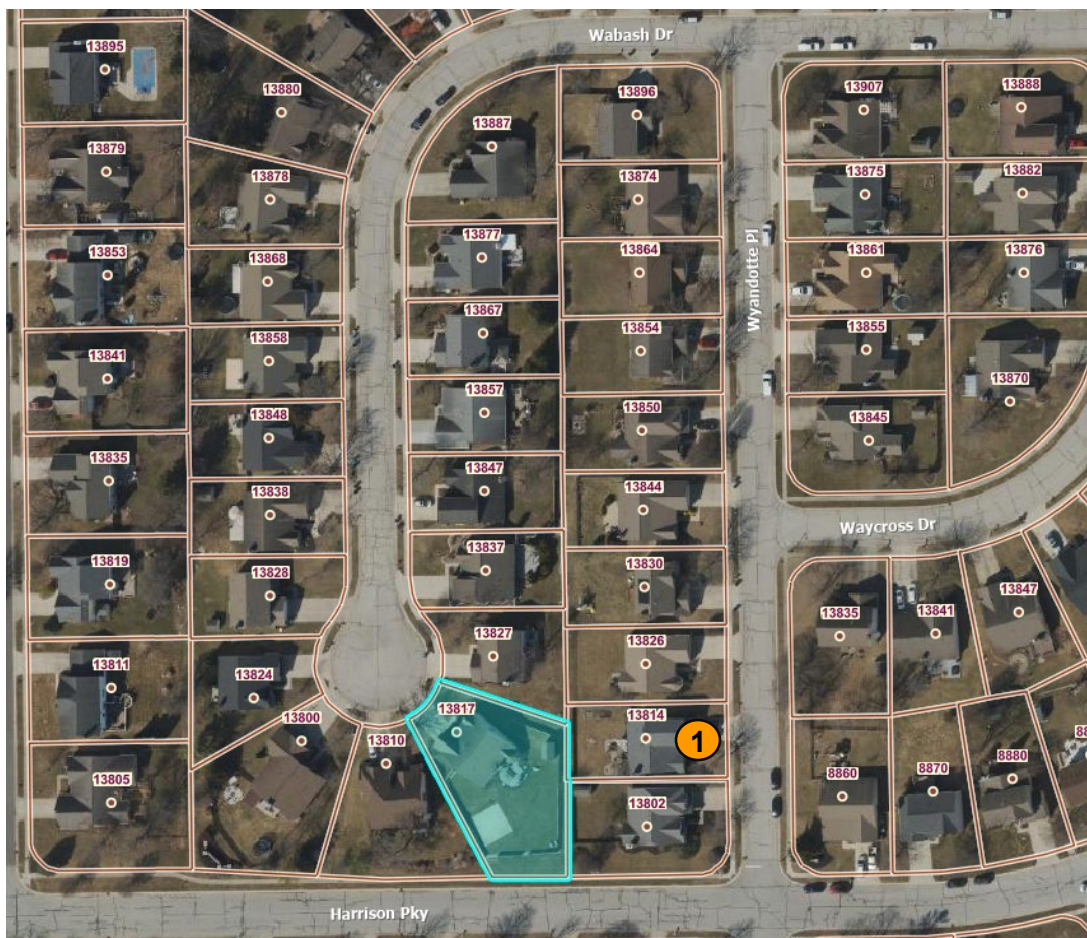
This aerial photo of residential lots in the Sandstone neighborhood is an example of typical suburban residential densities.



This photo of a home in the Silverton neighborhood is typical of the architecture, size and front yard setbacks typical to suburban residential neighborhoods.

At the time of the writing of this staff report, one public comment was received.

- Expresses safety concerns related to living near a short-term rental. The comment is attached in full as an appendix.*



The petitioner is requesting a special exception from the Unified Development Ordinance to allow for a short-term rental use (e.g., Airbnb, VRBO) at a property zoned R5 - Residential. The State of Indiana does not allow municipalities to limit short-term rentals when it relates to home-occupation, meaning the property owner must live at the residence.

This property does not meet our home-occupation standards and therefore requires this special exception to allow short-term rentals.

Meeting Date: July 22, 2026

Case Number: SE-26-3

The home is currently listed on VRBO with immediate availability. The listing is for the entire home and up to 10 guests, with 4 bedrooms, 5 beds, and 2 bathrooms. The listing appears to have been active since April 2024.

The home is also listed on Airbnb with the same details. This listing appears to have been active since June 2025.

The illegal use came to the attention of staff as part of routine enforcement of the City's rental registration in May 2026. The property owners were notified that the home was identified as a non-registered rental property, in violation of §163.03, §163.04, and §163.05 of the Fishers Code of Ordinances. The property owner then informed staff that the property was being operated as a short-term rental, which is not eligible for a Home Rental Permit.

DECISION CRITERIA:

Excerpt from UDO Sec. 10.2.19.D.

A Special Exception may be approved by the Board only upon a determination in writing that the Special Exception at the proposed location meets the following:

1. The establishment, maintenance, or operation of the Special Exception will not be detrimental to or endanger the public health, safety, morals, or general welfare.
2. The Special Exception will be designed, constructed, operated, and maintained to: (i) not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted; (ii) not substantially diminish and impair property value within the neighborhood; (iii) be harmonious and appropriate in appearance with the existing or intended character of the immediate vicinity; and (iv) not change the essential character of the area.
3. The establishment of the Special Exception will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the Zoning District.
4. Adequate public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools have been or are being provided and the Special Exception will not result in excessive additional requirements at public expense for such public facilities and services.
5. Adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion and have vehicular approaches are designed as not to create an interference with traffic on surrounding rights-of-way.
6. The Special Exception will be harmonious with and in accordance with the objectives of the Comprehensive Plan.
7. The Special Exception will be in a Zoning District where such use is permitted and that all other requirements of the Zoning District and this Ordinance, and as may be applicable to such use, will be met.

Meeting Date: July 22, 2026

Case Number: SE-26-3

STAFF RECOMMENDATION:

Staff has NO RECOMMENDATION to the BZA for this special exception request.

If the Board approves this Special Exception for short-term rental, staff requests the following conditions, and any others sought by the Board:

1. The special exception is tied to the user and specific use. If the current property owner was to sell or vacate the property, the special exception would be void.
2. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

Hello,

My name is Allison Gustafson. My husband and I along with our two young children live at 13814 Wyandotte Place, which is directly behind a short term rental property located at 13817 Wabash Drive. The owners of the property recently reached out to us about an upcoming Board of Zoning Appeals hearing before the City of Fishers regarding this particular rental, but I couldn't find specific info on when this hearing is supposed to take place or what specifically it is about, so I have chosen to send an e-mail vs. submitting a public comment.

In the letter we recently received in the mail, the owners were seeking our support for their continuation in operating the house as an Airbnb/Vrbo. However, we responded letting them know that as neighbors who have been directly affected by the change in the use of that property, they unfortunately do not have our support. In my e-mail I sent to them, I compiled a detailed list of all our concerns, and I wanted to pass those concerns along to whomever it may concern regarding the upcoming hearing.

To be completely honest, we were extremely disappointed and actually quite frustrated when we discovered that house was turned into a short term rental. In fact, as soon as we found out, I tried reaching out twice to our HOA to see if there was anything we could do about it but never received a reply. While we have not had any major issues or disturbances so far, and we do appreciate the way the owners have maintained the property, I cannot say that we have enjoyed having an Airbnb/Vrbo practically in our backyard, the number one reason being safety concerns.

My understanding is that the owners screen the guests that stay there, but they do not know these people personally nor is there an effective way to ensure that guests are being honest with the owners when booking this house. We have looked at the Airbnb and Vrbo listings and appreciate that the owners' rules state quiet hours and specify no parties or events, no smoking, no pets, etc. However, we are also aware that just because rules are stated doesn't mean people will always comply. For example, there have been plenty of people we've seen (and smelled) smoking there, most instances being cigarettes or cigars, but there has been at least one instance where we smelled something else, and after speaking with another nearby neighbor, it turns out he had similar suspicions something was going on that shouldn't have been. I've also seen a dog there, not that I care about someone having a pet, but just pointing out again that simply having rules doesn't mean everyone will follow them. While I appreciate the owners' efforts in setting clear guidelines and expectations, it doesn't make me feel any safer. And while I appreciate them being open to communication, I don't exactly want to have to call them and be a tattletale every time someone breaks the rules.

We have also seen that the house is listed as being able to accommodate up to 10 people. That many people, which ARE allowed, can still get pretty rowdy even if they don't invite over additional guests. Especially when the house is advertised as being close to concert venues, sports stadiums, etc., which attracts concert goers, sports fans, bachelor/bachelorette parties, people wanting to get away for a few days with a group of friends and have a good time, etc. Even if the majority of the people who stay there are friendly and harmless, which thankfully for the most part they have been so far, all it takes is one incident to do irreversible damage.

In March of 2024 in the Woodberry subdivision in Fishers, a party was taking place one night at an Airbnb and someone was shot and killed. While shots were being fired, a stray bullet also went through a nearby neighbor's window where the owner's son was sleeping. Super scary!!(<https://www.wrtv.com/news/local-news/crime/neighbors-warn-crime-can-happen-anywhere-after-shooting-at-rental-property-in-fishers>)

In July of 2024, there was a house in Carmel being operated as a short term rental in a quiet peaceful family oriented subdivision, and there was an incident where multiple ambulances arrived in the neighborhood and numerous people were being brought out of that house by emergency personnel due to what appeared to be overdoses. (<https://www.wrtv.com/news/local-news/crime/carmel-airbnb-causing-headaches-for-neighbors>)

Then just recently in May of this year, it was discovered that prostitution was taking place at a short term rental in Westfield. (<https://www.wishtv.com/news/crime-watch-8/short-term-rental-prostitution-bust/>)

Also in May of this year, there was an after prom party taking place at a short term rental in Indianapolis, and shots were fired leaving one woman dead and 3 injured. Again, a stray bullet went through a nearby neighbor's window and through the couch where he said his son often sits. He said that night his son had fallen asleep in that spot and by the grace of God, he had woken him up about 45 minutes to an hour before the incident occurred and had told him to go upstairs and go to bed. Imagine if he hadn't. The house supposedly became a rental in 2025 and hadn't caused any issues until that night. (<https://www.wthr.com/article/news/crime/1-dead-2-injured-after-shooting-at-post-prom-house-party-at-rental-home-on-indys-north-side-north-park-avenue-indianapolis-indiana-may-3/531-a8edd8aa-750c-4577-a9c0-a6a0fe17c387>)

I cannot emphasize enough how scary this is! And these are just a few cases. A quick Google search reveals neighborhoods all over the country dealing with these types of scenarios and safety concerns for their families regarding short term rental properties making their way into residential areas. I get that neighbors are encouraged to report any suspicious activity and/or nuisances, but first of all, it's not fun having to constantly be on the lookout and second of all, if something is happening in the late hours of the night while people are sleeping, they may not notice anything worth reporting until it's too late and shots are already being fired.

As I previously mentioned, my husband and I have 2 young children. We spend a lot of time in our backyard which is right up against this rental's backyard. It makes me feel extremely uneasy knowing there is a constant stream of strangers coming and going from that house. When we bought our house as newlyweds with plans to grow and raise our family here, I would have never imagined that there would come a day when a hotel service would be ran practically in our backyard. In my opinion, a subdivision (especially one with an HOA) is a place for residents to live, not travelers to rent or vacationers to gather and/or party. I really don't like not knowing who is in that house behind us at any given time or whether or not they can be trusted. We've already discussed putting in some privacy trees along our fence to at least help block the view. But even that is sad to me. Because the people who lived there previously were always friendly and respectful and we never felt the need to try and better secure our property line.

I'm not against Airbnb or Vrbo, but I don't think a quiet subdivision where a lot of people are raising families is an appropriate place for them. I realize that we also have houses in our neighborhood that are long term rentals, but I don't really have as big of an issue with that as long as the renters are respectful and neighborly and take care of the property. There is a big difference between getting new neighbors

every few years vs. getting new neighbors every few days. At least long term renters are around long enough for neighbors to become familiar with them.

All of this to say I am actually in support of something being done about short term rentals being operated in residential areas like ours. My fear is that if something is not done, it's going to drive out more and more long term residents, increasing the chances of even more homes being turned into investment properties for people to rent out and make money off of. If that happens, not only will our subdivision not feel safe anymore, but it will also completely lose the quiet peaceful sense of community that drew us here 11 years ago. We love our house and we love the location, so it makes me sick and heartbroken to even think about having to move if things were to get out of hand. Therefore, I'm hoping something can be done to make sure our neighborhood stays safe and maintains the sense of community we've always loved.

I also feel that it's worth noting that I did receive a reply to the e-mail I sent to the owners, and the response was polite and respectful, and I do feel that they are trying to be genuinely considerate of my concerns. However, while I appreciate their openness to communication, my opinion still stands that the risks and potential compromise to my family's safety that stem from having a short term rental being operated practically in our backyard is extremely unsettling. Therefore, I am certainly in favor of any zoning laws that could be enforced to help keep our community safe and family friendly.

Sincerely,
Allison Gustafson

Sent from my iPhone

Short-Term Rental Special Exception Case #SE-26-3

13817 Wabash Drive Fishers, IN 460383



Owners:
Angela & Jared Bloehs

Agenda

- Introduction
- Goal & Results
- Property Stewardship
- Safety & Accountability
- AirBnB & VRBO Profiles & Reviews
- Neighbor Feedback
- Occupancy Taxes

Goal & Results

We are respectfully requesting approval to continue operating 13817 Wabash Drive as a professionally managed short-term rental property.

Our goal is to demonstrate that:

- We are local owners
- We actively manage and maintain the property
- We have implemented safeguards that protect the neighborhood
- The property has operated successfully with minimal to no impact.

• Results:

- Property Purchased: June 1st, 2025
- Hundreds of guest nights accommodated
- Ratings: 4.9 – 5.0 Stars
- No police calls
- No code violations
- No HOA complaints
- Extremely prompt response to any concerns
- Local owners within 10 miles of property

Property Stewardship | Care & Maintenance

- Interior
 - Professionally cleaned upon each check-out
- **Lawn Care:**
 - Professionally mowed once a week (April – October)
 - Professionally treated once a month (April – October)
- **Landscape**
 - Professional mulch installation each spring
 - Pruning and weeding of beds both Spring & Fall
- **Snow Removal**
 - Professional snow removal and salting of driveway and sidewalks within 24 hours of any accumulation more than 2"

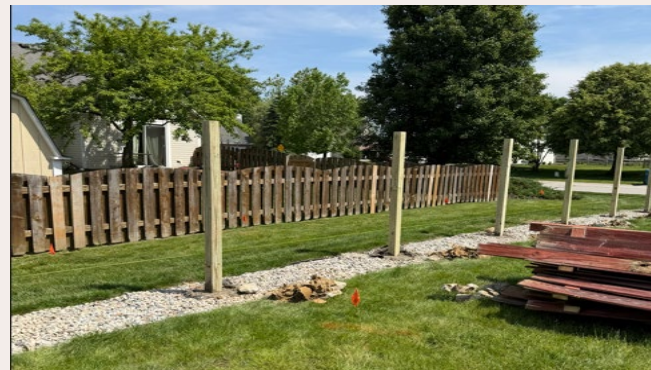
Property Stewardship | Investments

Current:

- May 2026 – Replaced Fence (\$6.5k)

Future:

- Spring 2027 - Exterior Power Wash
- Spring 2027 – New Paint (All Exterior Trim & Garage Doors)

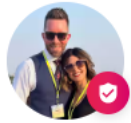


Safety & Accountability

- **Restrictive Booking Standards**
 - All renters verified and screened through AirBnB and/or VRBO platforms
- **Monitoring**
 - 3 Exterior Security Cameras (Door, Garage, Backyard)
 - No interior cameras (privacy respected)
- **Strict House Rules**
 - Minimum age to book
 - No parties or events
 - No Smoking (Inside or Out)
 - Quiet Hours
 - No Street Parking (Driveway or Garage only)
 - Occupancy Limit

AirBnB Listing | Ratings & Rules

Meet your host



Angela
 Superhost

53

Reviews

4.98★

Rating

1

Year hosting

Angela is a Superhost

Superhosts are experienced, highly rated hosts who are committed to providing great stays for guests.

Host details

Response rate: 100%
Responds within an hour

During your stay

👤 10 guests maximum

🐾 No pets

🌙 Quiet hours
10:00 PM - 8:00 AM

🎉 No parties or events

📷 No commercial photography

🚭 No smoking



One of the most loved homes on
Airbnb, according to guests

4.98
★★★★★

53
Reviews

Additional rules

House Rules:

- 🚫 No parties or events of any kind
- 🚫 No smoking of any kind is allowed—this includes cigarettes, cigars, vaping, and marijuana—inside or outside the property.
- 🚗 Maximum of 5 vehicles, parked in the garage or driveway only
- 🚫 No street parking (per HOA regulations)
- 💵 \$350 fee for any violation of these rules

AirBnB Listing | Reviews



勝士
Nishi Ward, Japan

★★★★★ · 6 days ago · Stayed with kids

Thank you very much for letting us stay at your beautiful home. The house was spacious, stylish, and very clean, so our children and we had a wonderful and comfortable stay. We really enjoyed our stay, and if we have the opportunity, we would love to stay here again.



Kaitlynn
1 month on Airbnb

★★★★★ · 2 weeks ago · Stayed with kids

The place was beautiful! Easy check in and out! Angela was so responsive and accommodating. Great for the family to stay overnight.



Kelly
Newark, Ohio

★★★★★ · May 2026 · Group trip

Perfect spot to stay for our weekend wedding in Indy. The home is well-appointed and meticulous. Will be back next time we visit family!



Katie
Dayton, Ohio

★★★★★ · June 2025 · Stayed a few nights

Angela's place was the PERFECT place for our recent trip to the area. Due to a mishap with another Airbnb booking, we found ourselves scrambling at the last minute to find a place that could accommodate our two families. We were so lucky to find Angela's place. She was quick to respond to our last minute booking request. The house was perfect for our young children. They especially loved the spacious and fenced-in backyard. The interior is nicely decorated, spotless, and well-equipped with everything we needed. Additionally, the neighborhood was quiet and convenient with a short drive to downtown Indy for the Children's Museum, but also plenty to do in Fishers. The close location to the Nickel Plate Trail was also a fantastic surprise - a great place to walk, run, or bike. Thank you, Angela, for hosting us, especially at the last minute!



Lyndsey
6 years on Airbnb

★★★★★ · April 2026 · Group trip

We stayed here for a wedding weekend. The house was beautiful and had enough space for the bride and crew to get their hair and makeup done. Everyone who came in commented on how great the space was. The home was minutes from the wedding venue, hotels and restaurants. We couldn't have asked for a better setup!



Thomas
California, United States

★★★★★ · May 2026 · Stayed with kids

Angela's house is now one of our go-tos when traveling to the area. It's a perfect home away from home.



Thomas
California, United States

★★★★★ · March 2026 · Stayed with kids

I didn't think Angela's house could get any cleaner after the first time, but I was wrong. Somehow it felt even cleaner and more pristine when we walked in the door the second time around. The area was still great, in a nice, walkable neighborhood. I'd easily come back and recommend it to anyone else as well.



Alli
Fishers, Indiana

★★★★★ · February 2026 · Stayed a few nights

Angela was a responsive and accommodating host. The neighborhood was quiet and safe, the house was spotless (quite possibly the cleanest rental we've stayed in!), and we appreciated little extras like spare blankets, towels, and laundry pods. The arcade games were a fun treat and we would recommend this property to anyone!

VRBO Listing | Profile & Ratings



Loved by Guests

Top 10% of guest reviews in this area

[See all 50 verified reviews >](#)



4 bedrooms



2 bathrooms



Sleeps 10

Highlights for your solo trip



Loved by solo travelers

100% of solo travelers gave 10/10 for this property.



Great location

Guests value the location for making travel plans effortless.

About the host



Angela
Host

10 Communication

10 Check-in process

0% Host cancellation rate

VRBO Listing | Reviews

10 **Loved by Guests**
Top 10% of guest reviews in this area

50 verified reviews ⓘ

What guests liked

- The property was consistently described as spotless, clean, and very clean throughout the stay. (7 reviews)
- Check-in was smooth and easy with simple and clear instructions. (4 reviews)
- Amenities were plentiful and well-appointed, including essentials and comfortable beds. (3 reviews)

📌 From real guest reviews summarized by AI.

Cleanliness	Check-in
10	10
Communication	Location
10	10
Listing accuracy	Property conditions & facilities
10	10
Value for money	
9.8	

10/10 Excellent

Great stay! Lovely and clean house. Smelled amazing and we loved the home decor. *bring your own basketballs for the basketball court! Will stay again!



Liked: cleanliness, check-in, communication, location, listing accuracy, value for money

Jake C.

Traveled with family and young children
Stayed 2 nights in Mar 2026

Verified review ⓘ

10/10 Excellent

We had a great stay with family that allowed us to visit friends. The location was convenient, the home immaculate and every detail was taken care of in the house. I would give this property and the owner extra stars!

Liked: cleanliness, check-in, communication, location, listing accuracy, value for money

James C.

Traveled with family and young children
Stayed 1 night in Mar 2026

Verified review ⓘ

10/10 Excellent

Our stay was great! The neighborhood was nice and quiet. This home was spotless and very comfortable. Our host provided everything we needed throughout the week. We really appreciate being provided with plenty of essentials like TP, trash bags, paper towels, etc. we would stay again, if in the area in the future.

Liked: cleanliness, check-in, communication, location, listing accuracy

Heather M.

Stayed 7 nights in Jul 2025

Verified review ⓘ

10/10 Excellent

We came for a family wedding and had a great stay! Home is cozy and centrally located to all of our plans. Our grandchildren loved playing in the back yard and playing Pac Man in the loft. Everything we needed was there. The host was fantastic to work with and very attentive. Checkout rules were simple and easy to follow. Thank you for a great weekend!

Liked: cleanliness, check-in, communication, location, listing accuracy

Lisa M.

Traveled with partner, traveled with family and young children
Stayed 2 nights in Aug 2025

Verified review ⓘ

Neighbor Survey

- During the week of July 6th, 2026, we personally delivered surveys to ask for neighborhood feedback to 20 homes indicated on the “adjoiner” list located on our special exemption request.

Help us be better neighbors!

Dear Neighbor,

Thank you again for taking the time to read our previous letter regarding our short-term rental.

As we prepare for our upcoming zoning hearing, your feedback is genuinely important to us. If you could scan the above QR code and generously take **2-3 minutes** to complete our survey, we would be very grateful. To be clear, your responses are **completely anonymous**.

Your insight will help us better understand any concerns, answer questions, and continue operating in a way that is respectful of our neighborhood.

If you feel comfortable supporting our request at the upcoming hearing, we would also be incredibly grateful for a brief email or text sharing your experience as our neighbor. Even just a few sentences could make a meaningful difference.

We truly appreciate such a wonderful community and value your feedback!

Angela Bloehs

angelabloehs@gmail.com

317-201-0208

Jared Bloehs

jared.bloehs@gmail.com

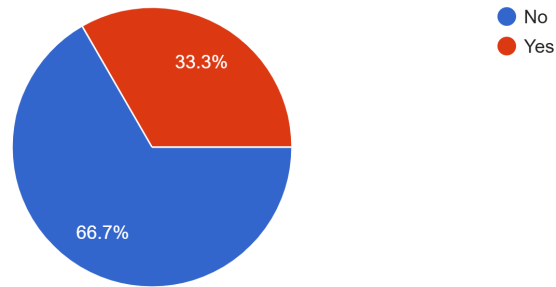
317-954-9289



Neighbor Survey | Results

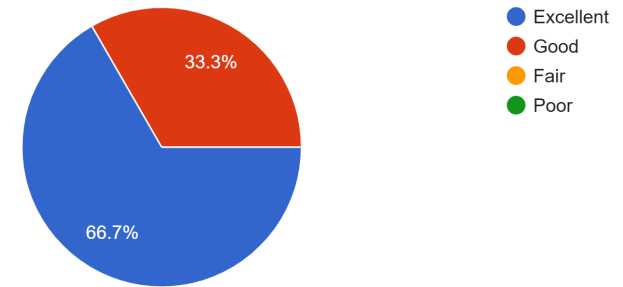
Before receiving our letter, were you aware that our home operates as a short-term rental?

3 responses



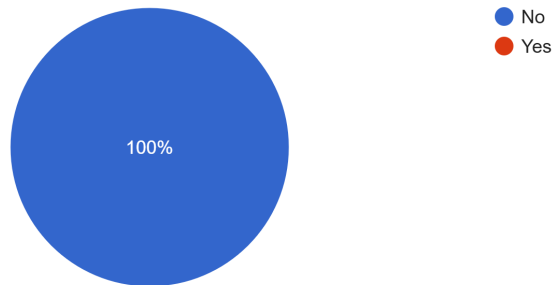
Overall, how would you rate us as neighbors?

3 responses



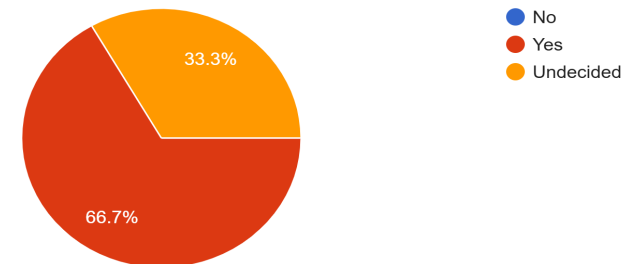
Have you observed and/or experienced any issues related to our house as a short-term rental?

3 responses



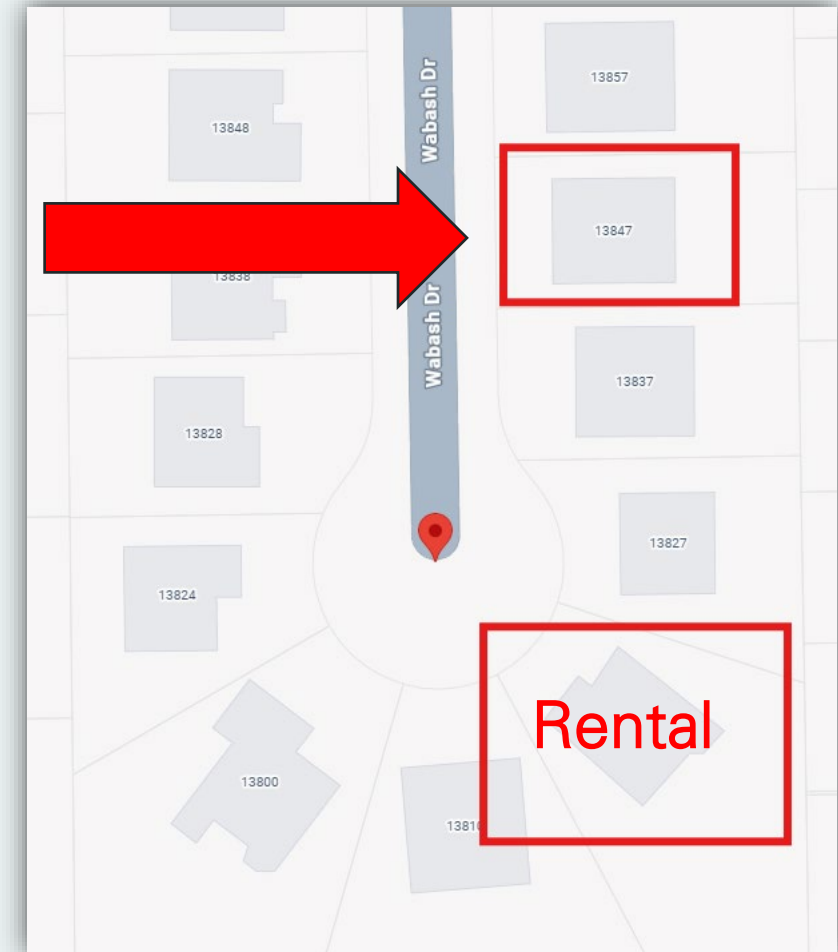
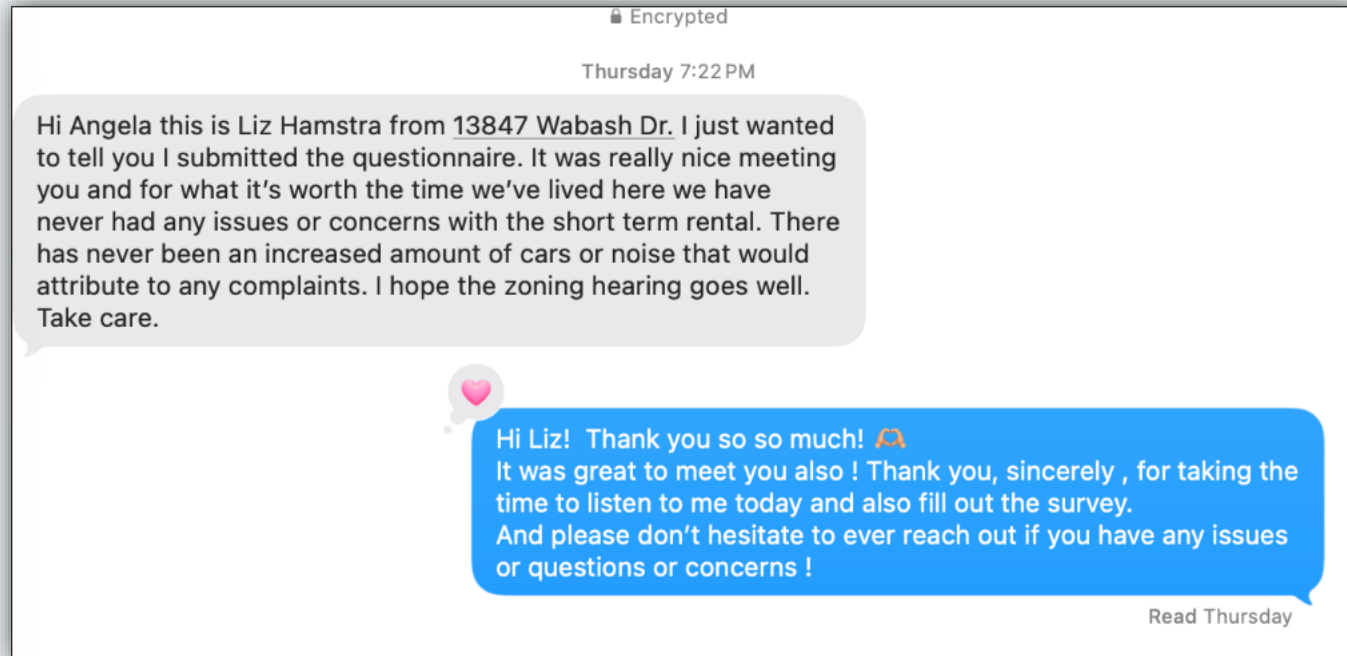
Based on your experience, do you support allowing our home to continue operating as a short-term rental?

3 responses



Neighbor Testimonial | Liz Hamstra

13487 Wabash Drive Fishers, IN 46038



Neighbor Testimonial | Karen Hall

13810 Wabash Drive Fishers, IN 46038

Wed, Jun 24 at 3:14 PM

To Whom It May Concern,

I am writing to express my support for my neighbor's request to operate a short-term rental property at their residence. As a neighboring property owner/resident, I have found them to be responsible, respectful, and conscientious members of our community. They take pride in maintaining their property, communicate well with neighbors, and demonstrate a genuine commitment to preserving the safety, appearance, and character of our neighborhood.

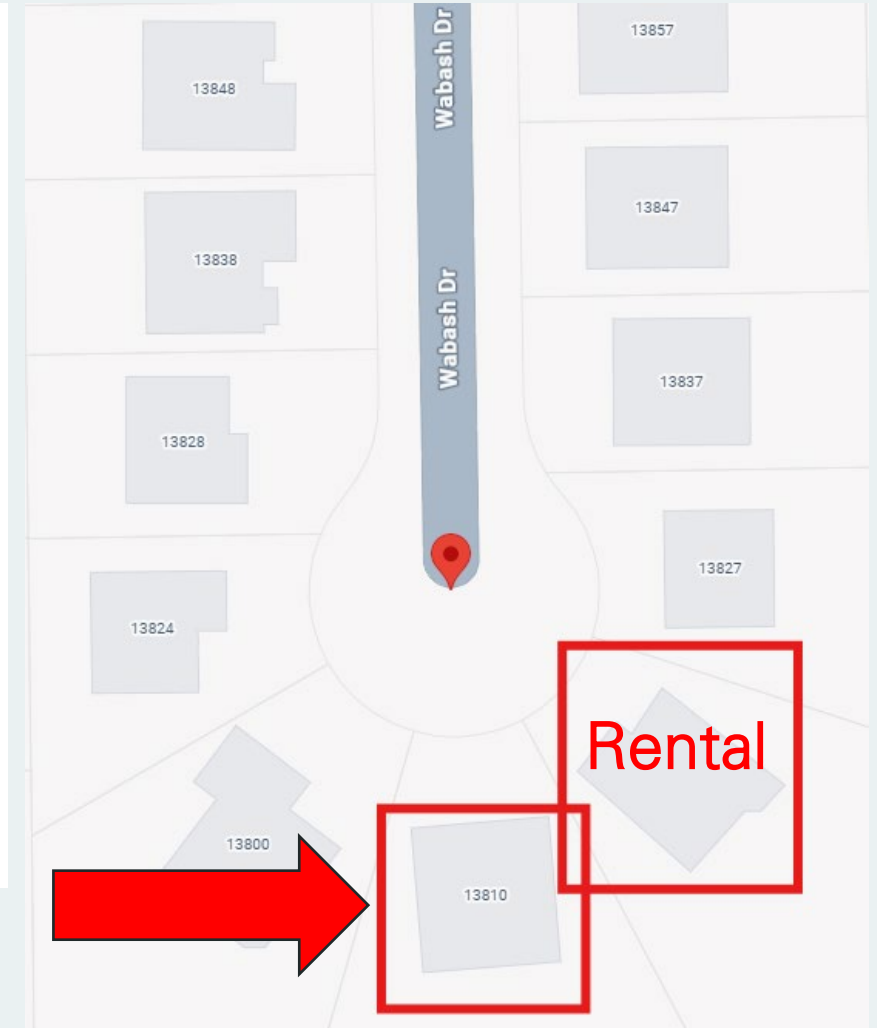
My neighbor has shown a willingness to address concerns, follow applicable regulations, and ensure that guests respect the neighborhood. For these reasons, I support their application and request that favorable consideration be given to allowing the property to operate as a short-term rental. Please feel free to contact me if additional information is needed.

Sincerely,
Karen Hall

Let me know what you think

Wed, Jun 24 at 6:03 PM

Thank you so much Karen! Let me chat with Jared but I think this is perfect . So appreciate your support.



Occupancy & Property Taxes

June 1 st , 2025 – July 7 th , 2026	AirBnb Occupancy Taxes	\$7,091.67
	VRBO Occupancy Taxes	\$5,645.44
Annual Property Taxes		\$6,104 / Yr (\$3,472 w/ Homestead Exemption)

Closing

- Thank you for your time and consideration.
- We are committed to being responsive owners, respectful neighbors, and positive members of the Fishers community.

Sincerely,

Jared & Angela Bloehs