



## CITY OF FISHERS AGENDA

**BOARD/COMMISSION: Impact Fee Review Board**

**DATE: 5/4/2026 at 6:30 PM**

**ADDRESS: Nickel Plate Conference Room,  
One Municipal Drive, 3rd floor , Fishers , IN 46038**

Members of the public are encouraged to [submit comments to the board via this form](#) before 12 p.m. on the day of the meeting. Members of the public may [stream the live meeting online](#).

See the list of board members at [FishersIN.gov/ImpactFee](https://fishersin.gov/ImpactFee).

- 1. Call to Order**
- 2. Roll Call**
- 3. Elections and Appointments**
  - a. President
  - b. Vice President
  - c. Appointment of Board Secretaries (Ross Hilleary and Christy Cashin)
  - d. Appointment of Recording Secretaries (Kay Prange and Kelly Lewark)
- 4. Previous Meeting Minutes**
  - a. Meeting Minutes 4-25-24
- 5. New Business**
  - a. **Lantern Road Boutique Restaurant**  
**Address:** 11466 Lantern Road  
**Parcel:** 15-15-06-01-01-027.000

**Case:** 126479

**Request:** Request a review of the Road, Bridge, and Sewer Impact Fees assessed for a two-story 4,620 SQFT mixed-use infill development at the common address of 11466 Lantern Road

**Petitioner:** Andrew Wojcik, Spicy Sicilian of Fishers, LLC

**Planner:** Ross Hilleary

## 6. Meeting Adjournment

**Impact Fee Review Board  
Meeting Minutes  
April 25, 2024**

In attendance: Kim Troyer (via Teams), Lisa Bradford, Kim Mills, and Chris Schulhof (via Teams.) Also present, Steve Fehribach, Hatem Mekky (via Teams), Rodney Retzner, Megan Baumgartner, Bill Stuart, Christy Cashin (via Teams), Ross Hilleary, Kay Prange, Paul Rogozinski, with the principals from Lincoln Square.

Kim Troyer called the meeting to order at 4:00. After a Roll call, Elections were held for Board officers. Kim Troyer noted that she no longer lived in Fishers, with primary residence in Florida, and Rodney Retzner advised that she could no longer serve on the Board and thanked her for her service.

**Elections and Appointments**

President - Kim Mills nominated Chris Schulhof as President, seconded by Chris Schulhof. The nomination was approved, 3-0.

Vice-President - Chris Schulhof nominated Kim Mills as Vice-President, seconded by Kim Mills. The nomination was approved, 3-0.

A Motion to approve Previous Minutes from 1-26-23 was made by Lisa Bradford, seconded by Kim Mills. The Motion was approved, 3-0.

**Lincoln Square Pancake House**

**Address:** 8902 E 96<sup>th</sup> Street

**Case:** 117127

**Request:** Request for relief from the Road and Bridge Impact Fees assessed for a commercial tenant remodel for Lincoln Square Pancake House.

**Petitioner:** Paul Rogozinski

**Planner:** Ross Hilleary, Director



IFRB 1117127  
Findings of Fact- Li

**The request failed.**

**Unfinished Business-** none

**New Business-** none

**Adjournment at 5:00.**

**Next Meeting: TBD – called on an as needed basis**

**Impact and Sanitary Sewer Fee Appeal  
11466 Lantern Road Fishers, IN 46038  
Application # 123635**

**Petitioner**

Andrew Wojcik

**Project Location**

11466 Lantern Road

**Project Name**

Lantern Rd. Boutique Restaurant

**Description of Development**

Single Tenant apartment above a small quick service restaurant

**Type of Fee Review**

- Request for Relief from the Road Impact Fee
- Request for Relief from the Bridge Impact Fee
- Request for Relief from the Park Impact Fee
- Request for Relief from the Sanitary Sewer Impact Fee

**Has there been an previous Fee Reviews filed in connection with this property?**

No.

**Project Information**

**Land Use Description - Identify any existing or proposed use or expansion/addition of existing use.\***

Land is currently vacant, zoned residential. Seeking to build a mixed-use building, where the first floor would be a small deli/specialty shop and the second floor an apartment occupied by the owner.

**Total acreage of site**

0.25

**Impact and Sanitary Sewer Fee Appeal  
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**Square footage of existing and proposed buildings**

4500

**Type of Use\***

Non-Residential

**Number of residents/units on site**

1

**Total Number of Employees**

7

**Number of Employees per Shift**

4

**Number of Work Shifts**

1

**Length of Shifts**

6 Hours

**Hours of Operation**

8AM - 4PM

**List any other site support services such as anticipated deliveries and number of existing or proposed loading docks.**

There will be regular support activities of a restaurant: food deliveries up to twice per week, cleaning/safety providers (usually quarterly visits for hood, pest, and other mechanicals), regular occurrence of UPS/FedEx and similar deliveries.

Trash pickup will take place on a day we are closed.

There is no loading dock.

**Impact and Sanitary Sewer Fee Appeal  
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**Indicate the total number of on-site parking spaces, personnel, customers, and delivery areas.**

9 spaces, the driveway will be the primary delivery area.

Indicate any additional information which may be pertinent to the fee appeal review.

Approval of my ILP was conditioned on planning/purchasing/dedicating the following improvements to the City of Fishers:

As a condition of my permit I was required to facilitate contract negotiations and payment between my neighbor and the city for a drainage easement. The easement is not being used for the sole benefit of my lot. The actual cost of the drainage easement was ten thousand dollars (not including costs around the drafting, planning, negotiation, and execution of the agreement).

The physical stormwater infrastructure that I am required to build as part of my project, and that will go in the easement will be dedicated to the city. While the drainage infrastructure on my property is intended to keep my property "dry", it is not for my sole benefit. The infrastructure will be available for neighboring property owners (1144) when that property is developed. The stormwater infrastructure dedicated to the city in the right of way will cost around thirteen thousand dollars (on a cost to complete basis, the actual cost paid to the contractor for that work exceeds that amount).

As a condition of my permit I am required to give a right of way easement for a planned expansion of the right of way from 23-28ft from the centerline. The cost is 330 sqft, using the market rate paid for my lot and the cost of the easement next door places value around thirteen thousand dollars (\$13,200).

In addition to the right of way easement, I required to build the road/infrastructure improvements that will lie within the ROW expansion. No sidewalk currently exists and we will be required to build an 9x66 sidewalk, install sod, and two trees. This again is done at my cost (planning, building, continuing maintenance). I will also be building sidewalk stubs on my neighbor's property that they should have been responsible for when they first started their project. Further, two feet of the land given/dedicated to the city will be reserved for a "future curb" with no projected date for installation. The amount estimated for those improvements exceeds seven thousand dollars.

**Impact and Sanitary Sewer Fee Appeal  
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The code does not say that I cannot benefit at all of from the planned improvements, it just says that the improvements cannot be a benefit for my property alone.

The city code identifies these improvements as deductible and further points to the state code for interpretation on whether an improvement should be deductible or not.

**Appeal Information**

**The Impact/Sanitary Fee Ordinances provide that a review of the amount of a fee may be for the subsequent reasons. Please answer and/or describe, to the best of your knowledge, the following reasons:\***

N/A

**State those facts which are the basis for the request on why the fee was applied incorrectly in this situation:\***

Collecting of the fee has to be related to the impacts of my development and the city has given me varying reasons as to the improvements I'm required to make.

The city has stated they will take 2 feet of the frontage for a future curb, they have no idea when they will put that curb in, but they're taking it.

The city is requiring the dedication of private property in order for me to obtain the permit, but not allowing the deductions for the infrastructure improvements I make.

The city has told me that the reason for expanding the sidewalk is to increase the width to match the school development, and I believe that's more of taxpayer issue unrelated to the effects of my development.

**The reason the amount of the Impact/Sanitary Sewer Fee is greater than the amount allowed under Indiana Code are:\***

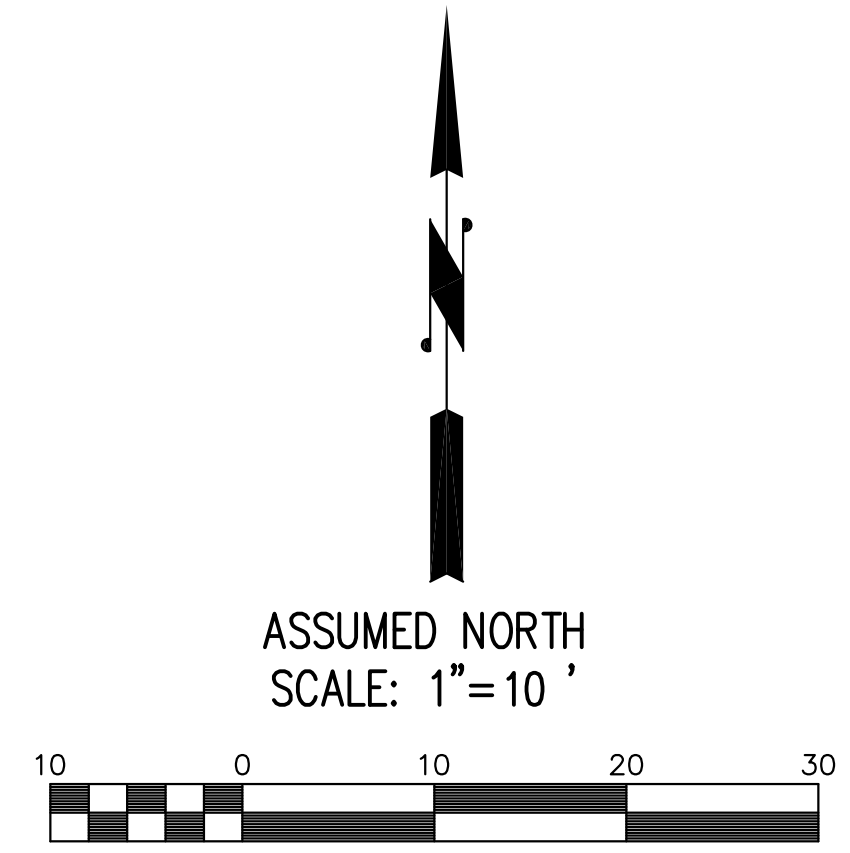
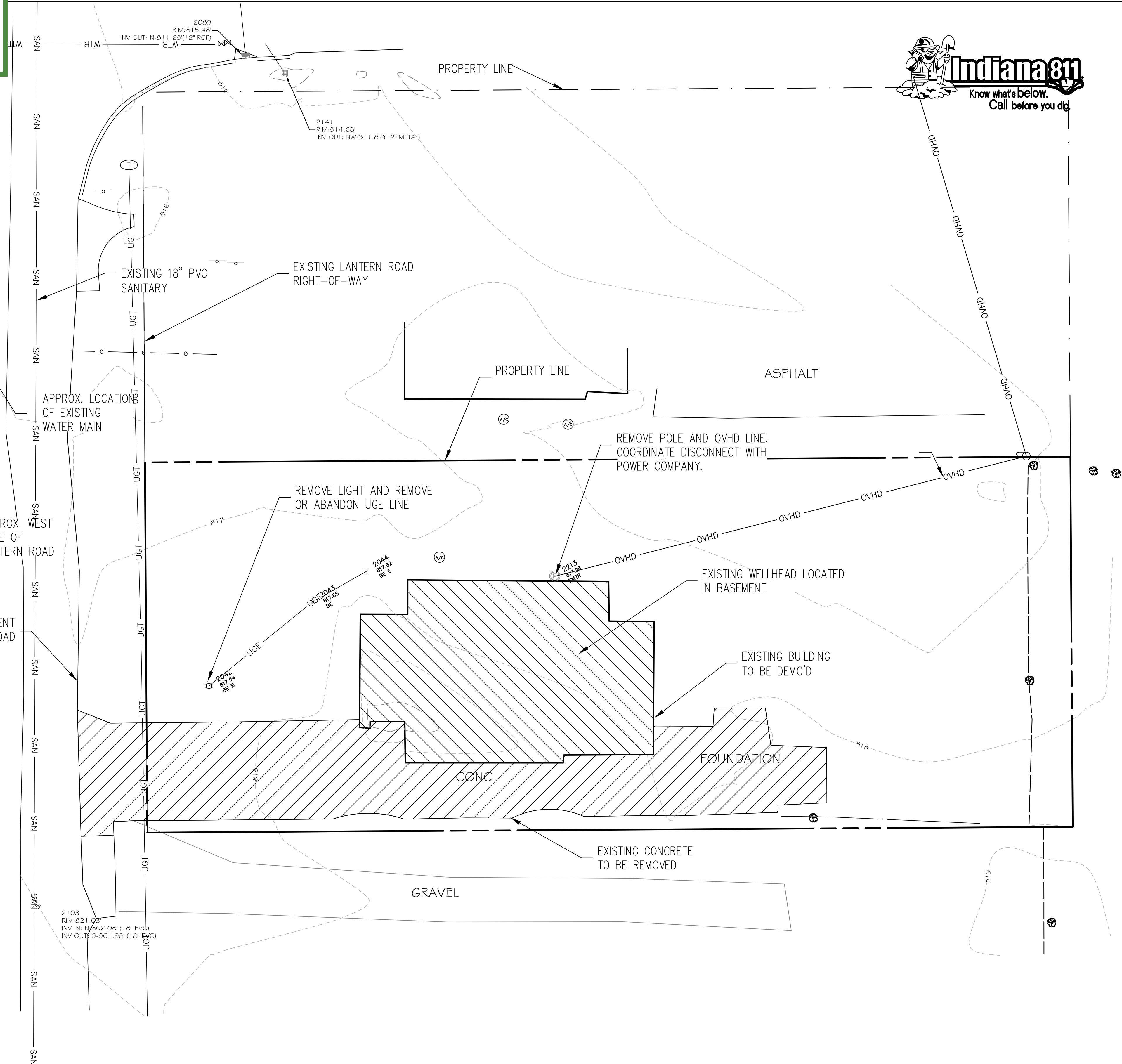
The Indiana Code states that the amount of improvements/dedications to be done can not exceed the dollar amount of the impact fee.

**Impact and Sanitary Sewer Fee Appeal  
11466 Lantern Road Fishers, IN 46038  
Application # 123635**

**Identify the remedy and describe your request:\***

I'd like the ability to submit the estimates for construction of the improvements. The submission of these documents was formally denied in a meeting this past September. I'd like the commission to review property dedicated to and owned by the city, and to be provided deductions for those which are determined to not be solely for my benefit.





**LEGEND**

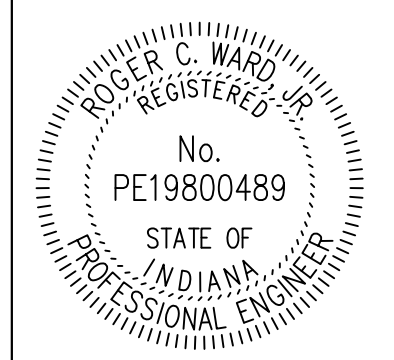
- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER; INLET & M.H.
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC POLE
- EXISTING FIRE HYDRANT
- EXISTING VALVE; GAS & WATER
- EXISTING ELECTRIC METER
- EXISTING WATER METER
- EXISTING TELEPHONE UTILITY BOX
- EXISTING CHAIN LINK FENCE
- EXISTING AIR CONDITIONING UNIT
- EXISTING SIGN
- EXISTING AREA LIGHT
- EXISTING TREE
- EXISTING BUILDING TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED

**DEMOLITION NOTES**

1. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
2. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS NEEDED TO PROTECT OWNER'S PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DUE TO THE DEMOLITION AREA.
3. REPAIR ALL INCIDENTAL DAMAGE TO ADJACENT FACILITIES CAUSED BY GENERAL DEMOLITION AT NO ADDITIONAL COST TO OWNER.
4. CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
5. DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION AND/OR REQUIRED PERMITS FROM LOCAL JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING JURISDICTION.
6. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING FROM UTILITY COMPANY.
7. USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST, DIRT, AND DEBRIS TO LOWEST PRACTICAL LEVELS. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
8. PERFORM SELECTIVE DEMOLITION WORK IN A SYSTEMATIC MANNER. USE SUCH METHODS AS NECESSARY TO COMPLETE DEMOLITION SHOWN ON DRAWINGS.
9. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. PROVIDE FILL CONSISTING OF APPROVED EARTH, GRAVEL OR SAND, FREE OF TRASH AND DEBRIS, STONES OVER 6" DIAMETER, ROOTS, TOPSOIL, AND OTHER ORGANIC MATTER.
10. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS FROM SITE.
11. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH ALL APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT, AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTION BARRICADES AND LEAVE SITE FREE OF DEBRIS.
13. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN FACILITIES AND SURFACES TO REMAIN TO THEIR EXISTING CONDITION PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED.

**UTILITY NOTE**

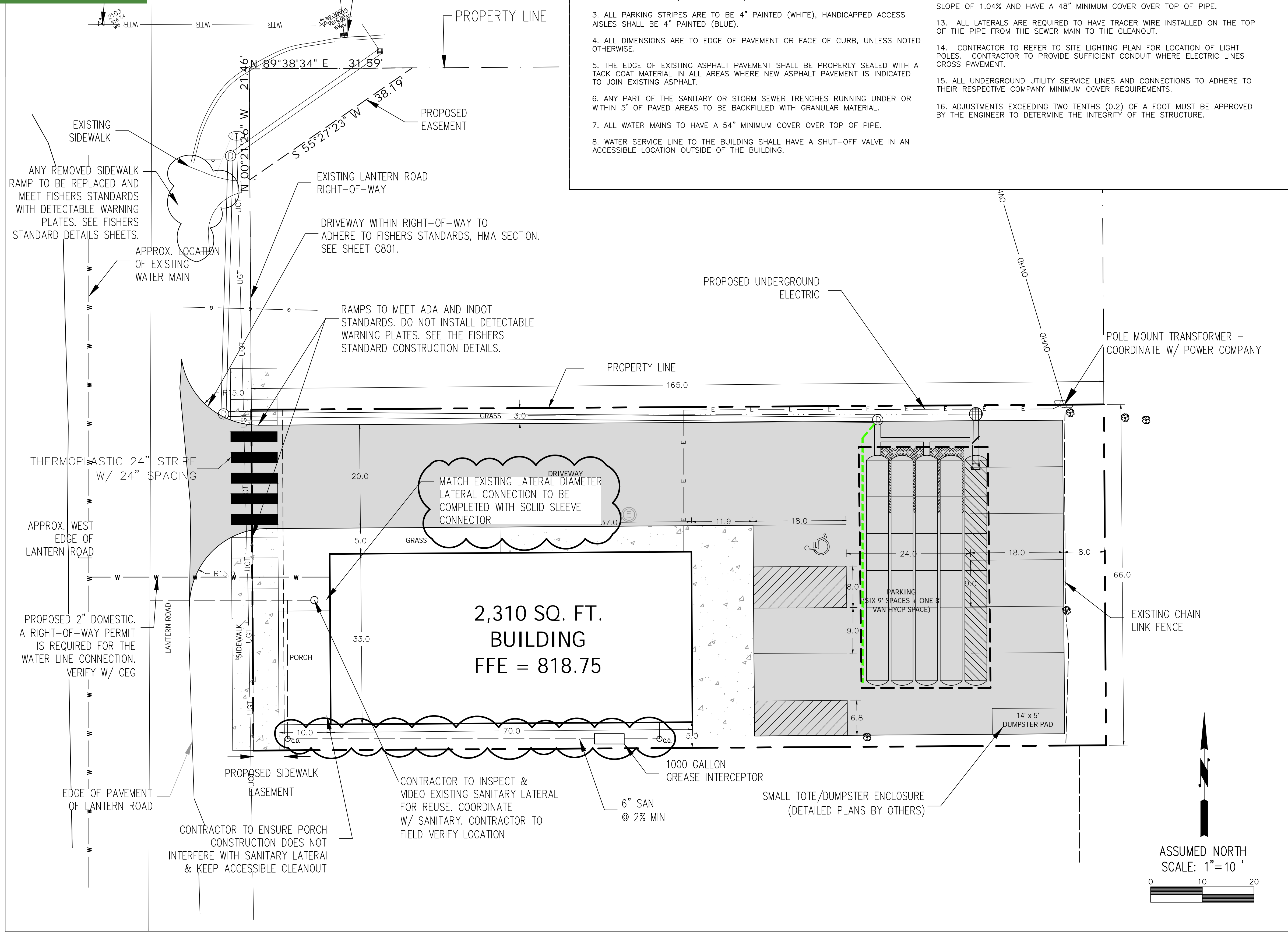
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON MARKINGS PROVIDED BY PRIVATE UTILITY LOCATE SERVICE. THE EXISTING CONNECTIONS WITHIN THE BUILDING WILL BE UTILIZED FOR THE EXPANSION. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL ONSITE UTILITIES.



BY: *Roger C. Ward*  
 DATE: 11/25/2024

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03/25/2025  
ILP-24-12  
FISHERS



### SITE AND UTILITY NOTES

- IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
- STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AGENCY SHALL APPLY FOR ALL SANITARY SEWERS, STORM SEWERS, AND WATER MAINS.
- ALL PARKING STRIPES ARE TO BE 4" PAINTED (WHITE), HANDICAPPED ACCESS AISLES SHALL BE 4" PAINTED (BLUE).
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS NOTED OTHERWISE.
- THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
- ANY PART OF THE SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVED AREAS TO BE BACKFILLED WITH GRANULAR MATERIAL.
- ALL WATER MAINS TO HAVE A 54" MINIMUM COVER OVER TOP OF PIPE.
- WATER SERVICE LINE TO THE BUILDING SHALL HAVE A SHUT-OFF VALVE IN AN ACCESSIBLE LOCATION OUTSIDE OF THE BUILDING.
- STERILIZATION OF WATER MAIN SHALL BE IN ACCORDANCE WITH STATE BOARD OF HEALTH REQUIREMENTS.
- EXPANSION JOINTS ARE TO BE PLACED AT ALL WALK INTERSECTIONS AND BETWEEN WALKS AND PLATFORMS. SIDEWALK SCORES ARE TO BE EQUALLY PLACED BETWEEN EXPANSION JOINTS, CONTRACTION JOINTS, AND PERPENDICULAR SIDEWALKS AT 5' INTERVALS OR LESS WITH A CONTRACTION JOINT EVERY 20' OR LESS.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL 6" PVC SANITARY SEWER LATERALS SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1.04% AND HAVE A 48" MINIMUM COVER OVER TOP OF PIPE.
- ALL LATERALS ARE REQUIRED TO HAVE TRACER WIRE INSTALLED ON THE TOP OF THE PIPE FROM THE SEWER MAIN TO THE CLEANOUT.
- CONTRACTOR TO REFER TO SITE LIGHTING PLAN FOR LOCATION OF LIGHT POLES. CONTRACTOR TO PROVIDE SUFFICIENT CONDUIT WHERE ELECTRIC LINES CROSS PAVEMENT.
- ALL UNDERGROUND UTILITY SERVICE LINES AND CONNECTIONS TO ADHERE TO THEIR RESPECTIVE COMPANY MINIMUM COVER REQUIREMENTS.
- ADJUSTMENTS EXCEEDING TWO TENTHS (0.2) OF A FOOT MUST BE APPROVED BY THE ENGINEER TO DETERMINE THE INTEGRITY OF THE STRUCTURE.

### LEGEND

- EXISTING SANITARY SEWER & MANHOLE
- EXISTING STORM SEWER; INLET & M.H.
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING FIRE HYDRANT
- EXISTING VALVE; GAS & WATER
- EXISTING ELECTRIC METER
- EXISTING WATER METER
- EXISTING TELEPHONE UTILITY BOX
- EXISTING CHAIN LINK FENCE
- PROPOSED WATER SERVICE w/ METER
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- HATCHING DENOTES CONCRETE WALKS AND PAVEMENT
- HATCHING DENOTES ASPHALT DRIVEWAY AND PARKING LOT
- EXISTING AREA LIGHT
- EXISTING OVERHEAD ELECTRIC POLE
- EXISTING TREE
- PROPOSED STORM SEWER; BEEHIVE, MANHOLE, & INLET

### TOPOGRAPHY NOTE

THE EXISTING GROUND ELEVATIONS, IMPROVEMENTS AND LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE AND FIELD MEASUREMENTS PERFORMED IN FEBRUARY 2024, ALONG WITH UTILITY MARKINGS PROVIDED BY 811. THE EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION.

### RIGHT-OF-WAY NOTE

DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF THE CONSTRUCTION TO DOCUMENT THE EXISTING CONDITION OF THE RIGHT-OF-WAY.



PER INDIANA STATE LAW 15-69-1991, IT IS AGAINST THE LAW TO EXCAVATE WITHOUT NOTIFYING THE UNDERGROUND LOCATION SERVICE TWO (2) WORKING DAYS BEFORE COMMENCING WORK.

### DEVELOPMENT SUMMARY

PR. BUILDING SIZE = 2,100 SF (0.05 AC)  
 DEVELOPED AREA = 0.25 AC ±  
 ZONING = VC  
 FRONT SETBACK = 2' MIN / 10' MAX  
 SIDE SETBACK = 0' MIN / 15' MAX  
 REAR SETBACK = 5' MIN / NONE  
 % LOT COVERAGE = 79.0%  
 ALLOWED LOT COVERAGE = 90%

### BOUNDARY NOTE

PROPERTY BOUNDARY AS SHOWN IS PURSUANT TO AN ALTA SURVEY PREPARED BY OTHERS, DATED 8-14-23

**ROGER WARD ENGINEERING INCORPORATED**  
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 INDIANAPOLIS, INDIANA 46220  
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 www.rw-engineering.com

### SITE & UTILITY PLAN

LANTERN ROAD BOUTIQUE  
 RESTAURANT/APARTMENT SITE  
 11466 LANTERN ROAD  
 FISHERS, IN



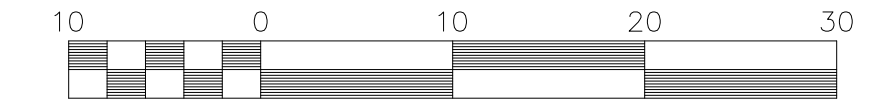
BY: *R. Ward*  
 DATE: 12/04/2024

SHEET  
**C102**  
 OF  
 47

**GRADING AND DRAINAGE NOTES**

1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
3. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 1.00%.
4. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
5. SLOPES SHALL NOT BE GREATER THAN 3:1 UNLESS OTHERWISE SPECIFIED.
6. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED BUILDING PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
7. FILL PLACED ON-SITE SHALL BE COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY (ASTM D-698). REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
8. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
9. ALL STORM SEWER TRENCHES ARE TO BE BACKFILLED WITH GRANULAR MATERIAL.
10. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AUTHORITY SHALL APPLY FOR ALL STORM SEWER CONSTRUCTION.
11. MAXIMUM SLOPE OF 2.00% IN HANDICAPPED PARKING AREAS.
12. ROOF DRAINS AND FOUNDATIONS DRAINS TO BE KEPT SEPARATE. REFER TO ARCHITECTURAL PLANS FOR LOCATION OF FOUNDATION DRAINS AND DOWNSPOUTS.
13. STORM SEWER TO HAVE A 30" (2.5 FT) MINIMUM COVER OVER TOP OF PIPE.
14. ADA RAMP IN RIGHT-OF-WAY ARE TO BE ADA COMPLIANT PER INDOT STANDARDS. DO NOT INSTALL DETECTABLE WARNING PLATES.

ASSUMED NORTH  
SCALE: 1"=10'



**LEGEND**

- EXISTING SANITARY SEWER & MANHOLE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- EXISTING FIRE HYDRANT
- EXISTING VALVE; GAS & WATER
- EXISTING ELECTRIC MANHOLE & TRANSFORMER
- EXISTING WATER METER
- HATCHING DENOTES ASPHALT PAVEMENT
- HATCHING DENOTES CONCRETE PAVEMENT
- CONSTRUCTION LIMITS
- SPOT ELEVATION - MATCH EXISTING GRADE
- SPOT ELEVATION
- SPOT ELEVATIONS FOR CURBS AND RETAINING WALLS
- GROUND ELEVATION
- DRAINAGE FLOW ARROW
- RIP-RAP
- DRAINAGE SWALE
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- PROPOSED STORM SEWER; BEEHIVE, MANHOLE, & INLET

**KEY NOTES**

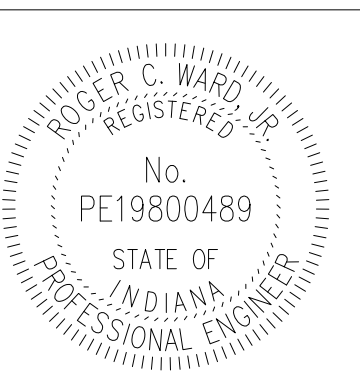
- 1 PROPOSED INSPECTION PORT FOR UNDERGROUND BASIN

**SITE NOTE**

NO EARTH DISTURBING ACTIVITY MAY COMMENCE WITHOUT AN APPROVED STORMWATER MANAGEMENT PERMIT.



REVISIONS:  
FILE NAME: S:\p03\SSF\001\DWG



BY: *Roger C. Ward*

DATE: 11/25/2024

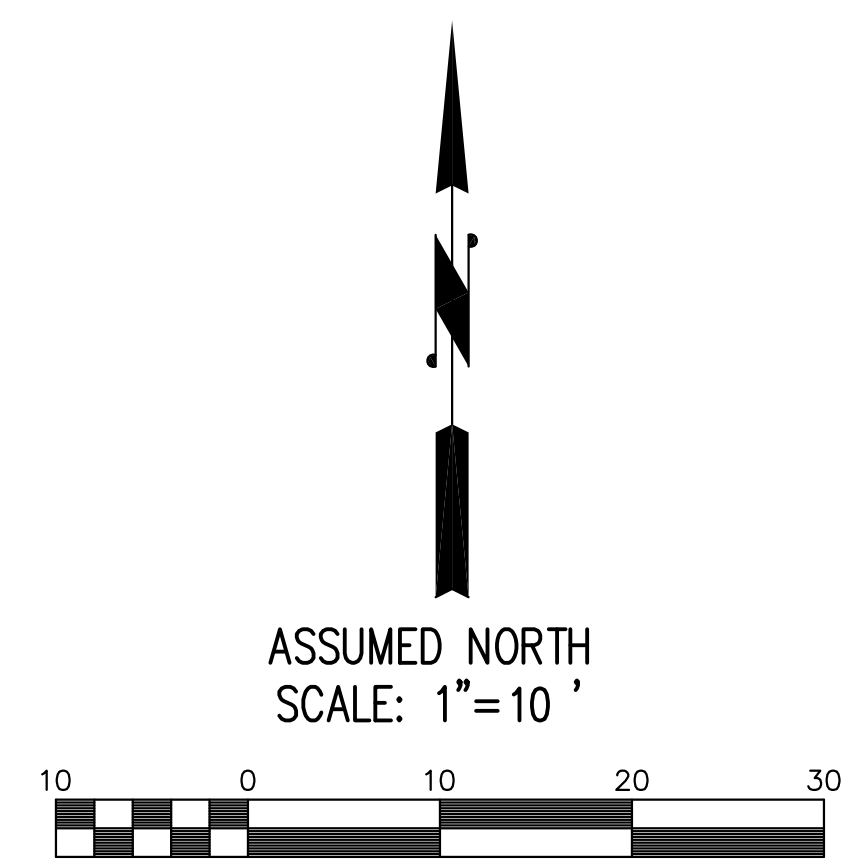
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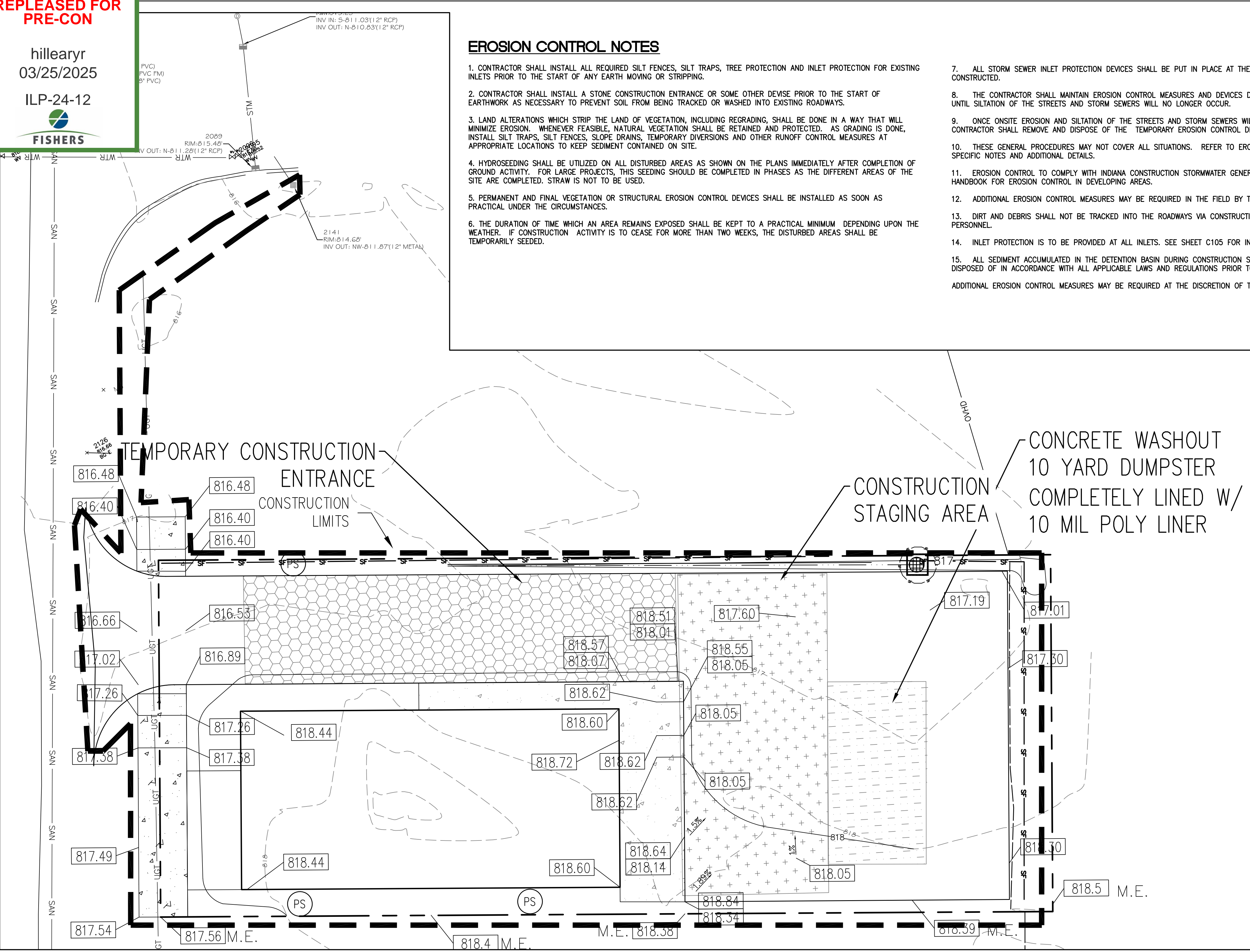


**EROSION CONTROL NOTES**

- CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
- CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
- LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
- HYDROSEEDING SHALL BE UTILIZED ON ALL DISTURBED AREAS AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED. STRAW IS NOT TO BE USED.
- PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
- THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN TWO WEEKS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
- ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
- THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR.
- ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
- THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
- EROSION CONTROL TO COMPLY WITH INDIANA CONSTRUCTION STORMWATER GENERAL PERMIT AND INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
- DIRT AND DEBRIS SHALL NOT BE TRACKED INTO THE ROADWAYS VIA CONSTRUCTION EQUIPMENT AND PERSONNEL.
- INLET PROTECTION IS TO BE PROVIDED AT ALL INLETS. SEE SHEET C105 FOR INLET PROTECTION DETAILS.
- ALL SEDIMENT ACCUMULATED IN THE DETENTION BASIN DURING CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS PRIOR TO FINAL GRADING. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE WPWD INSPECTOR.



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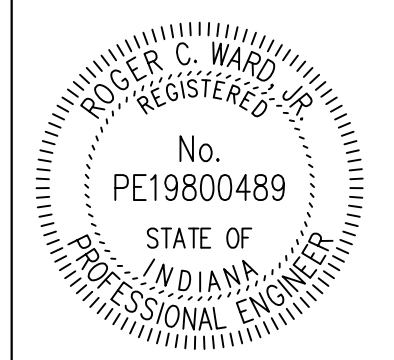


**LEGEND**

- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- EASEMENT BOUNDARY
- RIGHT-OF-WAY
- TEMPORARY SEEDING
- PERMANENT SEEDING
- LIMITS OF CONSTRUCTION
- SILT FENCE
- SILT FENCE INLET PROTECTION W/ SEDIMENT TRAP
- PAVED AREA INLET PROTECTION FOR EXISTING INLETS
- HATCHING DENOTES CONCRETE PAVEMENT
- TEMPORARY CHECK DAM

SWPPP (MASS GRADING)  
REVISIONS:  
FILE NAME: S:\papa\SSP\001\DWG

LANTERN ROAD BOUTIQUE RESTAURANT/APARTMENT SITE  
11466 LANTERN ROAD FISHERS, IN



BY: *R. Ward*  
DATE: 11/25/2024

SHEET C104b OF 47  
JOB#: SSF-001

**CSPP - CONSTRUCTION ENTRANCE TO SITE**

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY OR LOCAL REQUIREMENTS, WHOEVER HAS JURISDICTION.
- THE CONTRACTOR SHALL SWEEP THE CONSTRUCTION ENTRANCE AREA DAILY TO ENSURE THAT SOILS AND DEBRIS ARE CLEARED FROM THE ENTRANCE.
- ALL EXCAVATED MATERIAL SHALL BE HAULED OFF UPON EXCAVATION. THERE SHALL BE NO STOCKPILING OF MATERIAL ON-SITE.

**CONCRETE WASHOUT NOTES**

- CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON SITE.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- CONTRACTOR SHALL PLACE SANDBAGS AROUND WASHOUT AREAS LOCATED ON PAVEMENT FOR SECONDARY CONTAINMENT.
- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND/OR ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE.
- AT THE END OF CONSTRUCTION, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN ACCEPTED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS REMOVED, THE DISTURBED AREA SHALL BE CLEANED AND REPAIRED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY OF WESTFIELD.

**EROSION CONTROL CONTACT**

SPICY SICILIAN OF FISHERS, LLC  
ATTN: ANDREW WOJCIK  
8700 EAST 116th STREET, APT. 318  
FISHERS, IN 46038  
317-260-6944

**HYDROLOGIC UNIT CODE**

HUC 12: 051202011002

**REQUIRED STATE/FEDERAL WATER QUALITY PERMITS**

RULE 5 N.O.I.

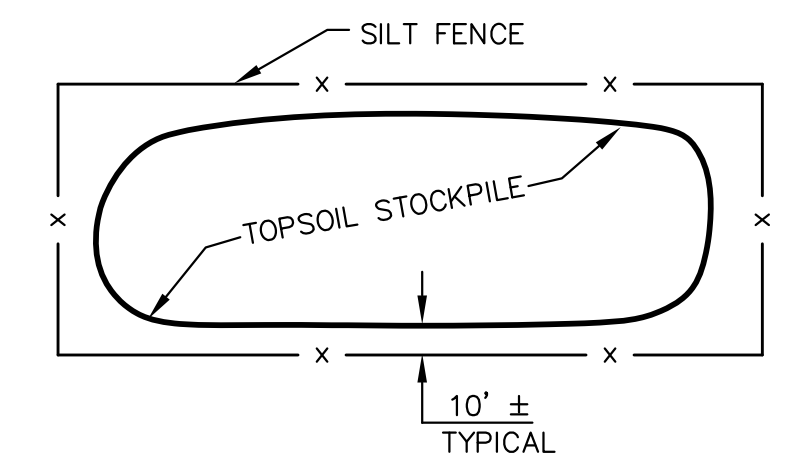
**SOILS MAP**

MAP UNIT: YcIA  
NAME: Crosby silt loam complex, 0 to 2 percent slopes

ANY AREAS OF THE SITE LEFT INACTIVE FOR MORE THAN 14 DAYS MUST BE TEMPORARY SEEDED AND STRAW MULCHED - SEE SHEET C105 FOR SEEDING SPECIFICATIONS.







TYPICAL TOPSOIL STOCKPILE

SOIL CONDITION	Soil Tolerance			Chlorine Tolerance	Trimming Tolerance	Nitrogen Tolerance	Sulfur Tolerance	Fluoride Tolerance (ppm)	Mature Height (inches)	Flowering Time (days)	Salt Tolerance		
	Wet	Norm	Dry								Gen.	Soil Spray	
Creeping Red Fescue Festuca rubra	2	1	2	1	1	1	Med.	1	20-25	12-18	7-21		S
Kentucky Bluegrass Poa pratensis	2	1	2	1	1	1	Med.	1	25-35	12-18	10-20		MT
Tall Fescue Festuca L. arundinacea	2	1	1	1	1	1	Low	1	24-35	24-36	5-14		T
Perennial ryegrass Lolium perenne	2	1	2	-	1	2	Med-High	2	15-20	12-18	5-10		MT
Crownvetch Coronilla varia	-	1	1	2	-	-	Low	1	5-10	24	14-21	T	
Red Clover Trifolium pratense	-	1	-	2	-	-	Med.	1	7-10	18	5-10	S	S

Ranking:  
1 Good  
2 Medium  
- Not tolerant

Salt Tolerance (to both soil salts & spray):  
T Tolerance  
MT Medium Tolerance  
S Slight Tolerance

FIGURE 5-4

Seedbed Preparation  
Apply lime to raise the pH to the level needed for species being seeded. Utilize phosphorus-free fertilizer unless required by soils test. Application of 150 lbs. of ammonium nitrate on areas low inorganic matter and fertility will greatly enhance vegetative growth.

Work the fertilizer and lime into the soil to a depth of 2-3 inches with a harrow, disk or rake operated across the slope as much as possible.

Seeding  
Select a seed mixture based on projected use of the area (Figure 5-2), while considering best seeding dates. See Figure 5-3 this sheet. If tolerances are a problem, such as salt tolerance of seedlings adjacent to streets and highways, see Figure 5-4 this sheet before final selection.

Mulch Rate  
Mulch is to be applied at 2,000 to 3,000 pounds per acre in areas not covered by erosion control blanketing. Mulch must be anchored using a mulch anchoring tool or farm disk with dull, serrated, straight set blades, or bulldozer cleats driven up and down slope.

Figure 5-2: Permanent Seed Mixtures

Species	Seeding Rate lbs/acre	Suitable pH lbs/1000 sq. ft.	Site Suitability*		
			Droughty	Drained	Wet
Level and Sloping, Open Areas					
1. Tall Fescue	35	.8	5.5-8.3	2	1 2
2. Tall Fescue Red Clover**	25	.6	5.5-8.3		1
3. Kentucky Bluegrass Creeping Red Fescue	15	.4	5.5-7.5	2	1
Steep Banks and Cuts					
4. Tall Fescue	15	.4	5.8-7.5	2	1 2
Kentucky Bluegrass	25	.6			
5. Tall Fescue Emerald Crownvetch**	35	.8	5.5-8.3	2	1
10	.25				
Lawns and High Maintenance Areas					
6. Kentucky Bluegrass Creeping Red Fescue	40	.9	5.8-7.5	2	1
7. Perennial Ryegrass (Turf Type)	170	4.0	5.0-7.5		1
8. Tall Fescue	170	4.0	5.5-8.3	2	1 2

\* 1 - Preferred 2 - Will Tolerate \*\* Inoculate with specific Inoculant.

Temporary Seeding Dates

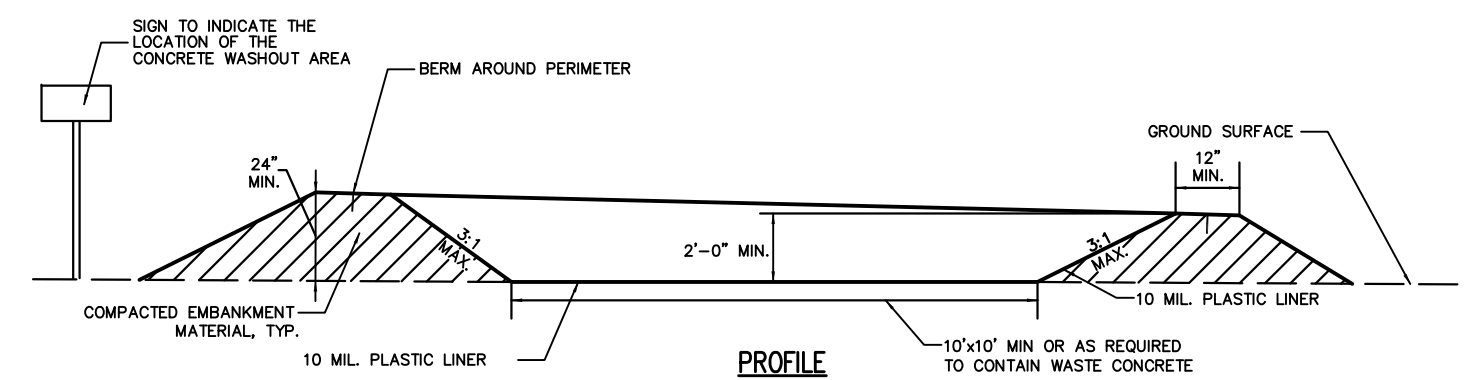
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Wheat or Rye												
Oats												
Annual Ryegrass												
Permanent Seeding Dates												
Non-Irrigated*												
Irrigated												
Dormant Seeding**												

Irrigation needed during this period. To control erosion at times other than in the shaded areas, use mulch.  
\* Late summer seeding dates may be extended 5 days if mulch is applied.  
\*\* Increase seeding application by 50%.

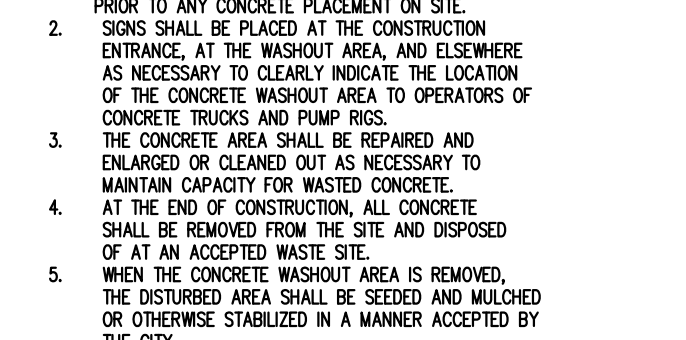
FIGURE 5-3

Kind of Seed	1000 Sq. Ft.	Acres	Remarks
Wheat or Rye	3.5 lbs.	2 bu.	Cover seed 1" to 1 1/2" deep
Spring Oats	2.3 lbs.	3 bu.	Cover seed 1" deep
Annual ryegrass	1 lb.	40 lbs.	Cover seed 1/4" deep*

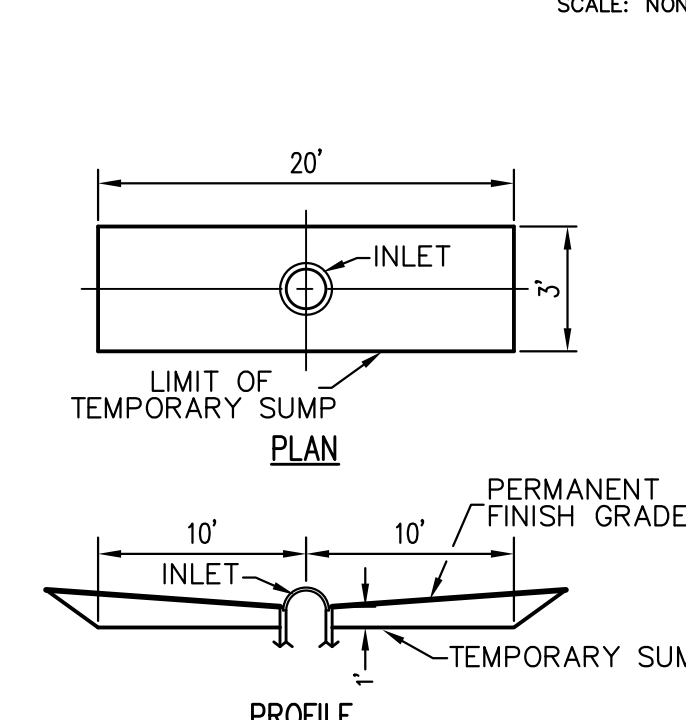
\* Not necessary where mulch is applied.



CONCRETE WASHOUT DETAIL SCALE: NONE



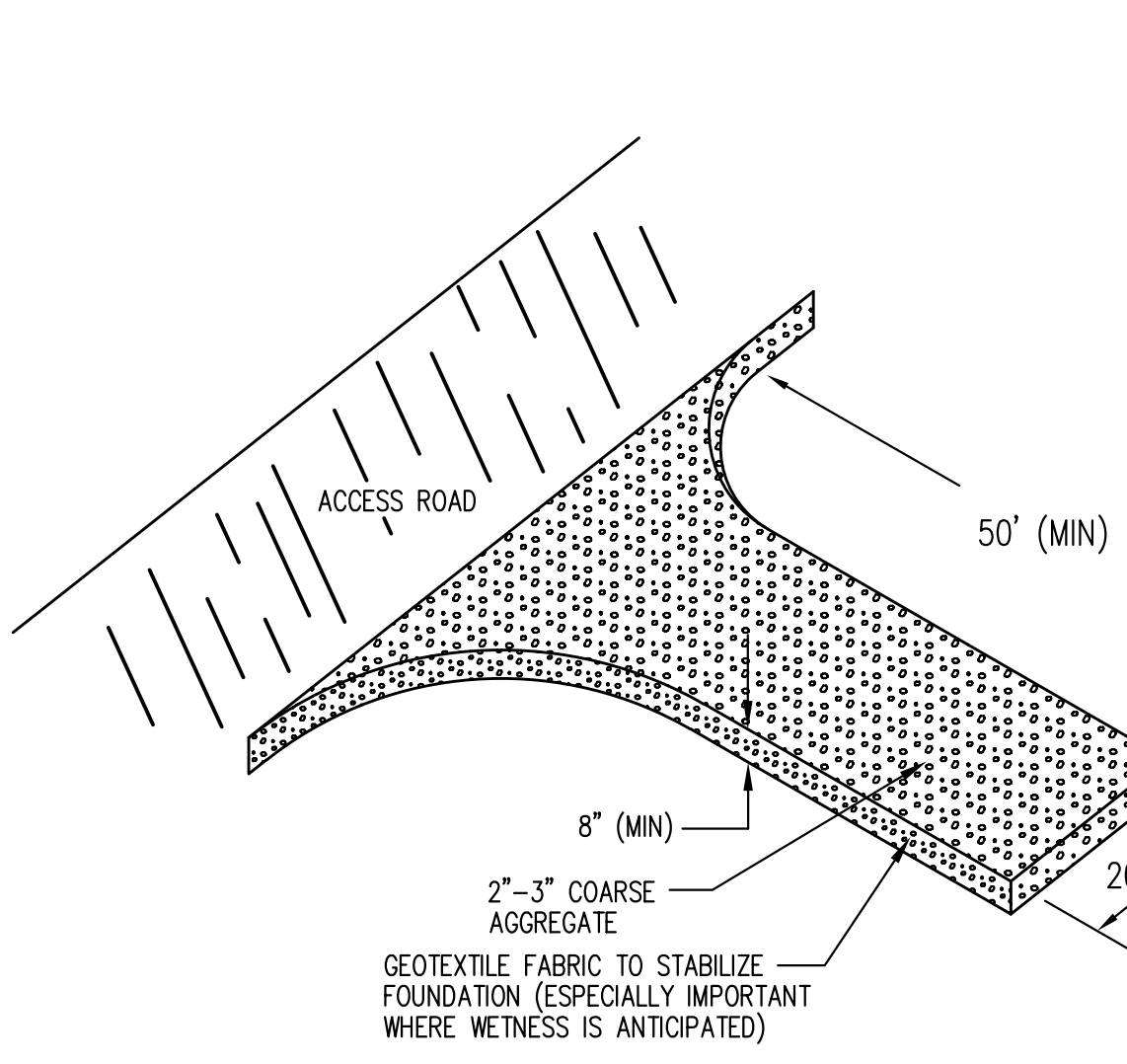
CONCRETE WASHOUT DETAIL SCALE: NONE



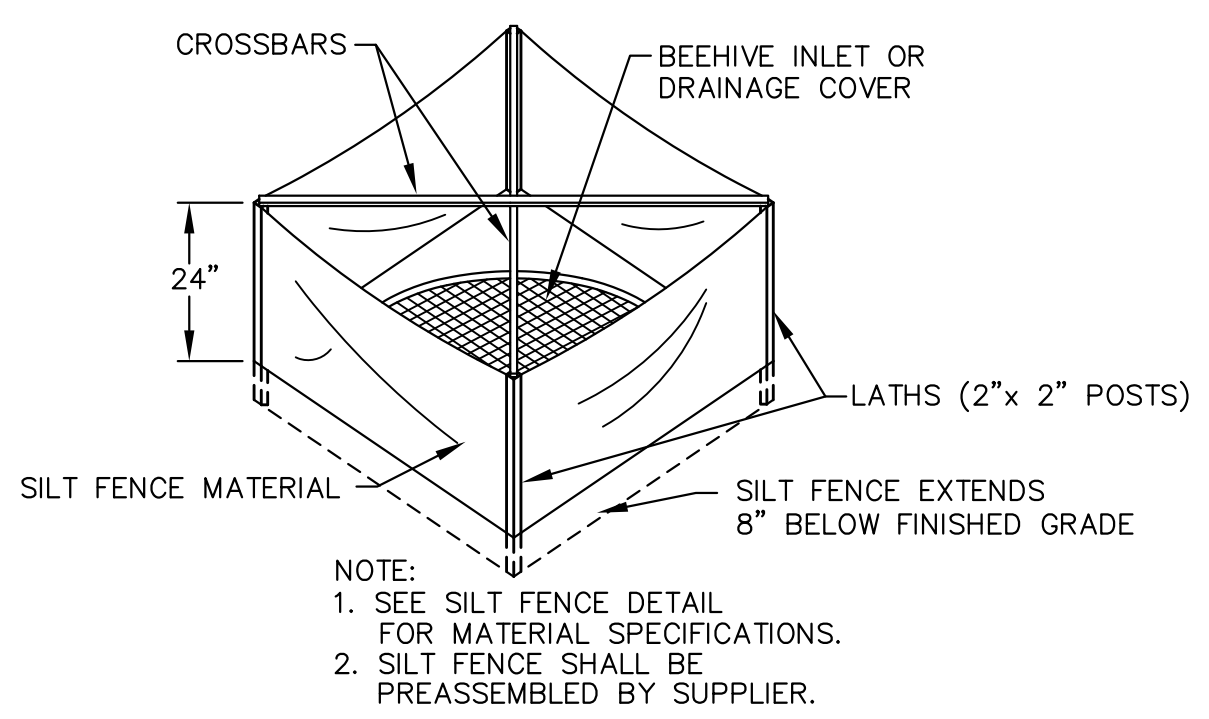
NOTE: TEMPORARY SILTATION SUMPS SHALL BE USED IN ALL AREAS AS SHOWN ON THIS PLAN UNTIL THE PAVEMENT IS PLACED. AT THAT TIME, SAND BAGS SHALL BE UTILIZED.

TEMPORARY SEDIMENT TRAP DETAIL SCALE: NONE

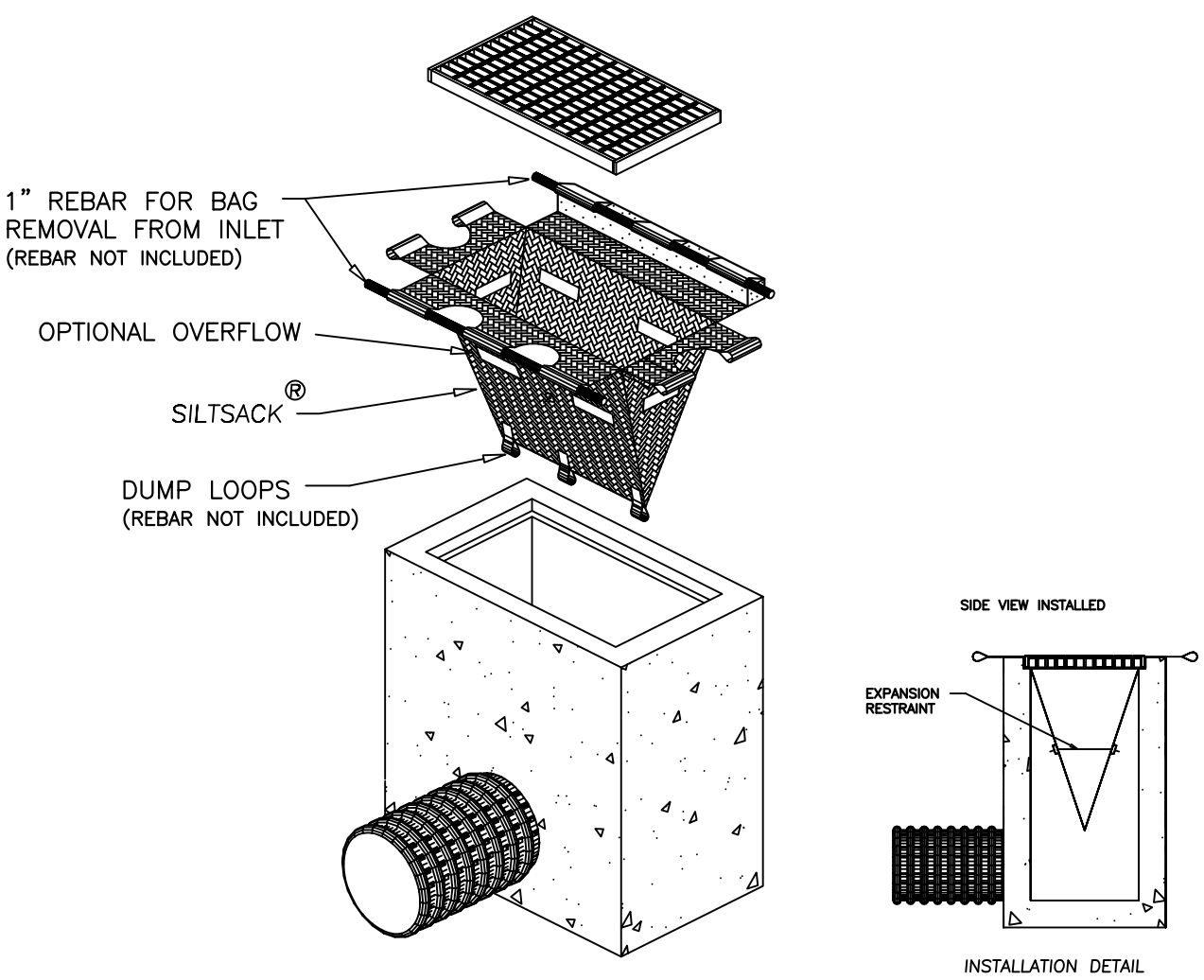
TEMPORARY CONSTRUCTION ENTRANCE DETAIL



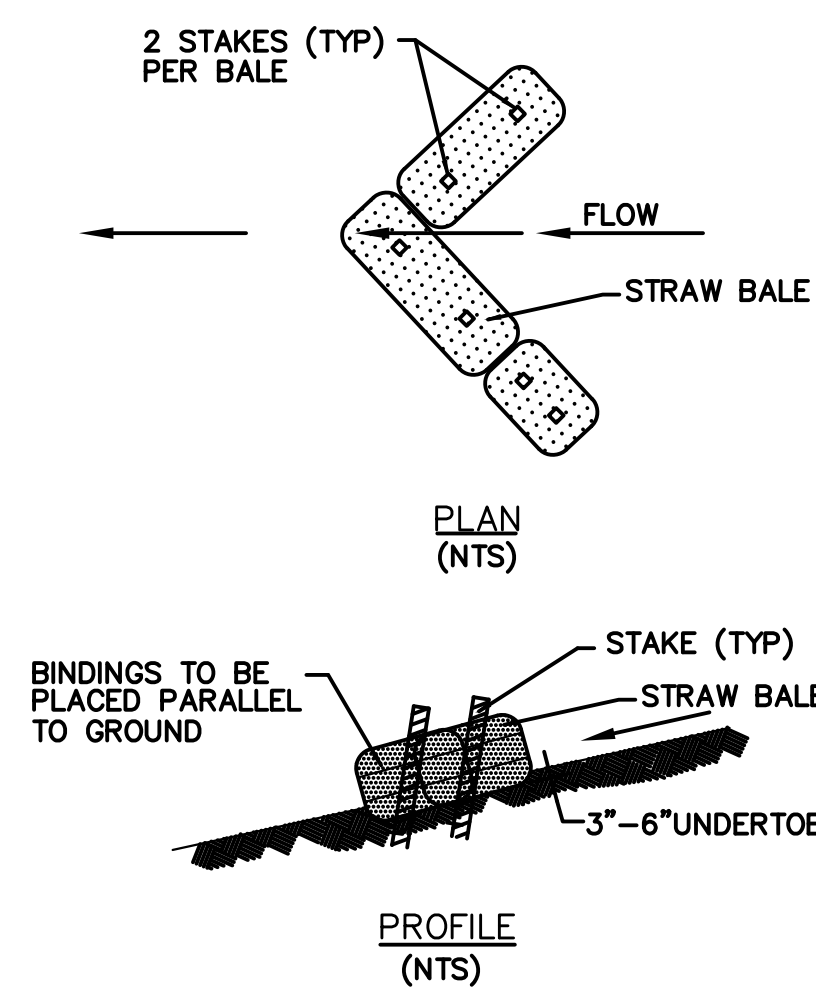
TEMPORARY CONSTRUCTION ENTRANCE DETAIL



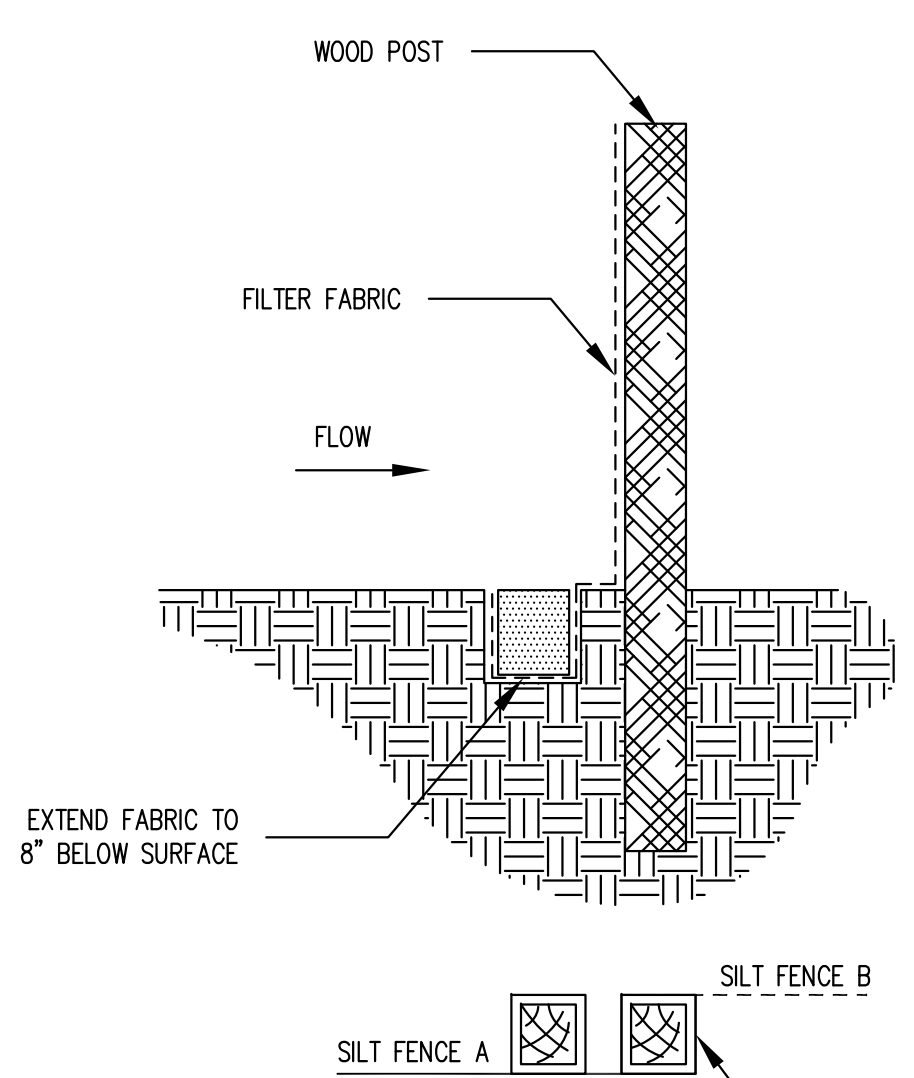
INLET PROTECTION - SILT FENCE



CATCH BASIN SEDIMENT INSERT NO SCALE

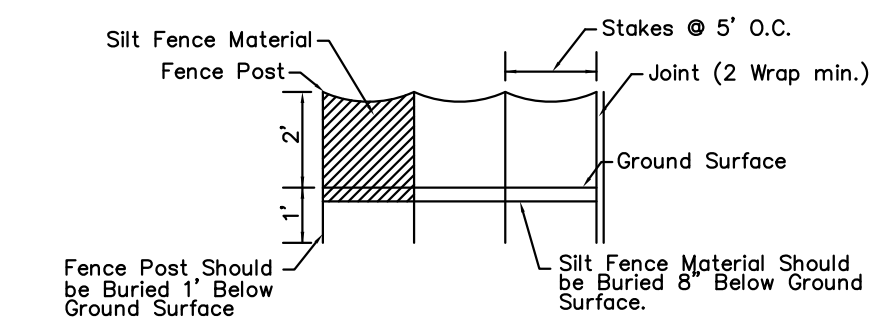


SEDIMENT FILTER DETAIL



SILT FENCE  
Silt Fence shall be a machine produced, non-woven geotextile of 100% polypropylene meeting the physical properties below.  
All stakes shall be 2" x 2" hardwood 36" tall with 24" tall lath stapled to stakes over fabric as reinforcement.  
All silt fence shall be prefabricated by the supplier. No field assembly will be accepted.

Fabric Weight.....	4 oz/syd
Grab Strength.....	Warp 125 lbs.
Elongation.....	Warp 50 %
Trapezoidal Tear Strength.....	50 lbs.
Burst Strength.....	200 psi
UV Resistance.....	> 70 %
A.O.S.....	50-80
Slurry Flow Rate.....	225 gpm/sq. ft
Sediment Retention.....	75 %



Silt Fence Material  
Fence Post  
Stakes @ 5' O.C.  
Joint (2 Wrap min.)  
Ground Surface  
Fence Post Should be Buried 1" Below Ground Surface  
Silt Fence Material Should be Buried 8" Below Ground Surface.

SILT FENCE DETAIL (N.T.S.)

RELEASED FOR PRE-CON

hillearyr  
03/25/2025

ILP-24-12



See Sheet C101

A7 - BOUNDARIES OF THE ONE HUNDRED (100) YEAR FLOODPLAINS, FLOODWAY FRINGES, AND FLOODWAYS No 100-YR floodplains, floodway fringes, and floodways exist on or adjacent to the site. Reference FIRM panel 18057C0234G, effective 11/19/2014.

A8 - LAND USE OF ALL ADJACENT PROPERTIES North: VC (Village Center) West: VC (Village Center) South: VC (Village Center) East: VC (Village Center)

A9 - IDENTIFICATION OF A U.S. EPA APPROVED OR ESTABLISHED TMDL West Fork White River (Marion County to Waverly) approved March 31, 2004.

A10 - NAME (S) OF THE RECEIVING WATER (S) : Runoff from the project site will ultimately discharge into White River. Vestal Ditch - White River HUC 12 -051202011002

A11 - IDENTIFICATION OF DISCHARGES TO A WATER ON THE CURRENT 303 (D) LIST OF IMPAIRED WATERS AND THE POLLUTANT (S) FOR WHICH IT IS IMPAIRED: White River (INW01A2\_02A): PCBs in fish tissue

A12 - SOILS MAP OF THE PREDOMINANT SOIL TYPES: For soils map see sheet C104c. USDA web soil survey mapping identified mostly Crosby silt loams. This soil is classified as C/D.

A13 - IDENTIFICATION AND LOCATION OF ALL KNOWN WETLANDS, LAKES, AND WATER COURSES ON OR ADJACENT TO THE PROJECT SITE There are no known wetlands, lakes, or water courses on site.

A14 - IDENTIFICATION OF ANY OTHER STATE OR FEDERAL WATER QUALITY PERMITS OR AUTHORIZATIONS THAT ARE REQUIRED FOR CONSTRUCTION ACTIVITIES: Notice of Intent, CSGP

A15 - IDENTIFICATION AND DELINEATION OF EXISTING COVER, INCLUDING NATURAL BUFFERS: The existing site consists of a grassy lawn. No natural buffers were identified on site.

A16 - EXISTING SITE TOPOGRAPHY: The existing site topography is depicted on C1.

A17 - LOCATIONS WHERE RUN-OFF ENTERS SITE: As indicated on C101 and C103, drainage generally enters the site from the southeast.

A18 - LOCATIONS WHERE RUN-OFF DISCHARGES EXISTING SITE: C101 indicates the existing runoff is collected by existing storm infrastructure to the north where it is eventually discharged to existing ditch and eventually the White River.

A19 - LOCATION OF EXISTING STRUCTURES ON THE PROJECT SITE: Existing infrastructure can be viewed on C101.

A20 - EXISTING STORMWATER MANAGEMENT FACILITIES: There are no existing stormwater management facilities on site.

A21 - LOCATIONS WHERE STORMWATER MAY BE DIRECTLY DISCHARGED INTO GROUND WATER, SUCH AS ABANDONED WELLS, SINKHOLES, OR KARST FEATURES Both detention BMPs represent a low probability discharge to groundwater.

A22 - SIZE OF THE PROJECT AREA EXPRESSED IN ACRES 0.25 AC

A23 - TOTAL EXPECTED LAND DISTURBANCE EXPRESSED IN ACRES 0.28 AC

A24 - PROPOSED FINAL TOPOGRAPHY The proposed grading can be found on C103.

A25 - LOCATION OF DISTURBED AREAS: C104a provides the limits of construction.

A26 - LOCATION, SIZE, DIMENSIONS OF DRAINAGE COMPONENTS: C103 provides the locations of all proposed drainage components with details being provided on C801.

A27 - LOCATION OF ALL SITE DISCHARGES: C103 provides the stormwater discharge of the site to existing stormwater infrastructure.

A28 - LOCATION OF ALL PROPOSED SITE IMPROVEMENTS: Sheet C102 identifies all proposed site activities with particular detail to the stormwater infrastructure provided on C103.

A29 - LOCATION OF ALL SOIL STOCKPILES: No offsite borrow areas are being used.

A30 - CONSTRUCTION SUPPORT ACTIVITIES THAT ARE EXPECTED TO BE PART OF THE PROJECT All Equipment staging and refueling areas will be located on-site. No offsite activities are projected for this project.

A31 - LOCATION OF ANY IN-STREAM ACTIVITIES THAT ARE PLANNED FOR THE PROJECT INCLUDING, BUT NOT LIMITED TO, STREAM CROSSINGS AND PUMP AROUNDS

Silt fence inlet protection is required on the proposed pavement inlets on. There is additional silt fence proposed along the hill on the southeast side and along the eastern side of the existing ditch. Temporary check dams are proposed at the end section and along the northeast swale prior to entry to the ditch.

B1 - DESCRIPTION OF THE POTENTIAL POLLUTANT GENERATING SOURCES AND POLLUTANTS, INCLUDING ALL POTENTIAL NON-STORMWATER DISCHARGES

Potential pollutants sources relative to a construction site may include, but are not limited to material and fuel storage areas; fueling locations, exposed soils and leaking vehicles/equipment. Potential pollutants that may appear at the site due to construction activities include, but are not limited to diesel fuel, gasoline, concrete and concrete washout, solid waste, sediment, paint and solvents, equipment repair products, anti-freeze and fertilizer. No Non-stormwater discharge sources were identified for this project site.

In order to contain potential pollutants several construction stage measures will be implemented. This includes a stable construction entrance, paved area inlet protection on and adjacent to the site, perimeter silt fencing, and temporary stabilization as necessary.

B2 - STABLE CONSTRUCTION ENTRANCE LOCATIONS AND SPECIFICATIONS A stone construction entrance will be located at the west of the site. See Sheet C104 for plan location and Sheet C105 for details and specifications.

B3 - SPECIFICATIONS FOR TEMPORARY AND PERMANENT STABILIZATION Seeding will be used as temporary surface stabilization measures as well as Permanent surface stabilization measures. The location of each surface stabilization measure are on sheets C104a, C104b, and C104c. The details and specifications for each stated measure are on sheet C105. Install temporary seeding after a specific stage of construction has been completed (temporary or final) where areas will be idle of construction activities for a period of 15 days or more.

B4 - SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS Temporary seeding will be used as erosion control measures for concentrated flows. The location of each measure is located on sheets C104b and C104c. The details and specifications for each stated sediment control measure is on sheet C105.

B5 - SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS Silt Fencing will be installed along the perimeter of the site. The location of each measure are on sheets C104a and C104b. The details and specifications for each stated measure are on sheet C105.

B6 - RUN-OFF CONTROL MEASURES N/A

B7 - STORMWATER OUTLET PROTECTION LOCATION AND SPECIFICATIONS The stormwater outlet protection is accomplished within the specified manhole structure which will discharge to the existing 30" CMP storm sewer.

B8 - GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECIFICATIONS Grade stabilization will be installed on all slopes 3:1 or greater. The location of each measure are on sheet C104. The details and specifications for each stated measure are on sheet C105.

B9 - DEWATERING APPLICATIONS AND MANAGEMENT METHODS Dewatering is not anticipated. Should the water table temporarily inhibit excavation measures, the water shall be pumped upstream above proposed silt fence to allow for sediment filtration as specified on C104.

B10 - MEASURES UTILIZED FOR WORK WITHIN WATERBODIES Contractor shall ensure that the straw wattle and all inlet protection silt fence are installed prior to the installation of the proposed manhole atop the 30" CMP at the site discharge location.

B11 - MAINTENANCE GUIDELINES FOR EACH PROPOSED STORMWATER QUALITY MEASURE

SILT FENCE

- 1. Inspect the silt fence periodically and after each storm event.
2. If fence fabric tears, starts to decompose, or in any way becomes ineffective, replace the affected portion immediately.
3. Remove deposited sediment when it reaches half the height of the fence at its lowest point or is causing the fabric to bulge.
4. Take care to avoid undermining the fence during clean out.
5. After the contributing drainage area has been stabilized, remove the fence and sediment deposits, bring the disturbed area to grade, and stabilize. Temporary sediment trap maintenance requirements
6. Promptly replace any displaced riprap, being careful that no stones in the spillway are above design grade.
7. After all disturbed areas have been stabilized, remove the structure and sediment, smooth the site to blend with adjoining areas, and stabilize.

GENERAL NOTES

- 1. CONTRACTOR TO SETUP PRECON MEETING WITH CITY OF FISHERS MS4 COORDINATOR PRIOR TO ANY DEMOLITION /EARTH DISTURBING ACTIVITIES. CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, SILT TRAPS, TREE PROTECTION AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
2. CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
3. LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE DONE IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS DONE, INSTALL SILT TRAPS, SILT FENCES, SLOPE DRAINS, TEMPORARY DIVERSIONS AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
4. ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY. FOR LARGE PROJECTS, THIS SEEDING SHOULD BE COMPLETED IN PHASES AS THE DIFFERENT AREAS OF THE SITE ARE COMPLETED.
5. PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
6. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM DEPENDING UPON THE WEATHER. IF CONSTRUCTION ACTIVITY IS TO CEASE FOR MORE THAN SEVEN DAYS, THE DISTURBED AREAS SHALL BE TEMPORARILY SEEDED.
7. ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
8. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES AND DEVICES DURING CONSTRUCTION AND UNTIL THE NOTICE OF TERMINATION IS APPROVED.
9. ONCE ONSITE EROSION AND SILTATION OF THE STREETS AND STORM SEWERS WILL NO LONGER OCCUR, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY EROSION CONTROL DEVICES.
10. THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
11. EROSION CONTROL TO COMPLY WITH INDIANA CONSTRUCTION STORMWATER GENERAL PERMIT AND INDIANA HANDBOOK FOR EROSION CONTROL IN DEVELOPING AREAS.
12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.

EROSION CONTROL BLANKET ( SURFACE APPLIED)

- 1. during vegetative establishment, inspect after storm events for any erosion below the blanket.
2. if any area shows erosion, pull back that portion of the blanket covering it, add soil, re-seed the area, and re-lay and staple the blanket.
3. after vegetative establishment, check the treated area periodically. temporary gravel construction entrance maintenance requirements
1. inspect entrance pad and sediment disposal area weekly and after storm events or heavy use.
2. reshape pad as needed for drainage and runoff control.
3. topdress with clean stone as needed.
4. immediately remove mud and sediment tracked or washed onto public roads by brushing or sweeping. flushing should only be used if the water is conveyed into a sediment trap or basin.
5. repair any broken road pavement immediately.

B12 - PLANNED CONSTRUCTION SEQUENCE THAT DESCRIBES THE IMPLEMENTATION OF STORMWATER QUALITY MEASURES IN RELATION TO LAND DISTURBANCE

step # 1: contractor to setup pre-construction meeting with the ms4 coordinator prior to construction. contractor to install construction staging area, place perimeter silt fence, existing inlet sediment protection, stable construction entrance prior to the pre-con meeting (1 week prior to the start of construction).

step # 2: overall earth work shall begin the second week of construction,including removing the existing surface preparing the building pad. temporary seed all disturbed areas if construction activities are not anticipated within ten days after initial disturbance. (throughout the duration of the project)

step # 3: construction of storm sewer, sanitary lateral, and utilities may begin.install inlet sediment barriers upon construction of inlets. An excavated drop inlet shall be placed until inlets have pavement around them and sediment barriers can be placed (within one month of construction),once the aquaswirl water quality units have been placed the units must be protected from construction phase sediment runoff. The units must be monitored and maintained as outlined in the post construction stormwater pollution prevention plan.

step # 4: contractor shall temporary seed any disturbed areas during construction of storm sewer, sanitary sewer, utilities or roadways. (throughout the duration of the project)

step # 5: finish grade slopes, & mounds. seed all areas as noted, and install erosion control blanketing where noted.

step # 6: complete drive aisles/parking areas. install pavement area inlet protection.

step # 7: construct building and final grade of landscape areas.

step # 8: install landscaping and final seeding. submit to IDEM Notice of Termination.

Note: install temporary seeding after a specific stage of construction has been completed (temporary or final) where areas will be idle of construction activities for a period of 15 days or more.

B13 - EROSION AND SEDIMENT CONTROL ON INDIVIDUAL RESIDENTIAL BUILDING LOTS N/A

B14 & B15 - MATERIAL HANDLING AND SPILL PREVENTION AND SPILL RESPONSE PLAN MEETING THE REQUIREMENTS IN 327 IAC 2-6.1:

Expected materials that may appear at the site due to construction activities include, but are not limited to petroleum products, fertilizers, paint and solvents, and concrete. Materials shall be stored in the designated material storage area.

Spill prevention for vehicle and equipment fueling shall conform to the following practices: vehicle equipment fueling procedures and practices are designed to prevent fuel spills and leaks, and reduce or eliminate contamination of stormwater. This can be accomplished by using offsite facilities, fueling in designated areas only, enclosing or covering stored fuel, implementing spill controls, and training employees and subcontractors in proper fueling procedures. Limitations: Onsite vehicle and equipment fueling should only be used where it is impractical to send vehicles and equipment offsite for fueling. Sending vehicles and equipment offsite should be done in conjunction with a Stabilized Construction Entrance/Exit. Implementation: Use offsite fueling stations as much as possible. Discourage "topping-off" of fuel tanks. Absorbent spill cleanup materials and spill kits should be available in fueling areas and on fueling trucks, and should be disposed of properly after use. Drip pans or absorbent pads should be used during vehicle and equipment fueling, unless the fueling is performed over an impermeable surface in a dedicated fueling area. Use absorbent materials on small spills. Do not hose down or bury the spill. Remove the absorbent materials promptly and dispose of properly. Avoid mobile fueling of mobile construction equipment around the site; rather, transport the equipment to designated fueling areas. Train employees and subcontractors in proper fueling and cleanup procedures. Dedicated fueling areas should be protected from stormwater runoff and runoff, and should be located at least 50 ft away from downstream drainage facilities and watercourses. Fueling must be performed on level-grade area. Protect fueling areas with berms and dikes to prevent runoff, runoff, and to contain spills. Nozzles used in vehicle and equipment fueling should be equipped with an automatic shutoff to control drips. Fueling operations should not be left unattended. Federal, state, and local requirements should be observed for any stationary above ground storage tanks.

Vehicles and equipment should be inspected each day of use for leaks. Leaks should be repaired immediately or problem vehicles or equipment should be removed from the project site. Keep ample supplies of spill cleanup materials onsite. Immediately clean up spills and properly dispose of contaminated soils.

Spill prevention for solid waste shall conform to the following practices: Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers, arranging for regular disposal, and training employees and subcontractors. Solid waste generated from trees and shrubs removed during land clearing, demolition of existing structures, and building construction. Packaging materials including wood, paper, and plastic. Scrap or surplus building materials including scrap metals, rubber, plastic, glass pieces and masonry products. Domestic wastes including food containers such as beverage cans, coffee cups, paper bags, plastic wrappers, and cigarettes. Construction wastes including brick, mortar, timber, steel and metal scraps, pipe and electrical cuttings, non-hazardous equipment parts, Styrofoam and other package construction materials. Select designated waste collection areas onsite. Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Inspect dumpsters for leaks and repair any dumpster that is not watertight. Provide an adequate number of containers with lids or covers that can be placed over the container to keep rain out or to prevent loss of wastes when it is windy. Plan for additional containers and more frequent pickup during the demolition phase of construction. Collect site trash daily, especially during rainy and windy conditions. Remove this solid waste promptly since erosion and sediment control devices tend to collect litter. Make sure that toxic liquid wastes (sued oils, solvents and paints) and chemicals (acids, pesticides, additives, curing compounds) are not disposed of in dumpsters designed for construction debris. Do not hose out dumpsters on the construction site. Leave dumpster cleaning to the trash hauling contractor. Arrange for regular waste collection before containers overflow. Clean up immediately if a container does spill. Make sure that construction waste is collected, removed, and disposed of only at authorized disposal areas. Solid waste storage areas should be located at least 50 ft from drainage facilities and watercourses and should not be located in areas prone to flooding or ponding. Inspect construction waste area regularly. Arrange for regular waste collection.

Spill prevention for concrete washout shall conform to the following practices: Store dry and wet materials under cover, away from drainage areas. Avoid mixing excess amounts of fresh concrete. Perform washout of concrete trucks offsite or in designated areas only. Do not wash out concrete trucks into storm drains, open ditches, streets, or streams. Do not allow excess concrete to be dumped onsite, except in designated areas. Locate washout areas at least 50 ft from storm drains, open ditches, or water bodies. Do not allow runoff from this area by constructing a temporary pit or bermed area large enough for liquid and solid waste. Wash out wastes into the temporary pit where the concrete can set, be broken up, and then disposed properly. Avoid creating runoff by draining water to a bermed or level area when washing concrete to remove fine particles and expose the aggregate. Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose in the trash. The cleanup parameters shall conform to the following practices: The developer / homeowners association shall be continually kept informed, maintain lists of qualified contractors and available Vac-trucks, tank pumps and other equipment readily accessible for cleanup operations. In addition, a continually updated list of available absorbent materials and cleanup supplies should be kept on site. All maintenance personnel will be made aware of techniques for prevention of spills. They will be informed of the requirements and procedures outlined in this plan. They will be kept abreast of current developments or new information on the prevention of spills and / or necessary alteration to this plan. When spills occur which could endanger human life and this become primary concern, the discharge of the life saving protection function will be carried out by the local police and fire departments. Absorbent materials, which are used in cleaning up spilled materials, will be disposed of in a manner subject to the approval of the Indiana Department of Environmental Management. Flushing of spilled material with water will not be permitted unless so authorized by the Indiana Department of Environmental Management.

B14 & B15 - Cont.

Spill prevention for vehicle and equipment maintenance shall conform to the following practices: Prevent or reduce the contamination of stormwater resulting from vehicle and equipment maintenance by running a "dry and clean site". The best option would be to perform maintenance activities at an offsite facility. If this option is not available then work should be performed in designated areas only, while providing cover for materials stored outside, checking for leaks and spills, and containing and cleaning up spills immediately. These procedures are suitable on all construction projects where an onsite yard area is necessary for storage and maintenance of heavy equipment and vehicles. Onsite vehicle and equipment maintenance should only be used where it is impractical to send vehicles and equipment offsite for maintenance and repair. Sending vehicles / equipment offsite should be done in conjunction with a stabilized construction entrance / exit. Out door vehicle or equipment maintenance is a potentially significant source of stormwater pollution. Activities that can contaminate stormwater include engine repair and service, changing or replacement of fluids, and outdoor equipment storage and parking (engine fluid leaks). If maintenance must occur onsite, use designated areas, located away from drainage courses. Dedicated maintenance areas should be protected from stormwater runoff and runoff, and should be located at least 50 ft from downstream drainage facilities and water courses. Drip pans or absorbent pads should be used during vehicle and equipment maintenance work that involves fluids, unless the maintenance work is performed over and impermeable surface in a dedicated maintenance area. Place a stockpile of spill cleanup materials where it will be readily accessible. All fueling trucks and fueling areas are required to have spill kits and/or use other spill protection devices. Use absorbent materials on small spills. Remove the absorbent materials promptly and dispose of properly. Inspect onsite vehicles and equipment daily at startup for leaks, and repair immediately. Deep vehicles and equipment clean; do not allow excessive buildup of oil and grease. Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic and transmission fluids. Provide secondary containment and covers for these materials if stored onsite.

Train employees and subcontractors in proper maintenance and spill cleanup procedures. Drip pans or plastic sheeting should be placed under all vehicles and equipment placed on docks, barges, other structures over water bodies when the vehicle or equipment is planned to be idle for more than 1 hour. Properly dispose of used oils, fluids, lubricants, and spill cleanup materials. Properly dispose of or recycle used batteries. Do not place used oil in a dumpster or pour into a storm drain or water course. Properly dispose of used oils, fluids, lubricants, and spill cleanup materials. Do not bury tires. Repair leaks of fluids and oil immediately.

Spill prevention for fertilizers shall conform to the following practices: Fertilizer's used will be applied only in the minimum amounts recommended by the manufacturer. Once applied, fertilizer will be worked into the soil to limit exposure to storm water. The contents of any partially used bags of fertilizer will be transferred to a sealable plastic bin to avoid spills.

Spill prevention for paint and solvents shall conform to the following practices: All containers will be tightly sealed and stored when not required for use. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM but will be properly disposed of according to manufacturers' instructions or State or local regulations.

Spill prevention and cleanup shall conform to IDEM form 327 IAC 2-6 and the Indianapolis Fire Department (317-327-3811) and IDEM Spill Response Center (888-233-7745) shall be contacted in the case of a material spill occurring.

C1 - DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATED WITH THE PROPOSED LAND USE

The final land use for the site will be an apartment complex. Potential pollutant sources that may appear at the site due to proposed land use activities, but are not limited to vehicles, exposed soil and trash. Potential pollutants include, but are not limited to oil, grease, antifreeze, brake fluid, brake dust, rubber fragments, gasoline, diesel fuel and other hydrocarbons, metals from vehicular and other sources, grit (sediment) from wearing of the road surface and falling or washing off of vehicles, trash (including bacteria and other biological agents contained in the trash) from littering and other types of improper disposal or storage, and elevated receiving water temperatures from stormwater run-off contact with impervious surfaces.

C2 - DESCRIPTION OF PROPOSED POST-CONSTRUCTION STORMWATER MEASURES

A stormwater quality swale and dry detention basin will be used for the post construction stormwater measures. The water quality swale will utilize permeable soils to discharge to a subsurface drain as the primary outlet. An overflow weir is required as shown on C103 should the soils and SSD system fail to maintain to meet design goals. The dry detention basin will outlet via the prescribed outlet structure. These systems may require routine maintenance as mandated by the Operation and Maintenance Manual available from the site Owner.

C3 - PLAN DETAILS FOR EACH STORMWATER MEASURE

All details of the proposed stormwater infrastructure found on C103 and C104 should be referenced on C801 and C802.

C4 - SEQUENCE DESCRIBING STORMWATER MEASURE IMPLEMENTATION

The stormwater quality swale will be installed as a part of the stormwater construction activities. After final landscaping and seeding and the completion of all construction activities, it is the responsibility of the Contractor/Responsible entity to remove any trash or sedimentation from the swale and detention basin. See Maintenance guidelines for post-construction stormwater measures below.

C5 - MAINTENANCE GUIDELINES FOR PROPOSED POST-CONSTRUCTION STORMWATER MEASURES

An Operations & Maintenance Manual has been prepared for this site. The Owner is responsible for implementing and reporting the post-construction water quality measures as outlined in the O&M Manual.

Any debris in the parking areas should be picked up and placed in the trash receptacle. The parking area shall be kept clean and be swept every 3 months.

Storm Sewer System

Inspect the system every six months. Evaluate the condition of the system and confirm no riprap failures, storm drains are in good condition with no evidence of non-stormwater discharges or excessive sedimentation, inlet and outlet structures are in good repair with no cracks or excessive sediments in the structures, castings well seated and office openings free of obstructions. Inspect and clean the system once annually. Call a local company to remove sediments, oil, and other floatable pollutants as required. Dispose of all waste in accordance with federal, state and local requirements. Water and sediment from cleaning procedures should NOT be dumped into a sanitary sewer.

Dry Detention Basin

inspect every 6 months during the first year of operation. adjust the inspection interval based on previous observations of sediment accumulation and high water elevations. Conduct jetting and vactoring annually and when the inspection shows that maintenance is necessary.

Stormwater Quality Swale

Inspect the swale every six months and clean the system as needed. Inspect and clean the system once annually regardless of whether it has reached its sediment or floatable pollutant storage capacity. Call a local vector company to remove sediments, oil, and other floatable pollutants with a vector. Dispose of all waste in accordance with federal, state and local requirements. Water and sediment from cleaning procedures should NOT be dumped into a sanitary sewer.

C6 - ENTITY RESPONSIBLE FOR OPERATION AND MAINTENANCE OF PC STORMWATER MEASURES

The Spicy Sicilian of Fishers, LLC will be the entity in perpetuity responsible for the continuing function of the stormwater measures proposed herein. To reach the current personnel, email Andrew Wojcik @ ajwojck4@gmail.com.



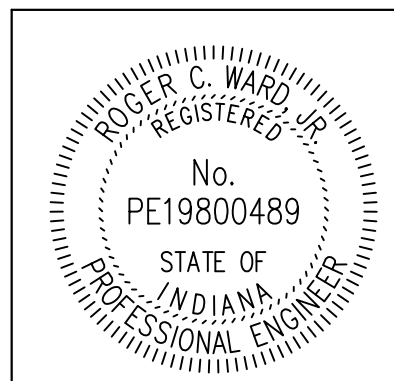
6655 CARROLLTON AVENUE INDIANAPOLIS INDIANA 46220 (317) 251-1736 (FAX) 251-1923 www.rw-engineering.com

EROSION CONTROL NOTES

REVISIONS:

FILE NAME: S:\paw\SSF\001\DWG

LANTERN ROAD BOUTIQUE RESTAURANT/APARTMENT SITE 11466 LANTERN ROAD FISHERS, IN

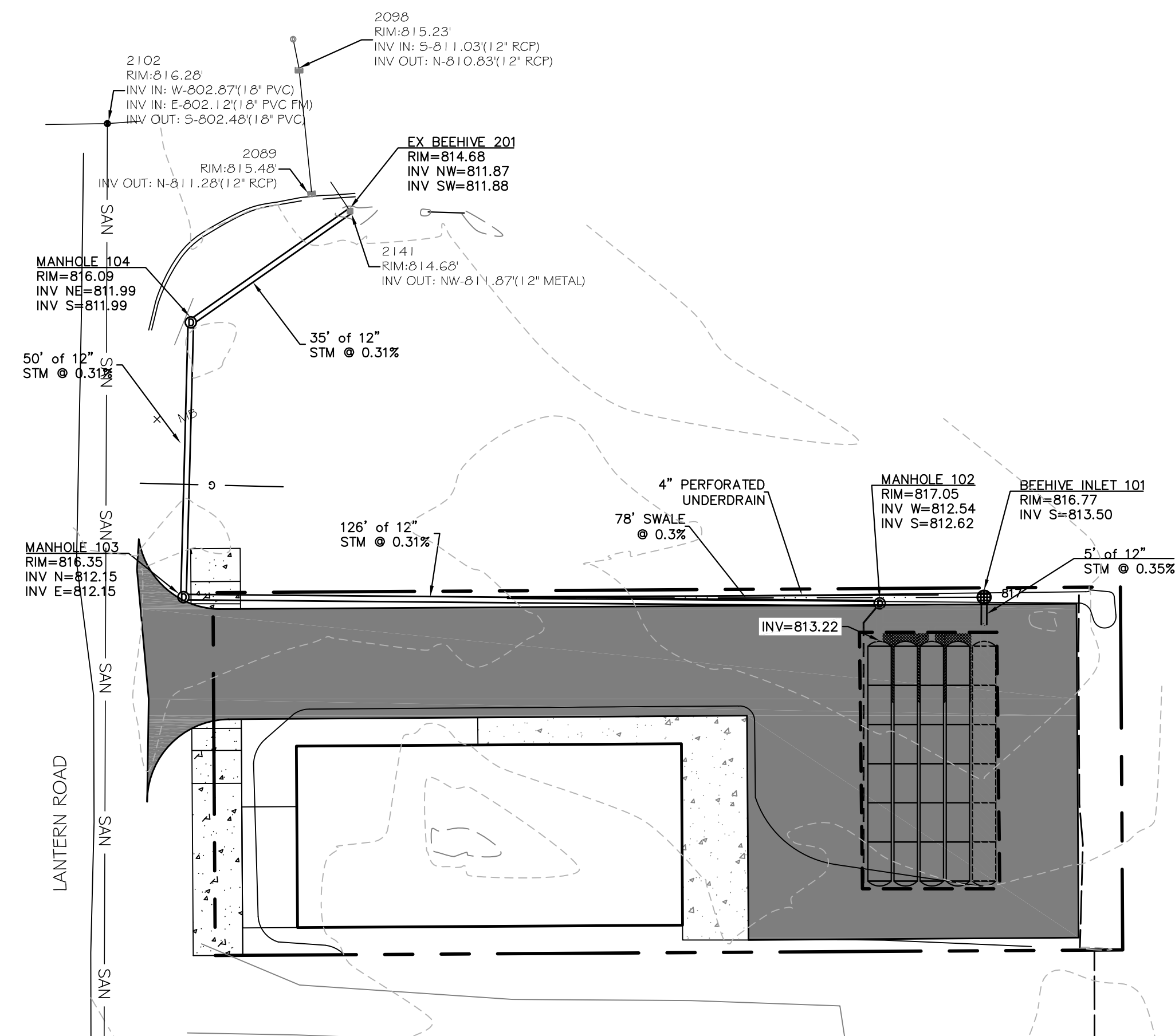


BY: [Signature]

DATE: 11/25/2024

SHEET C106 OF 47

JOB#: SSF.001



ASSUMED NORTH  
SCALE: 1" = 20'



- LEGEND**
- SAN - EXISTING SANITARY SEWER & MANHOLE
  - S - EXISTING STORM SEWER INLET & MANHOLE
  - S - PROPOSED STORM SEWER, INLET, BEE HIVE INLET & END SECTION W/ RIP-RAP
  - 710 - EXISTING CONTOUR LINE
  - 710 - PROPOSED CONTOUR LINE
  - 6" SSD - SUB-SURFACE DRAIN (SSD)
  - - - - EASEMENT BOUNDARY
  - - - - EXISTING RIGHT-OF-WAY



**GENERAL NOTES**

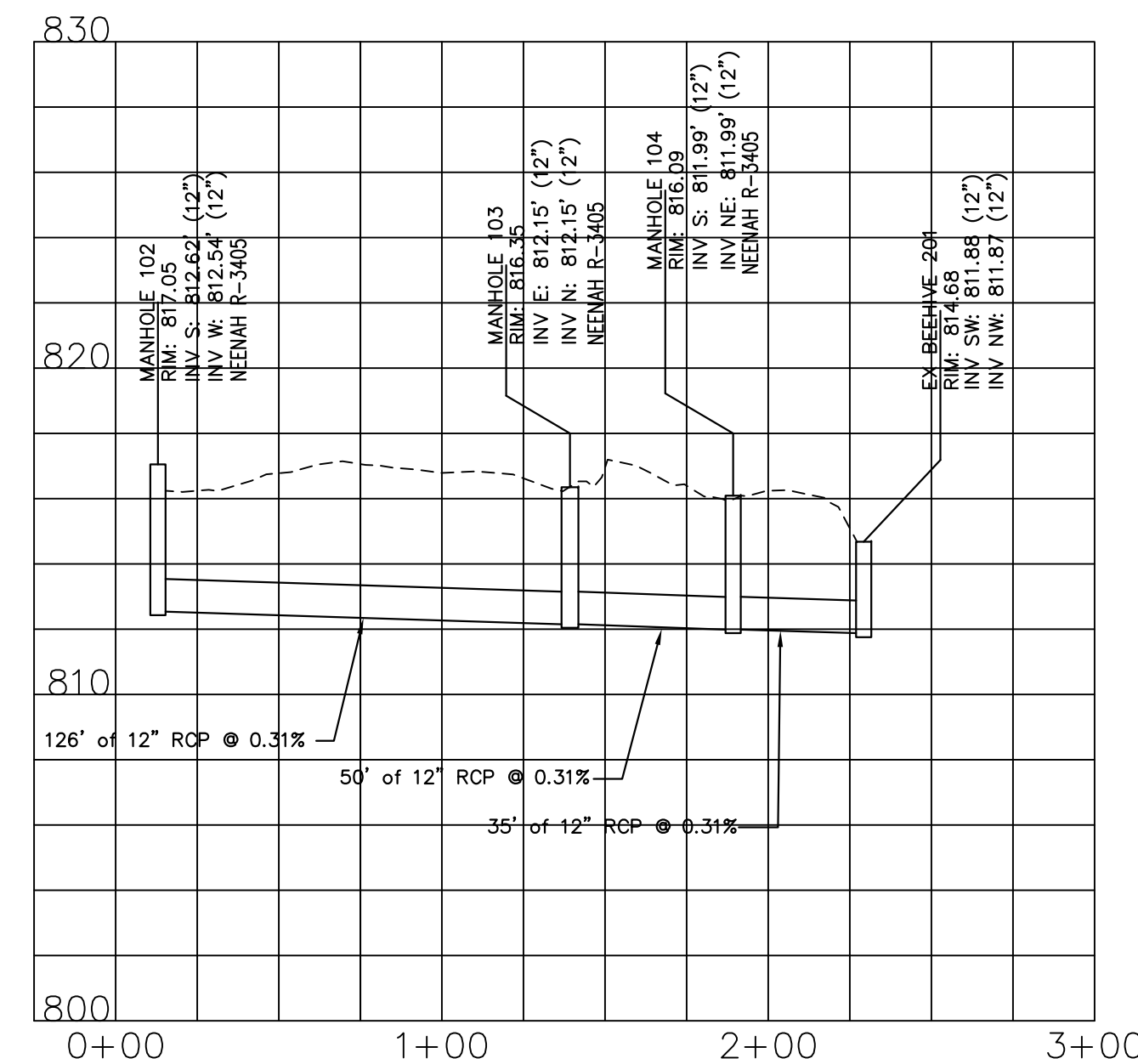
1. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
2. ALL SWALES SHALL HAVE A MINIMUM SLOPE OF 1.00%.
3. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
4. SLOPES SHALL NOT BE GREATER THAN 3:1 UNLESS OTHERWISE SPECIFIED.
5. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED BUILDING PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE DONE.
6. ALL FILL AREAS UNDER FLOOR SLABS, ADJACENT TO FOUNDATIONS AND OVER FOUNDATIONS SHOULD BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR DENSITY (ASTM D-698). FILL SUPPORTING FOOTINGS SHOULD BE COMPACTED TO 100% STANDARD PROCTOR DENSITY (ASTM D-698). IN CUT AREAS, WHERE PAVEMENT IS PLANNED, THE UPPER 10" SHOULD BE SCARIFIED AND COMPACTED TO 100% OF THE STANDARD PROCTOR DENSITY (ASTM D-698).
7. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
8. ANY PART OF STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVED AREAS IS TO BE BACKFILLED WITH GRANULAR MATERIAL. ANY TRENCHES WITHIN RIGHT-OF-WAY TO BE BACKFILLED PER CITY STANDARDS.
9. STANDARD SPECIFICATIONS FOR THE LOCAL GOVERNING AUTHORITY SHALL APPLY FOR ALL STORM SEWER CONSTRUCTION.
10. REFER TO PLUMBING PLANS FOR SIZES AND INVERTS OF ROOF DRAINS AS THEY EXIT THE BUILDING.

**STORM SEWER NOTE**

THE STORM SEWER SYSTEM SHALL BE CONSTRUCTED PER DESIGN SPECIFIED AND AS APPROVED BY THE CITY OF FISHERS ON THE FINAL APPROVED CONSTRUCTION PLANS. DEVIATIONS FROM THE APPROVED DESIGN SHALL ONLY BE PERMITTED DUE TO SPECIAL CIRCUMSTANCES OR DIFFICULTY DURING CONSTRUCTION AND WILL REQUIRE PRIOR FIELD APPROVAL FROM A DESIGNATED REPRESENTATIVE OF THE CITY OF FISHERS IN ADDITION TO SUPPLEMENTAL APPROVAL BY THE DESIGN ENGINEER. AN EXPLANATION OF ANY SUCH DEVIATION SHALL BE INCLUDED AS A REQUIREMENT ON AS-BUILT/RECORD DRAWINGS SUBMITTED FOR RELEASE OF PERFORMANCE GUARANTEES. APPROVED DESIGN SLOPES IDENTIFIED AS GENERATING VELOCITIES OF 2.5 FPS OR LESS OR 10 FPS OR GREATER (AT FULL FLOW CAPACITY) SHALL REQUIRE AS-BUILT CERTIFICATION AT THE TIME OF CONSTRUCTION, PRIOR TO BACKFILLING THE PIPE. THE CONTRACTOR IS INSTRUCTED TO AS-BUILT EACH SECTION OF STORM PIPE AS IT IS BEING INSTALLED TO ENSURE COMPLIANCE WITH THE DESIGN PLANS AND AS APPROVED BY THE CITY OF FISHERS.

**STORM PLAN**

SCALE: 1" = 50'



**STORM PROFILE**

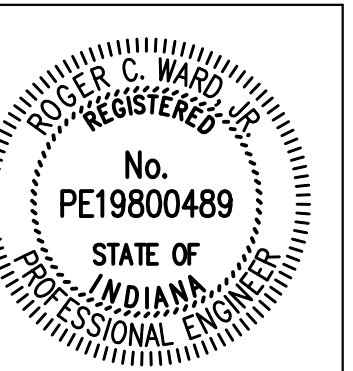
- LEGEND**
- - - Existing Grade

SCALE: HORZ.: 1" = 50'  
VERT.: 1" = 5'

**STORM SEWER PLAN & PROFILE**

DRAWN BY: RCW  
DATE: 03/10/23  
FILE NAME: SSF (04) (V0) (001)  
REF:  
REVISIONS:  
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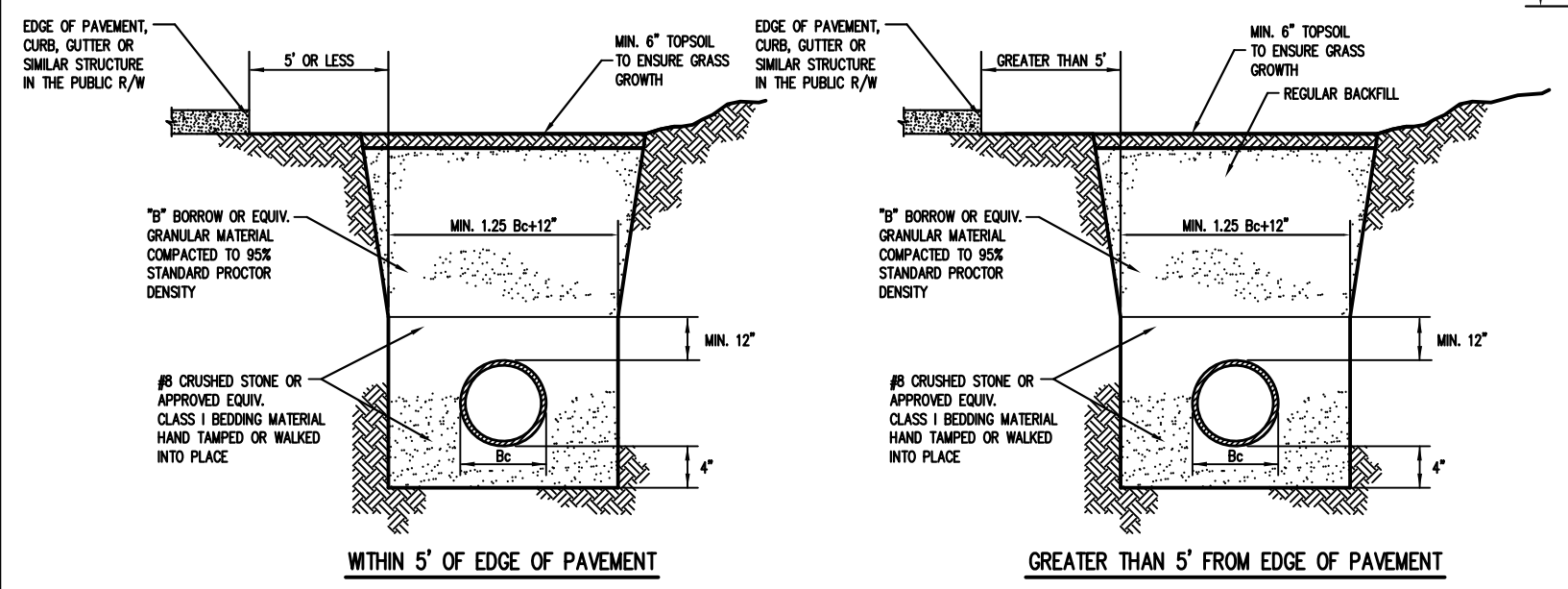
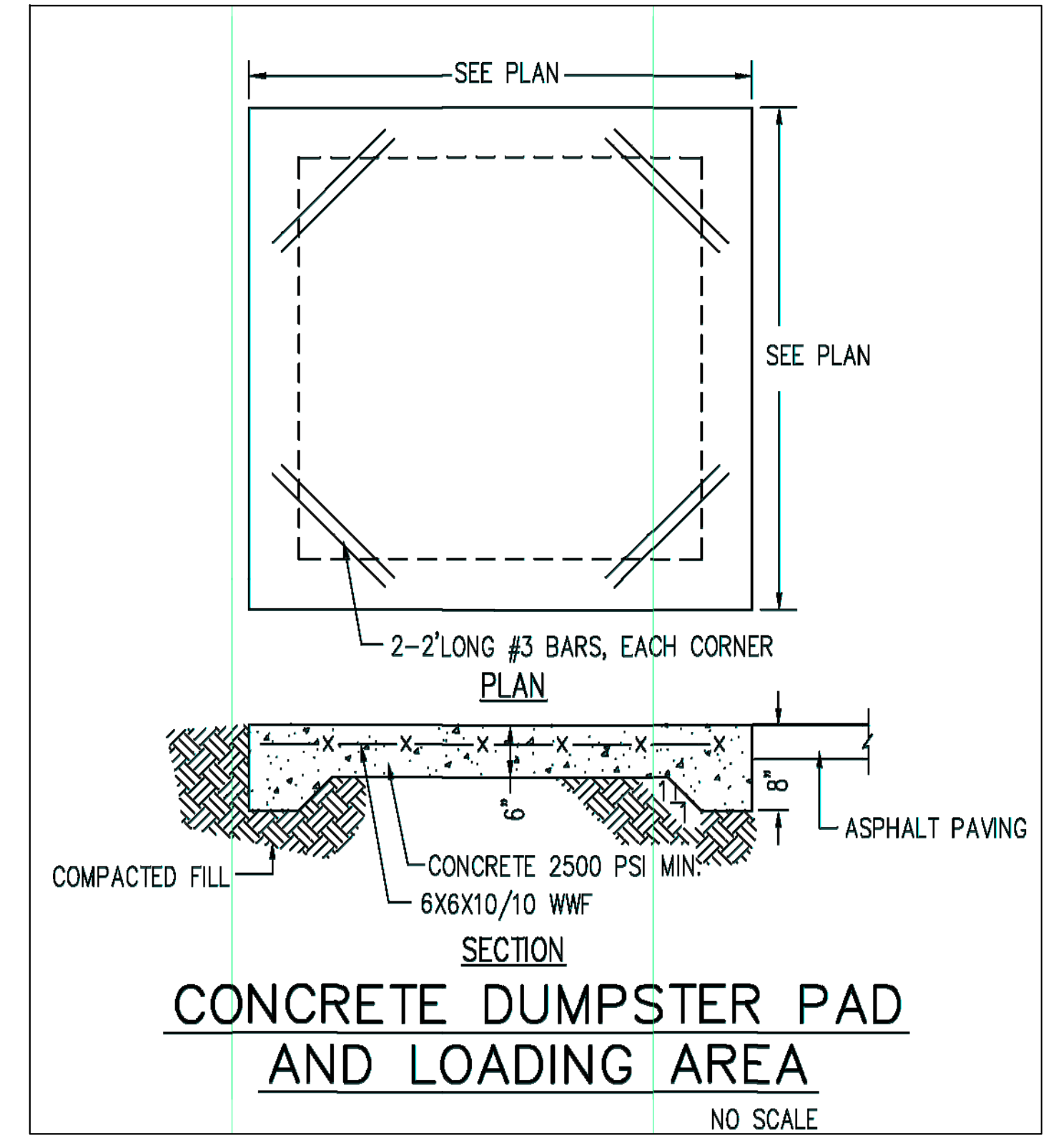
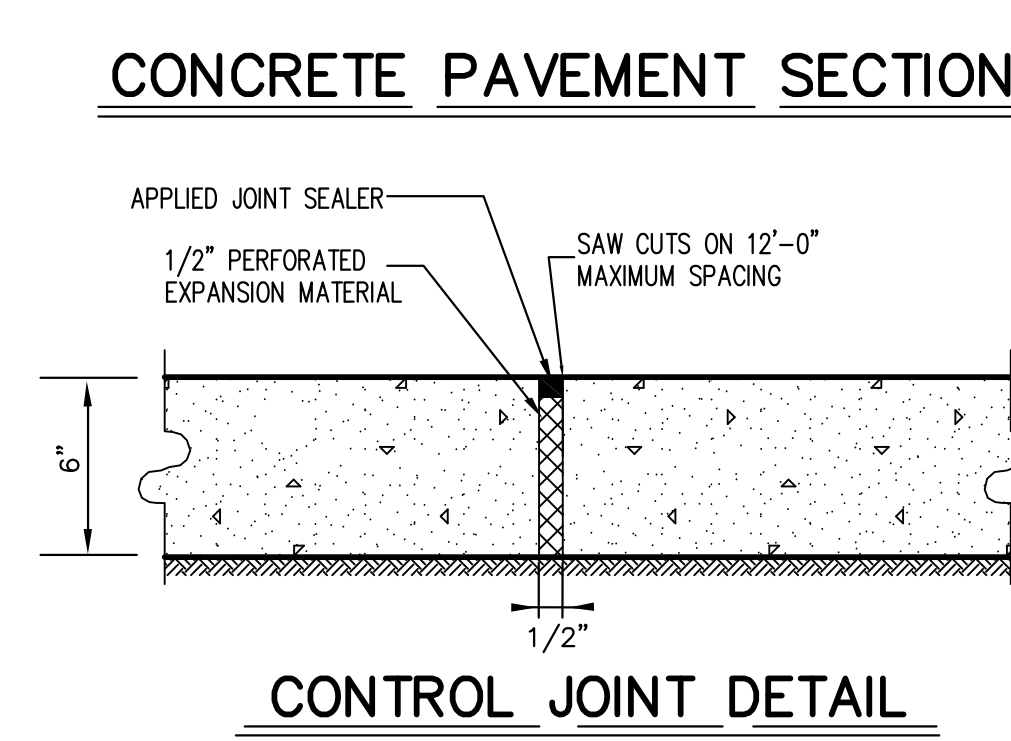
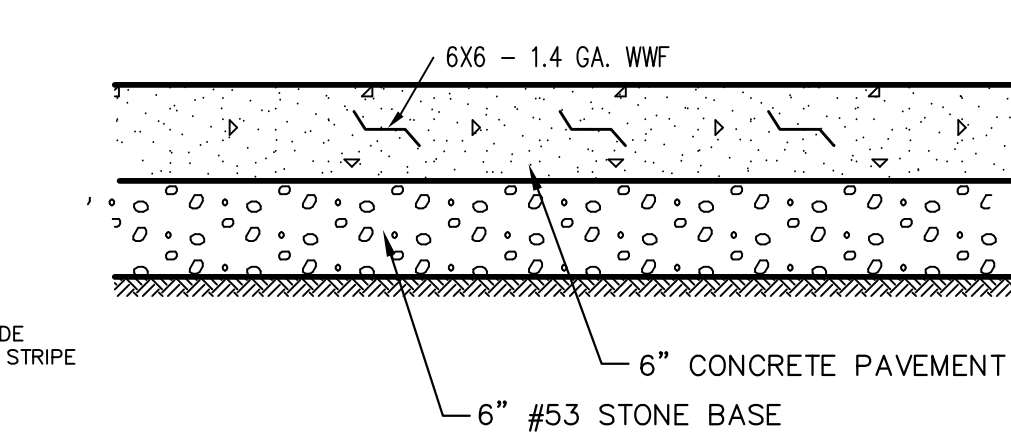
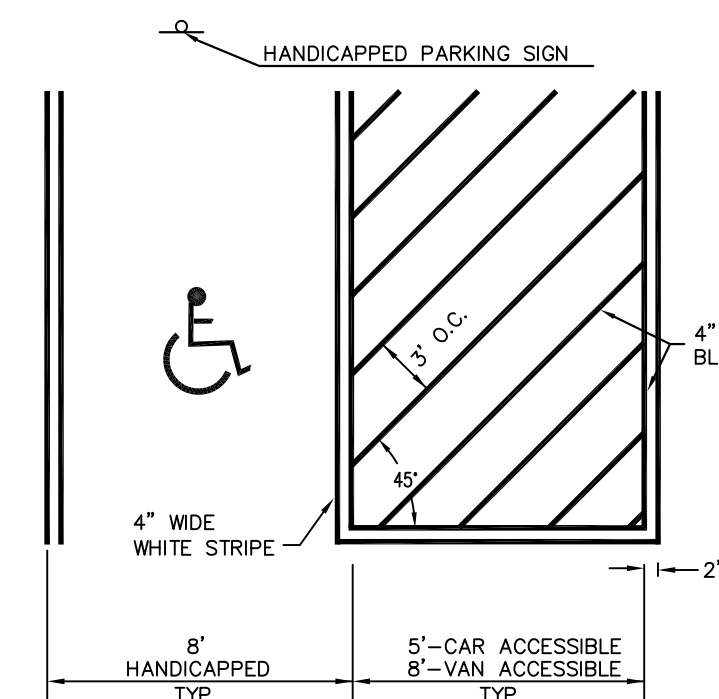
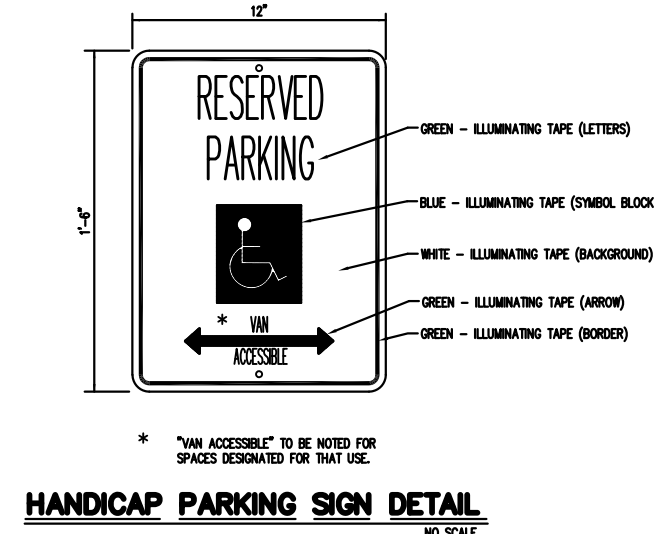
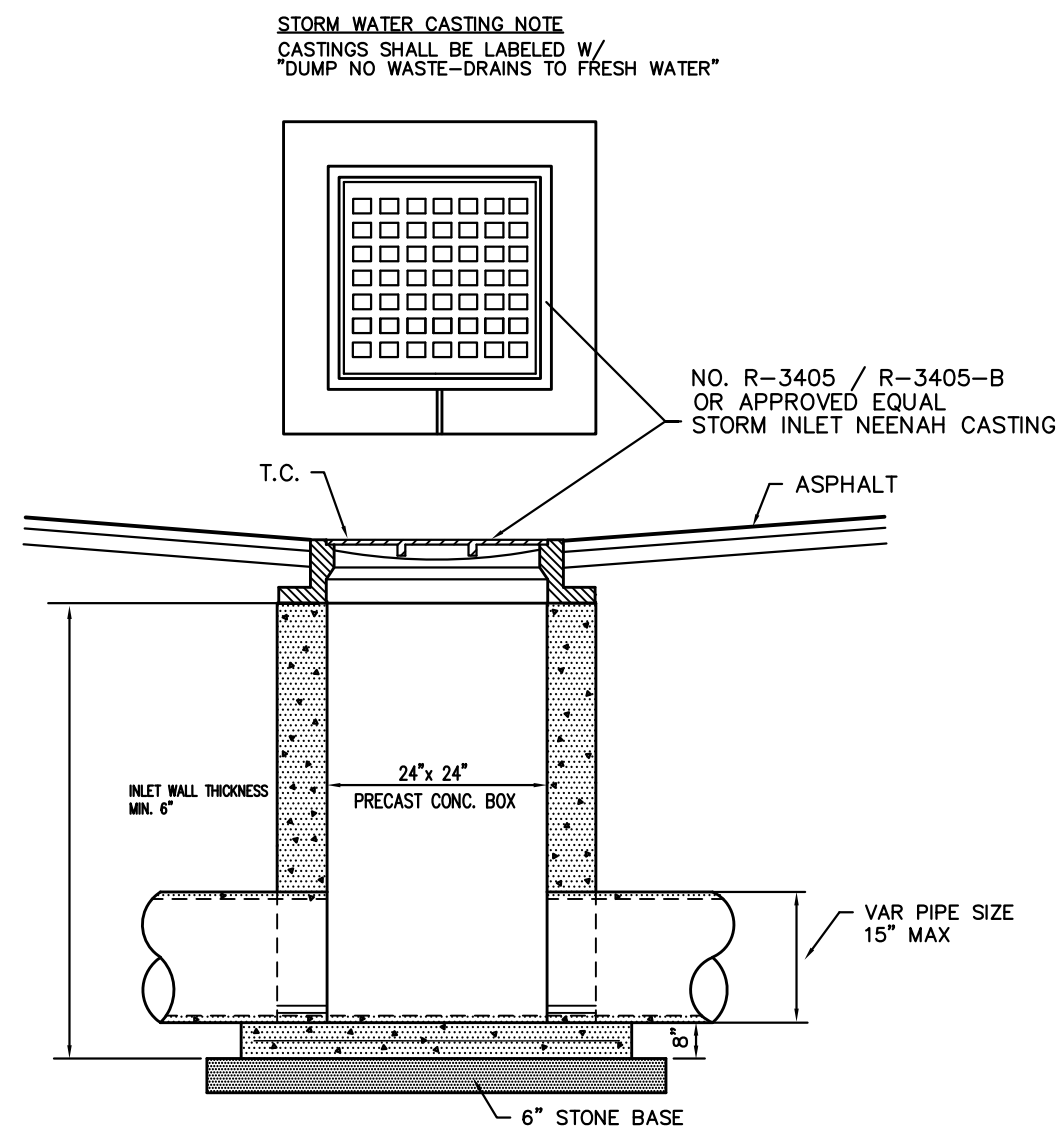
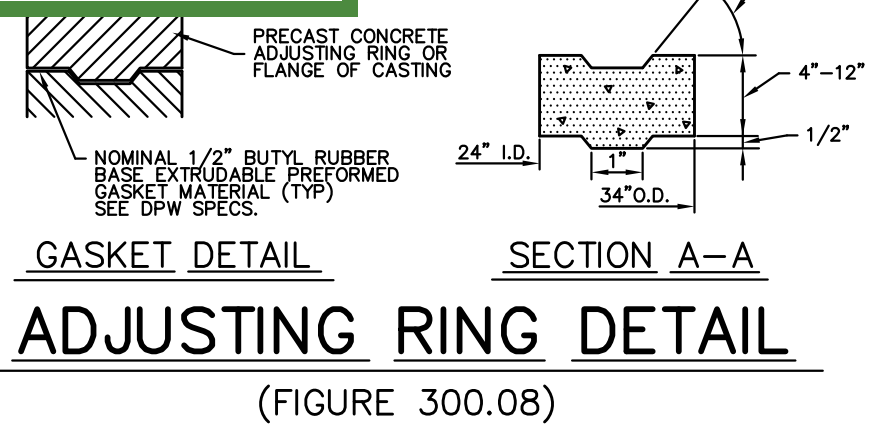
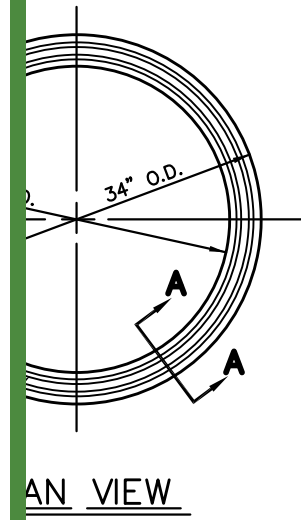
LANTERN ROAD BOUTIQUE  
RESTAURANT/APARTMENT SITE  
11466 LANTERN ROAD  
FISHERS, IN



BY: *Roger C. Ward*

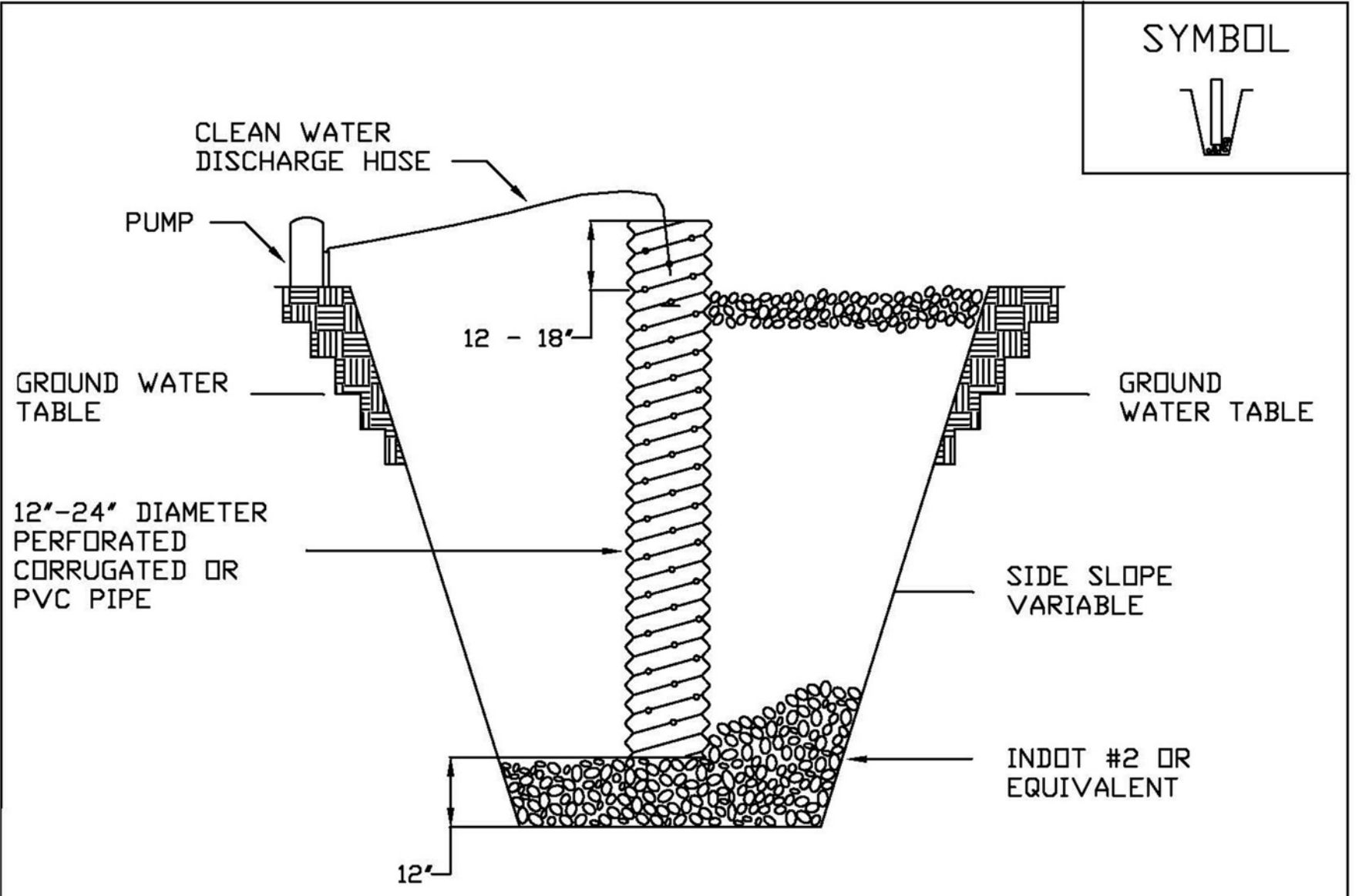
DATE: 11/25/2024

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47



NOTE:  
ALL BEDDING & INITIAL BACKFILL SHALL BE INSTALLED IN 6\"/>

**TRENCH DETAIL**  
PLASTIC PIPE (PVC & HDPE)



**CONSTRUCTION SPECIFICATIONS**

1. PIT DIMENSIONS ARE VARIABLE.
2. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12-24\"/>

OFFICE OF THE HAMILTON COUNTY SURVEYOR

NOTE: ALL DIMENSIONS SHOWN ARE IN ENGLISH AND (METRIC).  
FREE OPEN AREA: 278 SQUARE INCHES  
MATERIAL: CAST GRAY IRON ASTM A-48, CLASS 35B  
FINISH: NO PAINT  
WEIGHT: 280#

NEENAH	4342
EAST JORDAN	6489N

HAMILTON COUNTY SURVEYOR'S OFFICE  
BEEHIVE INLET CASTING  
APPROVED: *[Signature]* KENTON C. WARD, HAMILTON COUNTY SURVEYOR  
REVISOR: *[Signature]* DATE: 11/18/2004  
STANDARD PLAN CT-10

**TYP. PAVEMENT CONSTRUCTION JOINTS**

**GENERAL DETAILS**

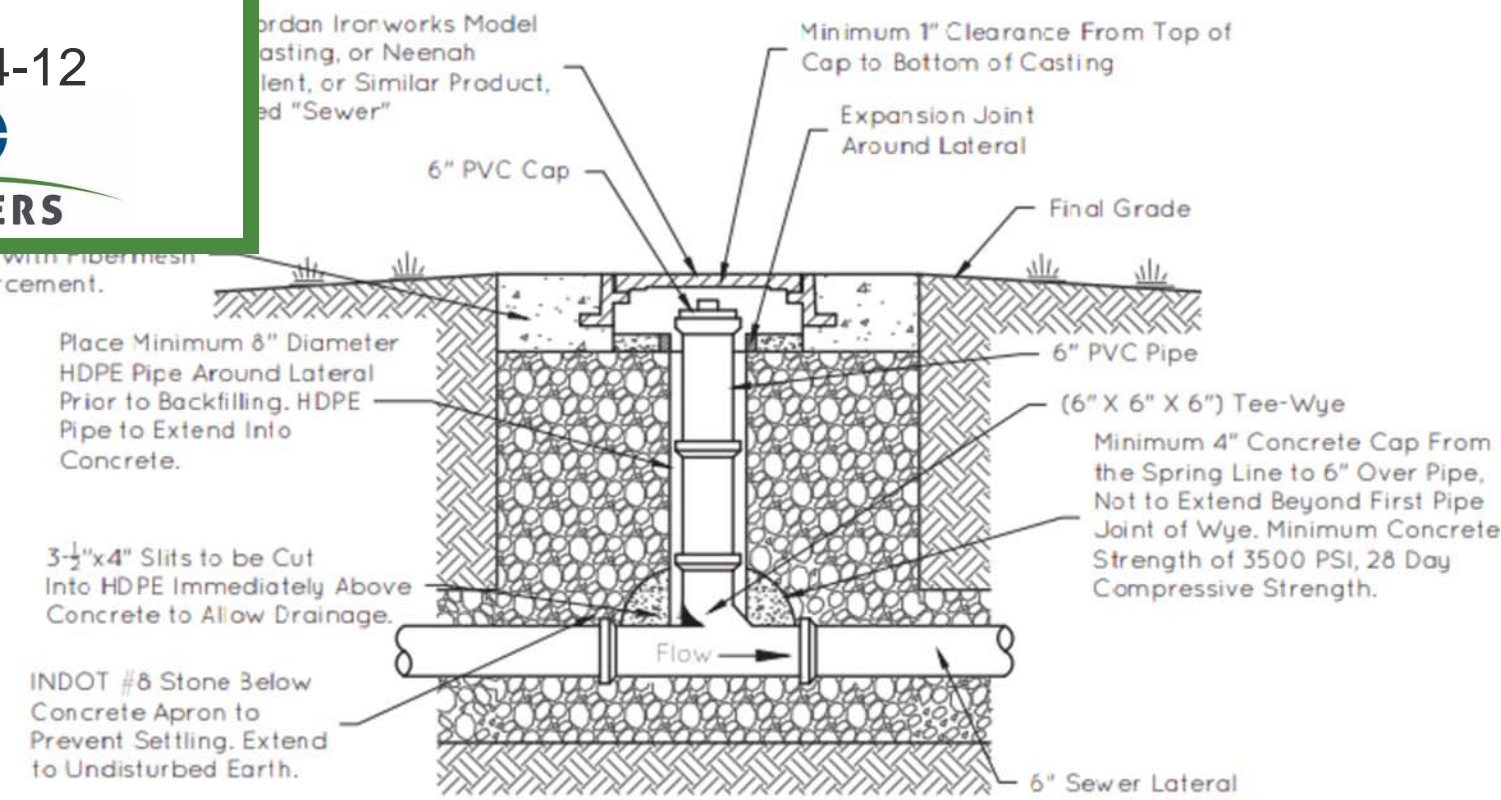
LANTERN ROAD BOUTIQUE  
RESTAURANT/APARTMENT SITE  
11466 LANTERN ROAD  
FISHERS, IN

REVISIONS:  
FILE NAME: S:\John\SSF\001\DWG

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FISHERS

Note:  
Concrete apron and casting shall be installed so that they do not contact the lateral or lateral cap.



**CLEANOUT TYPE 2**  
(Hardscape Surfaces and All Other Installations Beyond Three Feet of Building)

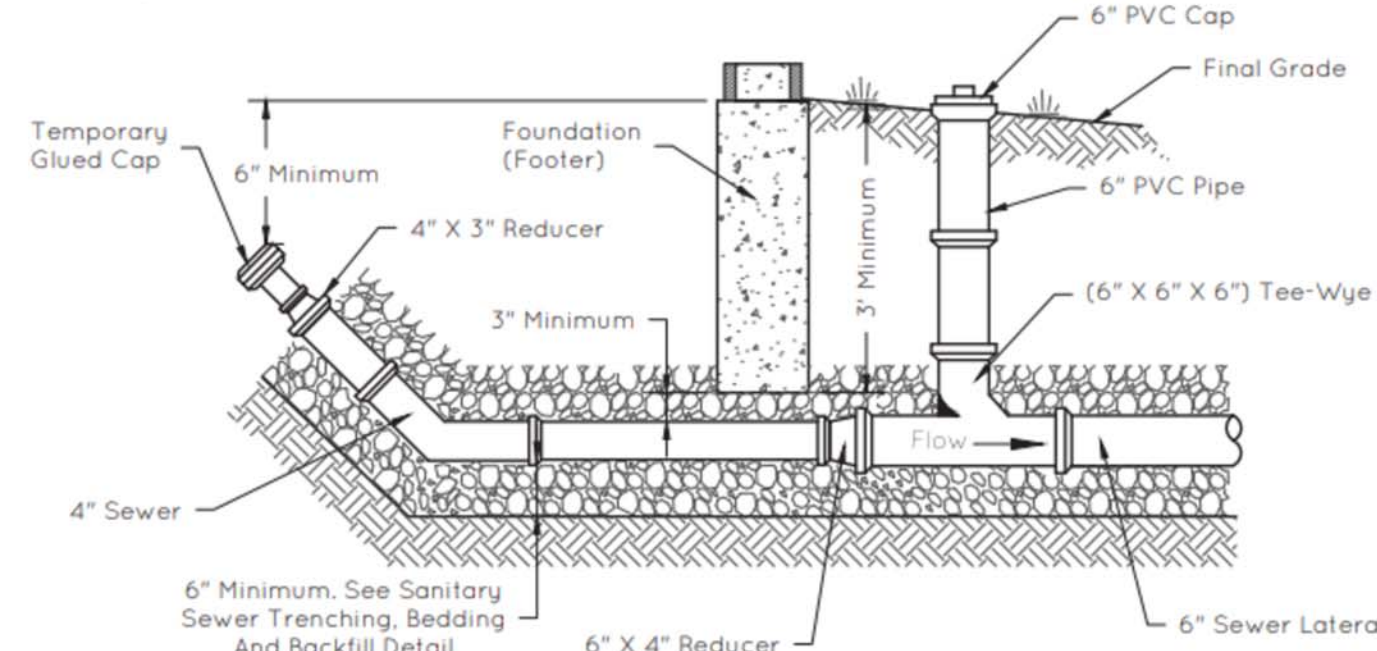
Notes:

- 1) Top of casting or cleanout cap shall extend 0.20 feet minimum above finished grade unless constructed within pedestrian or vehicular traffic way. Unless approved by Engineer, sanitary sewer castings or cleanouts must not be within one (1) foot horizontal distance of any paved or concrete surfaces.
- 2) All cleanout pipes and fittings to be PVC Schedule 40 or SDR 35 when shallower than twelve (12) feet. At depths greater than twelve (12) feet, material of construction will be determined by Engineer.

**TYPICAL CLEANOUTS**

Not to Scale

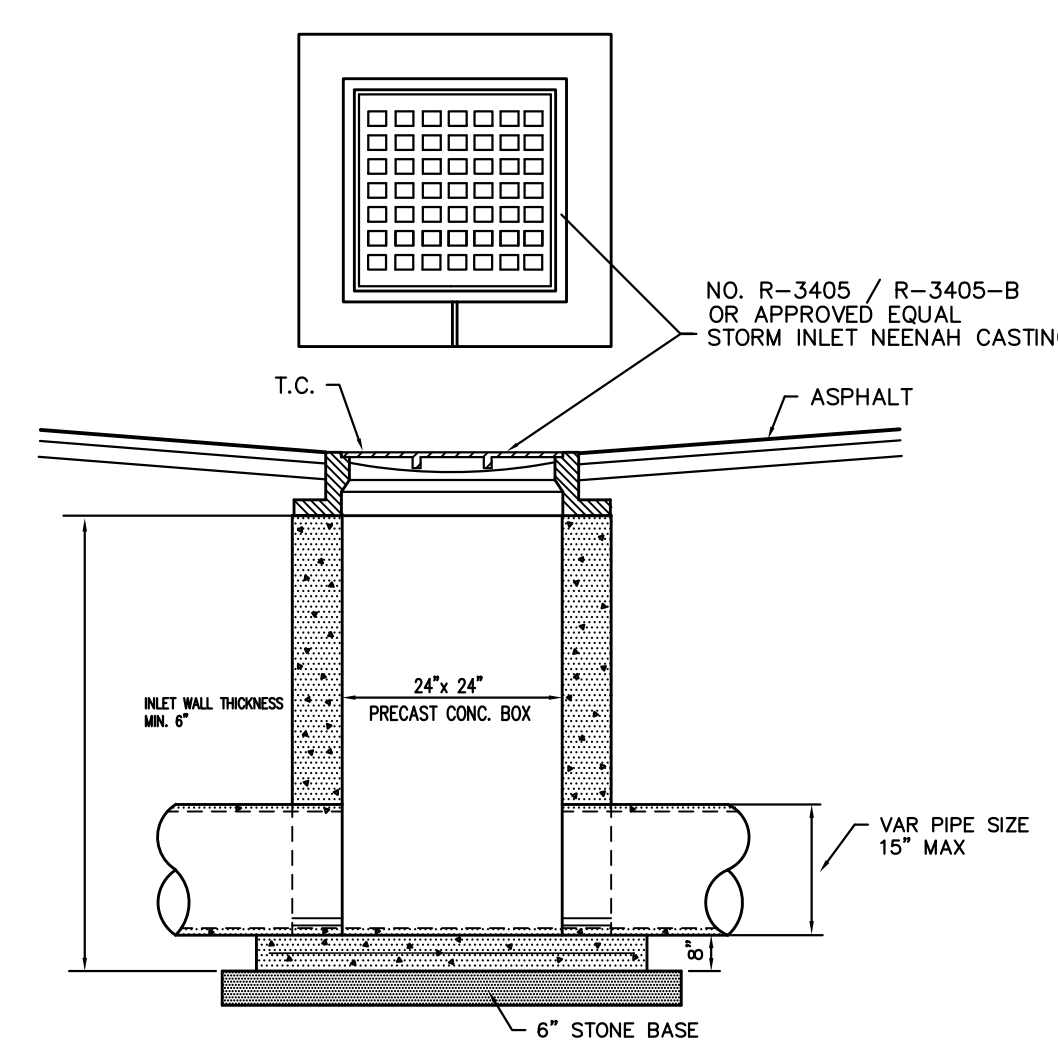
Note:  
All slab and crawl space connections must be a minimum of 3" below the footer and exit the building at the front of the structure to provide the shortest, most direct route from the building to the existing lateral stub.



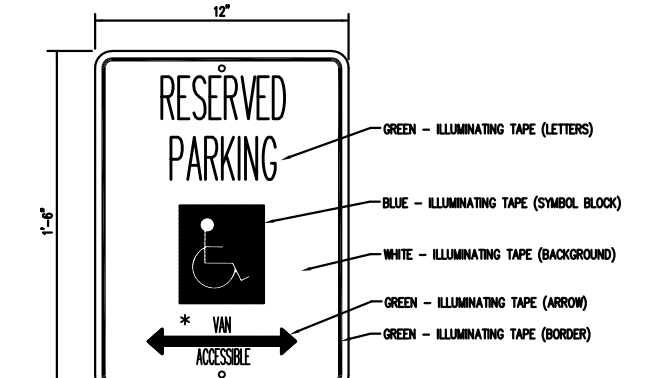
**CLEANOUT TYPE 1**  
(Only Landscaped Surfaces Within Three Feet of Building)

Note:  
Lateral contractor to install in top of cleanout cap a 1-1/2" x 1/4" Mag Nail as manufactured by CHRISNIK, Inc. of Cincinnati, Ohio and sealed with exterior clear silicone sealant.

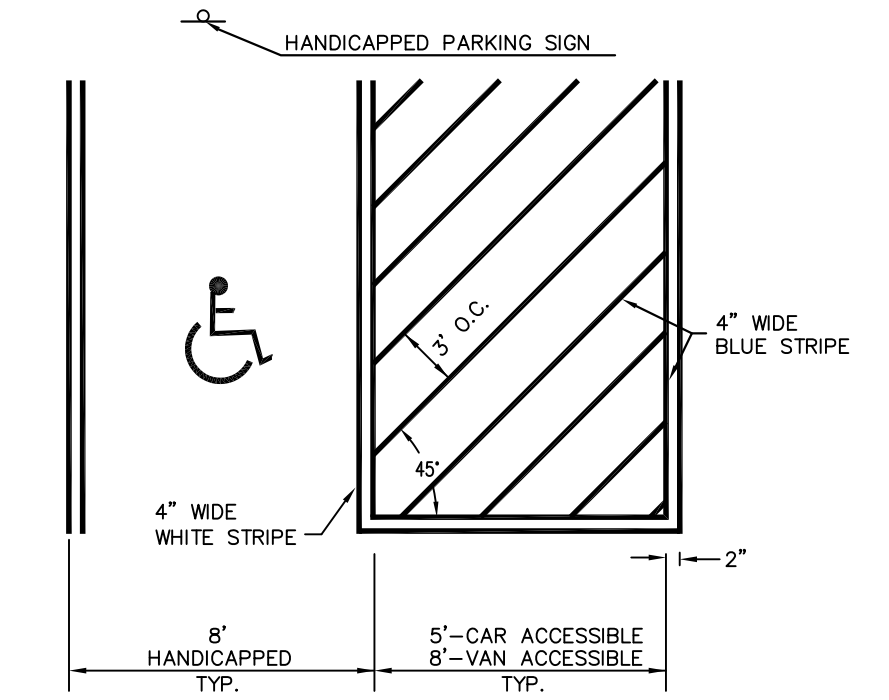
STORM WATER CASTING NOTE  
CASTINGS SHALL BE LABELED W/  
"DUMP NO WASTE- DRAINS TO FRESH WATER"



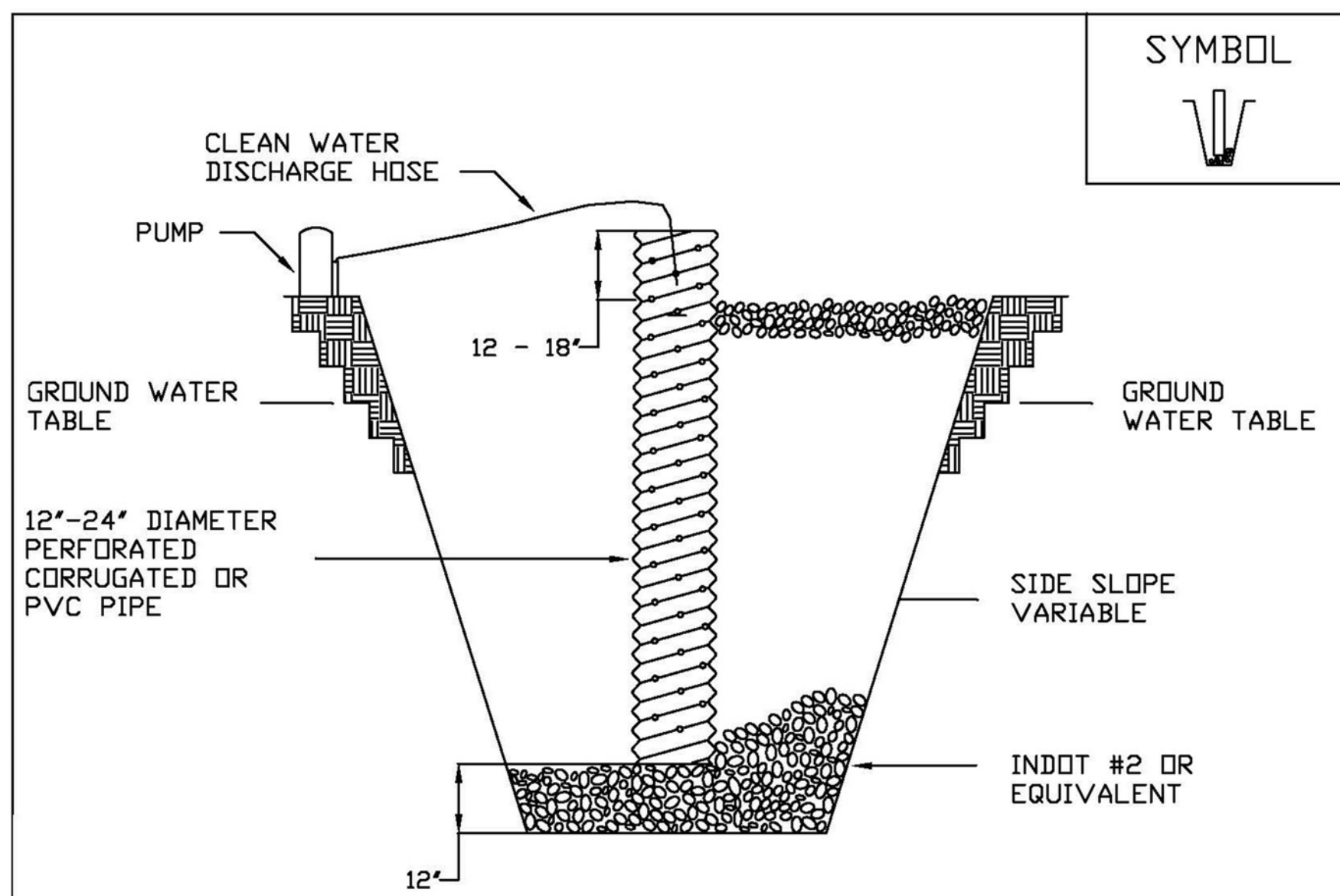
**PRE-CAST INLET STRUCTURES**  
NO SCALE



**HANDICAP PARKING SIGN DETAIL**  
NO SCALE



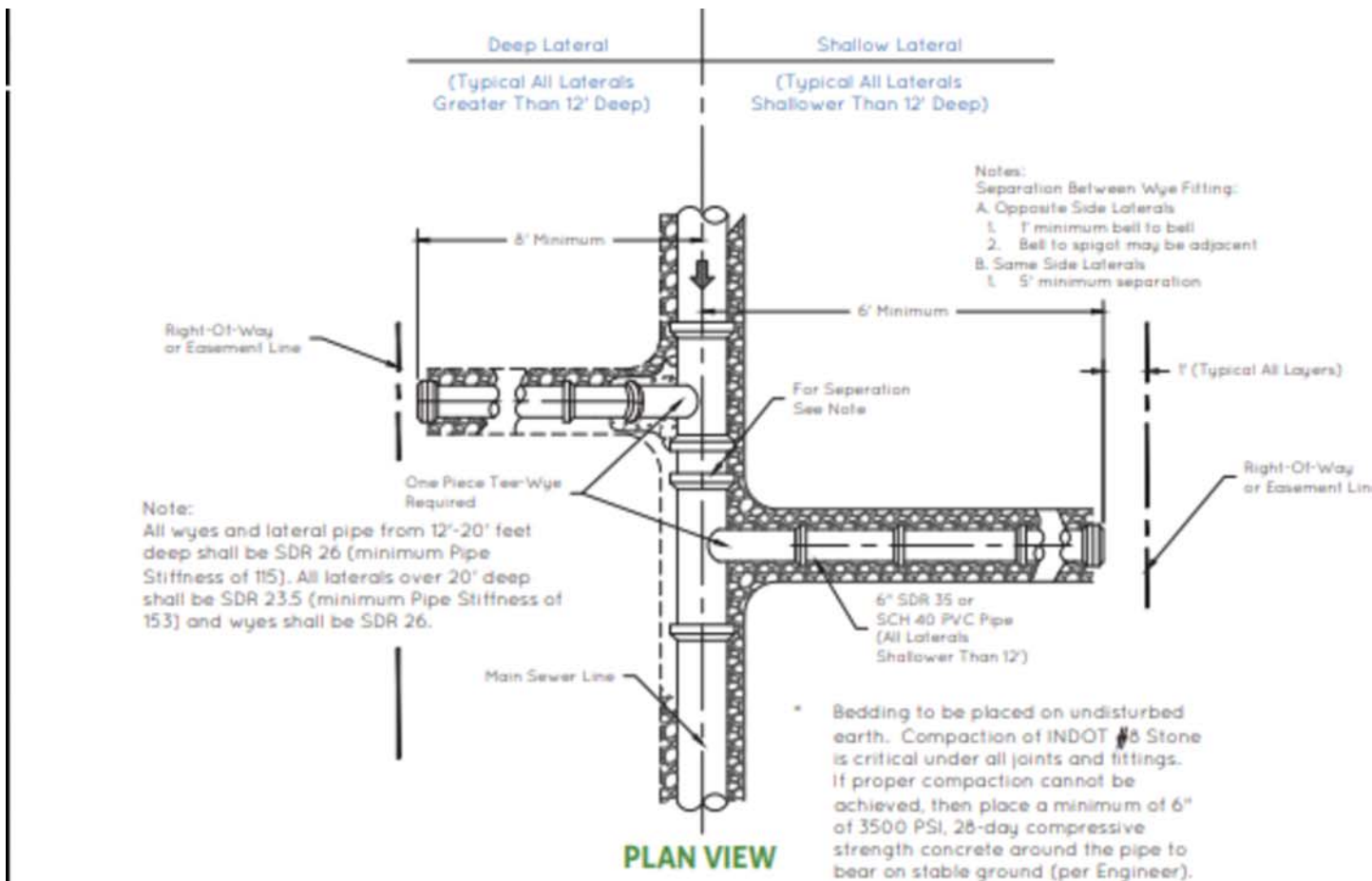
**HANDICAP PARKING STALLS**  
NO SCALE



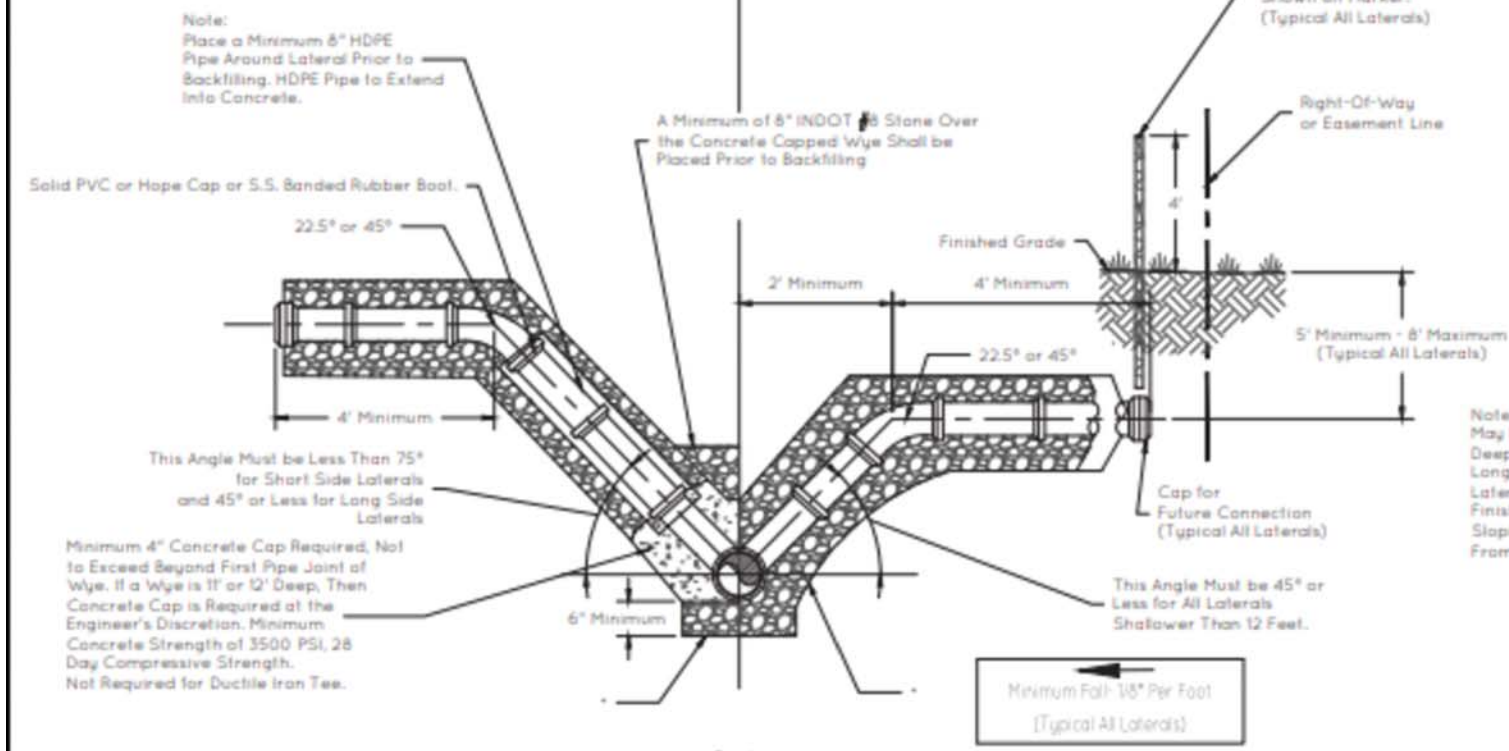
**CONSTRUCTION SPECIFICATIONS**

1. PIT DIMENSIONS ARE VARIABLE.
2. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12-24" DIAMETER CORRUGATED OR PVC PIPE.
3. A BASE OF INDDT #2 OR EQUIVALENT AGGREGATE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD BE BACKFILLED WITH NYS DOT #2 OR EQUIVALENT AGGREGATE.
4. THE STANDPIPE SHOULD EXTEND 12-18" ABOVE THE LIP OF THE PIT.
5. IF DISCHARGE WILL BE PUMPED DIRECTLY TO A STORM DRAINAGE SYSTEM, THE STANDPIPE SHOULD BE WRAPPED WITH FILTERCLOTH BEFORE INSTALLATION. IT IS RECOMMENDED THAT 1/4"-1/2" HARDWARE CLOTH MAY BE PLACED AROUND THE STANDPIPE, PRIOR TO ATTACHING THE FILTERCLOTH.

DEWATERING  
SUMP PIT



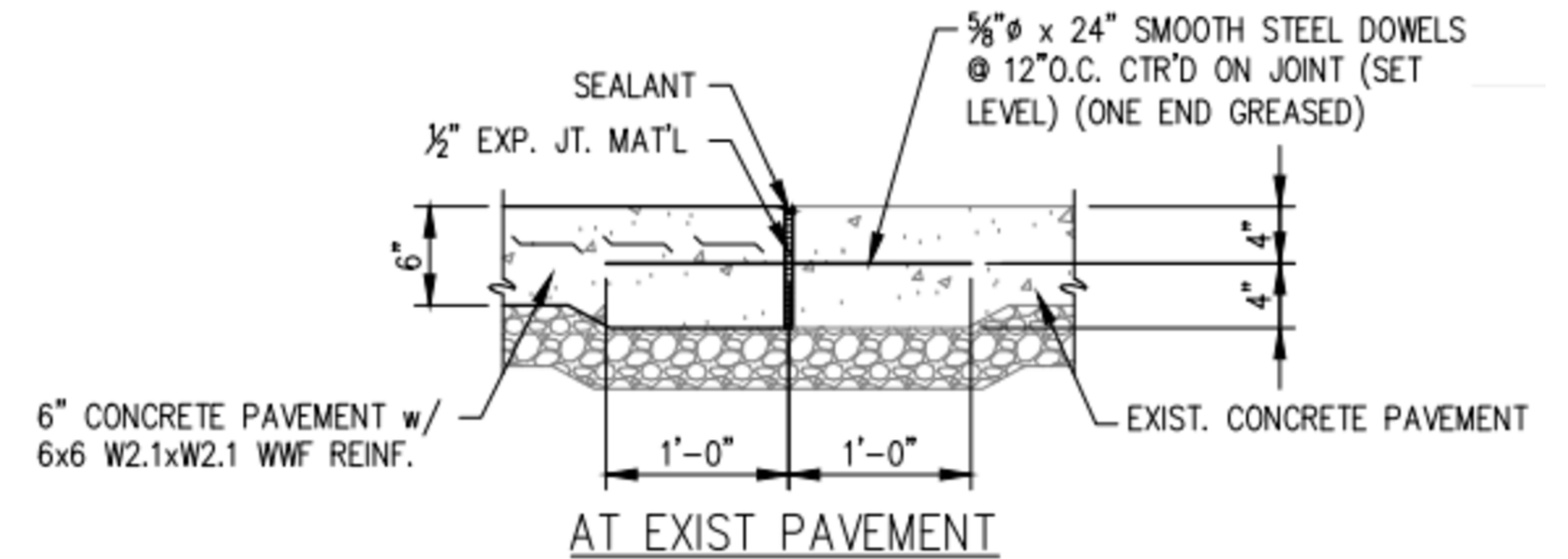
**PLAN VIEW**



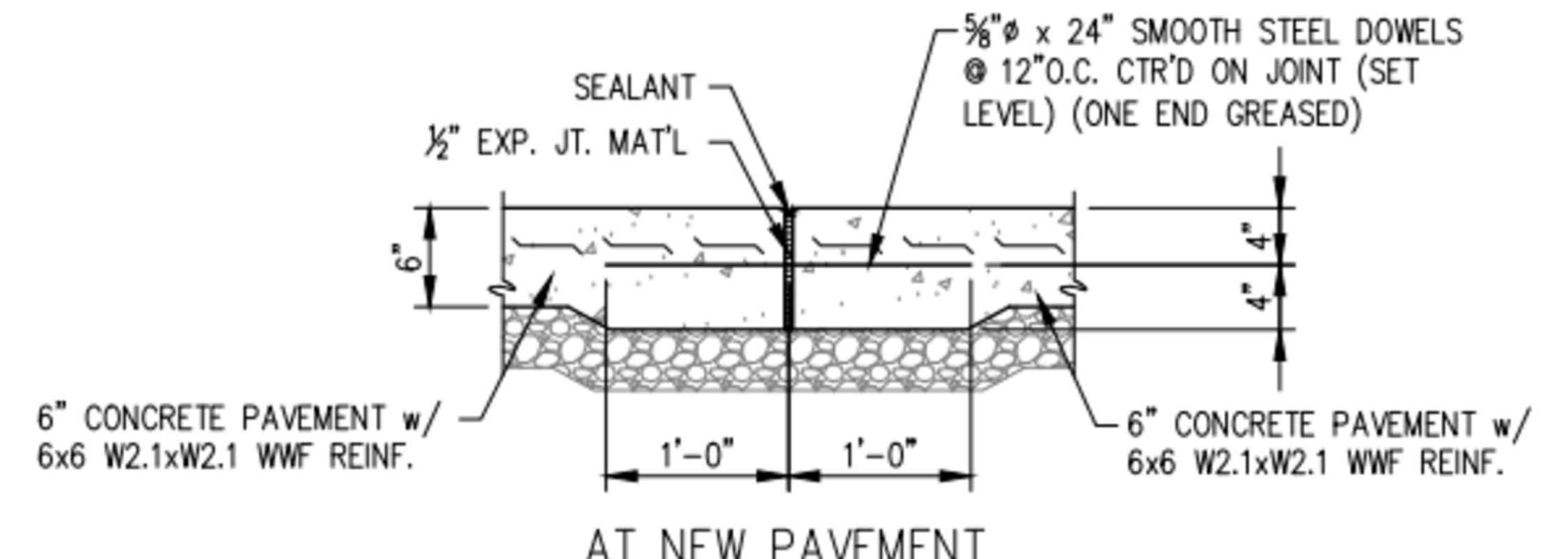
**SECTION**

- Notes:
- 1) Depth of service lateral shall be measured from finished grade to the top of main sewer line.
  - 2) All piping from wye to 45°/22.5° fitting at 5'-8" below grade shall be SDR 26 to 20" deep or SDR 35.5 greater than 20" deep.
  - 3) All lateral bedding shall be against undisturbed trench.

**SERVICE LATERAL**  
Not to Scale



**AT EXIST PAVEMENT**

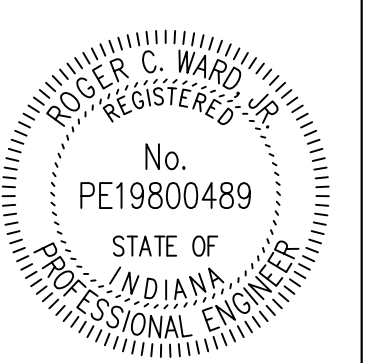


**AT NEW PAVEMENT**

**TYP. PAVEMENT CONSTRUCTION JOINTS**

**GENERAL DETAILS**

LANTERN ROAD BOUTIQUE  
RESTAURANT/APARTMENT SITE  
11466 LANTERN ROAD  
FISHERS, IN



BY: *Roger Ward*

DATE: 11/25/2024

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03/25/2025  
ILP-24-12



For this section rough grading complete the work described in the all notify in writing any changes, errors or in the field.

Work to be all include: of trees and on of trees to remain, stripping and storage of topsoil, fill compaction and rough grading of entire site.

- 2. Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site. The location of dump and length of haul shall be the Contractor's responsibility.
3. Provide and place any additional fill material from off the site as may be necessary to produce the grades required. Fill obtained from off site shall be of kind and quality as specified for fills herein and the source approved by the Owner.
4. The Contractor shall accept the site as he finds it and shall remove all trash, rubbish and debris from the site prior to starting excavation.

B. Work not included: The following items of related work are specified and included in other sections of these specifications:

- 1. Excavation, grading and backfilling for utility lines
2. Storm drainage systems
3. Sanitary sewer systems
4. Streets and paving
5. Water supply system

2. BENCH MARKS

Maintain carefully all bench marks, monuments and other reference points; if disturbed or destroyed, Contractor shall contact engineer. Replacement shall be at Contractor's expense.

3. REMOVAL OF TREES

A. Remove all trees and stumps from area to be occupied by road and surfaced areas. Removal of trees outside these areas shall only be done as noted on drawings or approved by the Owner.

B. All brush, stumps, wood and other refuse from the trees shall be removed to disposal areas off of the site. Disposal by burning shall not be permitted unless proper permits are obtained (where applicable). The location of on-site burn pits shall be approved by the owner and the Engineer if permitted.

4. PROTECTION OF TREES

A. General Protection: The Contractor shall be responsible for the protection of tops, trunks and roots of existing trees on the project site that are to remain. Existing trees subject to construction damage shall be boxed, fenced or otherwise protected before any work is started; do not stockpile within branch spread. Remove interfering branches encountered, the Contractor shall contact engineer. Replacement shall be at Contractor's expense.

5. HANDLING OF TOPSOIL

A. Remove all organic material from the areas to be occupied by buildings, roads, walks and shrinks areas. Pile and store topsoil at a location where it will not interfere with construction operations. Topsoil shall be reasonably free from subsoil, debris, weeds, grass, stones, etc..

B. After completion of site grading and subsurface utility installation, top soil shall be replaced in areas designated on the erosion control plan for seeding and/or sod. Any remaining topsoil shall be used for finished grading around structures and landscaping areas.

6. DISPOSITION OF UTILITIES:

A. Rules and regulations governing the respective utilities shall be observed in executing all work under this section.

B. If active utilities are encountered but not shown on the drawings, the Engineer shall be advised before work is continued.

C. Inactive and abandoned utilities encountered in excavating and grading operations shall be reported to the Engineer. They shall be removed, plugged or capped as directed by the Utility Company or the Engineer.

D. It shall be the responsibility of each contractor to verify all existing utilities and conditions pertaining to his phase of the work. It shall also be the contractors responsibility to contact the Engineer of the various utilities before work is started.

7. SITE GRADING:

A. Grades: Contractor shall perform all cutting, filling, compacting of fills and rough grading required to bring entire project area to grade as shown on the drawings.

B. Rough Grading: The tolerance for paved areas shall not exceed 0.10 feet plus or minus above the established subgrade. All other areas shall not exceed 0.10 feet plus or minus the established grade. All banks and other breaks in grade shall be rounded at top and bottom.

C. Compaction Requirements:

- 1. All areas supporting footings and paved areas shall be compacted to at least 95% standard proctor density.
2. All fill below building slab, adjacent to foundations and over foundations shall be compacted to 93% standard proctor density.

8. EARTH WORK BALANCE

A. The Contractor shall confirm all earthwork quantities prior to start of construction. If an excess or shortage of earth is encountered, the Contractor shall confirm with the Owner and Engineer the requirements for stockpiling, removal or importing of earth.

B. Minor adjustments to the grades may be required to earthwork balances when minor excess material or shortages are encountered. It is recognized by the parties hereto that the calculations of the Engineer in determining earthwork quantities shall be accomplished in accordance with the American Society of Civil Engineers Standards for such calculations. Further, that these calculations are subject to the interpretations of soil borings as the physical limits of the various soil types, the allowable variation in finish grade and compaction permitted the contractor, and that all of these parameters may cause either an excess or shortage of actual earthwork materials to complete the project. If such an actual minor excess or shortage of materials occurs, the contractor shall contact the Engineer to determine if adjustment can be made to correct the imbalance of earth.

9. TESTING
A. Contractor shall hire at Contractors expense an independent soil testing service to assure soil compaction with scope of testing to be approved by Engineer. Copies of test results shall be submitted to the Engineer.

SANITARY SEWER SYSTEMS

1. SCOPE OF WORK

A. The work under this section includes all sanitary sewers, manholes, cleanouts and related items including excavating and backfilling, necessary to complete the work shown in the drawings, starting five feet outside the building walls. The ends of sewers shall be tightly plugged or capped at the terminal points, adjacent to buildings, pending the connecting of all such lines to the building drain as specified in the plumbing and architectural drawings. One set of approved plans shall be on the job site at all times.

2. MATERIALS

A. Polyvinyl Chloride Pipe (PVC)
1. 8"-15" PVC pipe shall be SDR 35 and conform to ASTM D3034, with a minimum cell classification of 12454-B or 12454-C. Greater than 15" PVC pipe shall conform to ASTM F879, with a minimum cell classification of 12454-C.

2. All fittings and joints shall be compression type flexible gasketed joints, and manufactured and installed in accordance with the pipe manufacturer's specifications. No solvent cement joints shall be allowed. All fittings shall be heavy walled fittings.

3. Pipes shall have a minimum pipe stiffness of 46 psi when measured at 5% vertical ring deflection and tested in accordance with ASTM D 2412 and a minimum tensile strength 34.50 MPa.

B. Ductile Iron Pipe

1. Ductile iron (DI) pipe must meet ASTM A-746 and ANSI/AWWA A21.51/C151 with wet-dry bituminous coating per ANSI/AWWA A21.51/C151 and ANSI/AWWA A21.10/C10. The interior surfaces of all pipe, fittings, and adapters shall be lined with factory applied Protecto 401 ceramic epoxy lining, or approved equal. Pipe must be marked per ASTM A 746.

2. Mechanical, push on or restrained joints shall be provided Flanged joints are not allowed for buried applications. Mechanical joints and accessories shall conform to AWWA C111/ANSI A21.11. The bolts and nuts shall be corrosion resistant high strength alloy steel. Push-on type joints shall conform to ANSI A21.11/AWWA C111. Fittings shall comply with ANSI Specification A21.10/AWWA C10. Restrained joints shall be manufactured in accordance with pipe manufacturers' requirements. Locking rings, tabs, inserts, or gaskets with inset steel grips may all be used for gravity sanitary sewer applications. Fittings shall be standardized for the type of pipe and joint specified, and shall comply with ANSI A21.10/AWWA C10.

C. Manholes

1. Precast reinforced concrete manhole sections and steps and concrete adjusting rings shall conform to ASTM C-478 latest revision. Exterior of manhole shall be waterproofed with bituminous material. Manhole sections shall not be installed until at least five days after having been cast unless permitted in writing by the Department.

2. Castings shall be of uniform quality, free from blow holes, porosity, hard spots, shrinkage distortion or other defects. They shall be smooth and well-cleaned by shot-blasting or by some other approved method. They shall be coated with asphalt paint which shall result in a smooth coating, tough and tenacious when cold, not tacky or brittle. They shall be gray iron meeting ASTM A-48 latest revision. Manhole covers for sanitary sewer shall be Neenah type R-1077-A w/R-1712-B-SP Frame w/Self-Sealing application.

3. Joints - Manhole sections shall be joined with a rubber gasket per ASTM C 443, and 1/2" diameter butyl rubber rope sealant per ASTM C 990.

4. Manholes shall include steps. Manhole steps shall conform to the requirements of ASTM C 478 and be manufactured using steel rods encased in polypropylene plastic. Steps shall be factory installed when the manhole is manufactured.

5. Manholes shall be bedded on a granular foundation. The granular foundation shall be compacted with vibratory tamps.

6. Manholes adjusting rings shall only be concrete. They shall conform to ASTM C 478. Minimum thickness of concrete ring shall be four (4) inches.

7. Castings shall be Neenah R-1713-B-SP or East Jordan 1022-1AGSMD. All castings shall have a machined bearing surface with Type F concealed pickholes. The words "Sanitary Sewer" and "City of Indianapolis" must be cast in recess letters two inches in height onto solid lid covers. Castings shall be manufactured in accordance with ASTM A 48 - Class 35B, and have a minimum tensile strength of 35,000 psi.

3. APPLICATION

A. Permits and Codes - The intent of this section of the specifications is that the contractor's bid on the work covered herein shall be based upon the drawings and specifications but that the work shall comply with all applicable codes and regulations as amended by any waivers. Contractor shall furnish all bonds necessary to get permits for cuts and connections to existing sewers. The Contractor shall be responsible for obtaining or verifying all permits for all or portions of this project prior to starting construction. The Contractor shall notify the local or county inspector or utility superintendent 48 hours prior to commencement of sanitary construction.

B. Local Standards - The term "local standards" as used herein means the standards of design and construction of the respective municipal department or utility company.

C. Existing Improvements - Maintain in operating condition all active utilities, sewers and other drains encountered in the sewer installation. Repair to the satisfaction of the owner any damage to existing active improvements.

D. Workmanship - To conform to all local, state and national codes and to be approved by all local and state agencies having jurisdiction.

E. Trenching - Lay all pipe in open trenches, except when the local authority gives written permission for tunneling or jacking of pipe. Open the trench sufficiently ahead of pipe-laying to reveal any obstructions. The width of the trench shall be the greater of the outside pipe diameter plus 16 inches or 12 inches plus 1.25 times outside diameter. Sheet and brace the trench as necessary to protect workmen and adjacent structures. All trenching to comply with Occupational Safety and Health Administration Standards. Open trenches shall be properly protected and/or barricaded when left unattended. Keep trenches free from water while construction is in progress. Under no circumstances shall pipe or apparatus be laid in standing water. Conduct the discharge from trench dewatering to drains or natural drainage channels.

F. Special Supports - Whenever, in the opinion of the Engineer, the soil at or below the pipe grade is unsuitable for supporting sewers and appurtenances specified in this section, such special support, in addition to those shown or specified, shall be provided as the Engineer may direct, and the contract will be adjusted.

G. Backfilling - No. 8 crushed stone or No. 8 fractured faced aggregate shall be used. Bedding material shall be placed and compacted prior to laying the pipe. Haunching material shall be shoveled slick or otherwise carefully placed and "walked" or hand tamped to the springline to ensure compaction and complete filling of all voids. The initial backfill shall be added in six inch lifts "walked" in for compaction.

Table with 4 columns: Material, Pipe size (in), Depth Below Barrel, (in), Depth Above Top of Pipe, (in). Rows for Flexible Pipe and Rigid Pipe.

Table with 4 columns: Material, Pipe size (in), Depth Below Barrel, (in), Depth Above Top of Pipe, (in). Rows for Rigid Pipe and Flexible Pipe.

Final Backfill - For excavation within the right-of-ways, final backfill requirements shall be in accordance with the Department of Metropolitan Developments Regulations For Cuts Within The Public Right-of-Way.

All other backfill requirements are as follows: Within 5' of pavement, curbs, gutters, or similar structures trenches shall be backfilled with Structural "B-Borrow" for structural installations per INDOT Standard Specifications - Section 211. Backfill shall be compacted to achieve not less than 95% Standard Proctor Dry Density per INDOT Section 203.23.

Backfill shall be added and compacted in 12 in. lifts by mechanical tampers. Maximum compaction depth shall not exceed 6 ft.

Backfill outside of 5' of edge of pavement, curbs, gutter or similar structures shall be backfilled with clean fill material free of rocks larger than 6 in. in diameter, frozen lumps of soil, wood, or other extraneous material.

H. Flow Channels - The flow channels within manholes shall be an integral part of the precast base. The channels shall be sloped and formed for a clean transition with proper hydraulics to allow the smooth conveyance of flow through the manhole. The bench wall shall be formed to the crown of the inlet and outlet pipes to form a U shaped channel. The bench wall shall slope back from the crown at 1/2 inch per foot to the manhole wall. No brick, rock or sand fillers will be allowed.

I. Infiltration - The contractor shall furnish necessary equipment to test sewers for infiltration. Infiltration rates shall not exceed the Local Standards. All sanitary sewer lines upon completion will be required to pass a low pressure air test, unless otherwise directed by the City Engineer. Said test shall be conducted according to NCP Standard Method, and shall be witnessed by an inspector authorized by the City Engineer. Infiltration under test shall not exceed 100 gallons per inch of inside diameter of sewer pipe per mile of sewer in 24 hours and is inclusive of all appurtenances within the section being tested such as manholes, house connections, etc. Any portions not passing said tests for acceptance shall be repaired or replaced, including re-excavation and backfill, at the Contractor's expense.

J. Flushing Sewers - Flush all sanitary sewers except building sewers with water to obtain free flow through each line. Remove all silt and trash from appurtenances just prior to acceptance of work.

K. Plastic Sewer Pipe Installation - Plastic sewer pipe shall be installed in accordance with ASTM D2321 per latest revision, and no plastic pipe shall exceed on 11 point mandrel test deflection of 5K. All sewer mains shall be lapped at the time the mandrel test is conducted. All mains shall be true to alignment and grade.

L. Storm Water Connections - No roof drains, footing drains and/or surface water drains may be connected to the sanitary sewer systems, including temporary connections during construction.

M. Waterline Crossing - Water and sewer line crossings and separations shall be in accordance with Ten States Standards and local and state codes. Waterlines and sanitary sewers shall maintain a minimum of 10 foot horizontal separation and a minimum 16 inches of clearance between pipes at crossings. Otherwise, sanitary sewer within 10 feet of waterlines shall be constructed of water works grade Ductile Iron Pipe with mechanical joints and fittings. One length of sewer pipe should be centered at the waterline crossing, so that no joint is closer than 10 feet to the waterline.

N. Utilities - It shall be the responsibility of each contractor to verify all existing utilities and conditions pertaining to his phase of the work. It shall also be the contractors responsibility to contact the owners of the various utilities before work is started. The contractor shall notify in writing the owners and the engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.

O. Service Laterals - Individual building service lines shall be 6 inches in diameter and of PVC material. Material requirements are in the table below.

Table with 4 columns: Material, Designation, Classification, and another classification. Rows for PVC and other materials.

Service lines shall be connected to the main sewer by a wye at locations generally shown within these plans. Service lines shall be sufficiently ahead of pipe-laying to reveal any obstructions of 5' of way line and within 5'-8' of the existing ground surface. The ends shall be plugged and sealed with a water tight cap. Sewer service lines shall be marked with a 2"x4" pointed grade and extending from the lateral end to 3' above grade.

P. New Sanitary Sewer Main Construction - Contractor shall record length and dimensions of each service line stub from nearest downstream manhole measure along the sanitary sewer main. The locations of manholes and service lines along with any other construction changes are to be incorporated on the original construction drawings as as-built locations and submitted to the Engineer as soon after completion of construction as possible, not to exceed 30 days.

Q. Gravity Sanitary Sewer Testing - All sanitary sewers 24 inches and less shall be air tested by means of a low pressure air test per Section 602.03 of the Citizen's Energy Group's Sanitary Sewer Standards. All sewers larger than 24 inches shall be joint tested per Section 602.04.

All sewers 24 inches and less shall be tested by means of a low pressure air test to detect damaged piping and/or improper jointing. Testing shall be done per ASTM F 1417 flexible and semi-rigid pipe and ASTM C 924 for RCP.

All sewers greater than 24 inches shall be joint tested using air or water under low pressure. All joints shall be tested. Testing shall be per ASTM C 1103 and per Citizen's Energy Group's Sanitary Sewer Standards and Specifications.

R. Force Main Testing - All force mains for lift stations and common force mains in low pressure systems shall be tested for leakage by a Hydrostatic Leak Test per Section 603.03.

The hydrostatic leak test shall be done in accordance with AWWA standards based on force main material, in accordance with ASTM E 1003 and per Section 603.03.

S. Manhole Testing - All manholes shall be tested for infiltration by means of a negative air (vacuum) pressure test per Section 604.04 of the City of Indianapolis' Sanitary Specifications.

All manholes shall be tested for infiltration by means of a Negative Air (Vacuum) Pressure Test. Testing shall be done per ASTM C1244.

All internal chimney seals shall be tested using a leakage test. Testing shall be performed per Section 604.05.

STORM SEWER SYSTEMS

1. SCOPE OF WORK

The work under this section includes all storm sewers, storm water inlets, and related items, including excavating and backfilling, necessary to complete the work shown on the drawings. All work and materials shall meet the local governing authorities specifications.

2. MATERIALS

A. Storm Sewers

1. Reinforced concrete sewer pipe shall conform to ASTM C-76 latest revision, with joints conforming to ASTM C-443 latest revision when storm pipe is continuously submerged in water.

2. Aluminized type 2 corrugated steel pipe shall be manufactured in accordance with AASHTO M36 (type 1 with 2, 2 1/2, 1 1/2 corrugations for 12" and 15" diameters; type IR with 3/4" x 3/4" x 7 1/2" corrugations for 18" diameter and larger). The pipe shall be formed from an aluminized steel type 2 coil that conforms to AASHTO M274. The minimum gage thickness of the pipe shall be as follows:

Table with 2 columns: Diameter, Gage. Rows for 12, 16, 18, 24, 30, 36, 42, 48, 54, 60, 72, 84 inches.

3. High density polyethylene pipe shall conform to AASHTO M252 and M294 Type S specifications, latest revision, and shall have material specifications conforming to ASTM D1248 or D3350, latest revision.

4. Polyvinyl Chloride (PVC) profile wall gravity flow storm sewer pipe shall be the integral wall bell and spigot type with elastomeric seal joints and smooth inner walls in accordance with AASHTO M304. A minimum Cell Class of 12454-C or 12364-C as set forth by ASTM D 1784 shall be required.

Smoothwall PVC pip shall be in accordance with ASTM F 679 or AASHTO M 278 for the specified sizes, and shall have a minimum Cell Class of 12364-C for pipes meeting specification ASTM F 679, or 12454-C for pipes meeting specification AASHTO M 278. Cell class properties shall be set forth by ASTM D 1784.

B. Manholes

1. Precast reinforced concrete manhole sections and steps shall conform to ASTM C-478 latest revision.

2. Casting shall be of uniform quality, free from blow holes, porosity, hard spots, shrinkage distortion or other defects. They shall be smooth and well-cleaned by shot-blasting or by some other approved method. They shall be coated with asphalt paint which shall result in a smooth coating, tough and tenacious when cold, not tacky or brittle. They shall be gray iron meeting ASTM A-48 latest revision.

3. Joints - Manhole sections shall be jointed with rubber type gaskets. The rubber type gaskets shall meet ASTM C-443 latest revision. When manhole and storm pipe are continuously in water.

C. SUBDRAINS

1. Perforated plastic pipe subdrains shall conform to ASTM F-405, AASHTO M-252 (4" to 10" pipe).

3. APPLICATION

A. Permits and Codes - The intent of this section of the specifications is that the contractor's bid on the work covered herein shall be based upon the drawings and specifications but that the work shall comply with all applicable codes and regulations as amended by any waivers. Contractor shall furnish all bonds necessary to get permits for cuts and connections to existing sewers. The Contractor shall notify the County Surveyor's Office a minimum of 72 hours prior to the commencement of storm sewer construction.

B. Local Standards - The term "Local Standards" as used herein means the standards of design and construction of the respective municipal department or utility company.

C. Existing Improvements - Maintain in operating condition all active utilities, sewers and other drains encountered in the sewer installation. Repair to the satisfaction of the owner any damage to existing active improvements.

D. Workmanship - To conform to all local, state and national codes and to be approved by all local and state agencies having jurisdiction.

E. Trenching - Lay all pipe in open trenches, except when the local authority gives written permission for tunneling. Open the trench sufficiently ahead of pipe laying to reveal any obstructions. The width of the trench shall be the inside pipe diameter plus 24 inches for 12 inches above the pipe. Sheet and brace trench as necessary to protect workmen and adjacent structures. All trenching to comply with Occupational Safety and Health Administration Standards. Keep trenches free from water while construction is in progress. Under no circumstances lay pipe or appurtenances in standing water. Conduct the discharge from trench dewatering to drains or natural drainage channels.

F. Special Supports - Whenever in the opinion of the Engineer the soil at or below the pipe grade is unsuitable for supporting sewers and appurtenances specified in this section, such special support, in addition to those shown or specified, shall be provided as the Engineer may direct, and the contract will be adjusted.

G. Backfilling - for a depth of at least 12 inches above the top of backfill with earth or granular material free from large stones, rock fragments, roots or sod. Tamp this backfill thoroughly, taking care not to disturb the pipe. For the remaining trench depth, backfill with earth or granular material containing stones or rocks not larger than 4 inches. Backfill under and within 5' of paved areas shall be compacted material only and shall conform to local standards and be thoroughly compacted by approved methods.

H. Manhole Inverts - Construct manhole flow channels of concrete sewer pipe or brick, smoothly finished and of semicircular section conforming to the inside diameter of the connecting sewers. Make changes in size or grade gradually and changes in direction by true curve. Provide such channels for all connecting sewers at each manhole.

I. Subdrains - All subdrains shall be of the size shown on the plans and shall be constructed to the grades shown. All drains constructed off-site as part of the outlet drain will be located as shown.

J. Utilities - It shall be the responsibility of each contractor to verify all existing utilities and conditions pertaining to his phase of the work. It shall also be the contractors responsibility to contact the owners of the various utilities before work is started. The contractor shall notify in writing the owners or the engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.

STREETS AND PAVING

1. SCOPE OF WORK

A. The work required under this section includes all concrete and related paving and related items necessary to complete the work indicated on drawings and described in the specifications, including but not limited to:

All streets, parking areas in contract limits Curbs and gutters Sidewalks and concrete slabs, exterior steps.

2. MATERIALS

A. Concrete - Concrete shall be ready-mixed concrete and shall be a mix of proportioned fine and coarse aggregates with Portland cement and water. Minimum cement content shall be 6 bags per cubic yard of concrete and maximum water content shall be 5.5 U.S. gallons per sack of cement, including moisture in the aggregate. Slump for normal weight concrete shall be maximum of 4 inches and minimum of 2 inches. The slump of machine place concrete shall be no less than 1-1/4 inches nor more than 5 inches. Standard test ASTM C-143 shall be used to measure slump. Compressive strength of concrete at 28 days shall be 4000 psi. All exterior concrete shall have air entrainment of 5% to 8% by volume per ASTM C-264. Retripping delivered concrete will not be allowed. Concrete shall be composed of:

1. Portland cement - Conforming to ASTM C-150, Type IA or Type IIIA.

2. Aggregates: Conforming to ASTM C-33

3. Water - Shall be clear and free from injurious amounts of oils, acids, alkalis, organic materials or other deleterious substances.

B. Welded Steel Wire Fabric - Where required for concrete reinforcement shall conform to ASTM A185.

C. Premolded Joint Filler - Shall be of non-extruding type meeting ASTM D-541 except that premolded joint filler used in concrete walk construction may be either non-extruding or resilient.

D. Bituminous Pavement Materials - All materials proposed for the construction of bituminous pavements shall comply with the Indiana Department of Transportation specifications, per latest revision.

E. Compacted Aggregate Subgrade: Shall be crushed stone or gravel. Crushed gravel shall be a minimum of 35% crushed material. Chert shall be limited to a maximum of 8% of the total. Material shall be free from an excess of flat, elongated, thinly laminated, soft or disintegrated pieces; and shall be free from fragments coated with dirt. Compacted aggregate shall be graded as follows:

Table with 3 columns: Sieve Size, % Passing, and another percentage. Rows for 1-1/2, 1, 3/4, 1/2, 3/8, #30, #200 sieves.

\*\*COMMERCIAL GRADE #53 AGGREGATE MAY BE USED IN PARKING GARAGE.

3. APPLICATION

A. Grading - Do any necessary grading in addition to that performed in accordance with Earthwork Section, to bring subgrades, after final compaction, to the required grades and sections for site improvement.

B. Preparation of Subgrade - Remove spongy and otherwise unsuitable material and replace with stable material. No traffic will be allowed on prepared subgrade prior to paving.

C. Compaction of Subgrade - The first 6 inches below the subgrade shall be compacted to at least 100% of the maximum dry density as determined by the provisions of AASHTO T-99. Water shall be prevented from standing on the compacted subgrade.

D. Compacted Aggregate Subbase - the thickness shown on the drawings is the minimum thickness of the fully compacted subbase. Compaction shall be accomplished by rolling with a smooth wheeled roller weighing 8 to 10 tons. Compact to 95% standard proctor density (ASTM D698) Along curbs, headers and walls and at all placed not accessible to the roller, the aggregate material shall be tamped with mechanical tampers or with approved hand tampers.

E. Bituminous Pavement - Hot asphalt concrete pavement shall be as specified in Section 400-410 of the Indiana Department of Transportation Specifications latest revisions. Paving will not be permitted during unfavorable weather or when the temperature is not in compliance with section 401.05 of the INDOT Specifications.

F. Utility Structures - Check for correct elevation of all manhole covers, valve boxes and similar structures located within grades to be made, and make, or have made, any necessary adjustments in such structures.

G. Placing Concrete

1. Subgrade - Place concrete only on a moist, compacted subgrade or base free from loose material. Place no concrete on a muddy or frozen subgrade.

2. Forms - All forms shall be free from warp, tight enough to prevent leakage and substantial enough to maintain their shape and position without springing or settling, when concrete is placed. Forms shall be clean and smooth and coated with form release before placement of concrete.

3. Placing Concrete - Concrete shall be deposited so as to require as little rehandling as practicable. When concrete is to be placed at an atmospheric temperature of 40 degrees F. or less, paragraph 3 of the Indiana Department of Transportation Specifications latest revision shall be followed.

4. Cold Weather Concrete - When concrete is to be placed at an atmospheric temperature of 40 degrees F. or less, the contractor shall notify in writing the owners or the engineer of any changes, errors or omissions found on these plans or in the field before work is started or resumed.

H. Concrete Curb

1. Expansion Joints - Shall be 1/2 inch thick premoled at ends of all returns and at a maximum spacing of 100 feet.

2. Contraction Joints - Unless otherwise provided, contraction joints shall be sawed joints spaced 20 feet on center.

3. Finish - Tamp and screed concrete as soon as placed, and fill any honey combed places. Finish square corners to 1/4" radius and other corners to radii shown.

I. Concrete Walks and Exterior Steps

1. Slopes - Provide 1/4 inch per foot cross slope. Make adjustments in slopes at walk intersections as necessary to provide proper drainage.

2. Dimensions - Walks and steps shall be one course construction and of widths and details shown on the drawings.

3. Finish - Screed concrete and trowel with a steel trowel to a hard dense surface after surface water has disappeared. Apply medium broom finish and scribe control joints at 5 foot spacing. Provide 1/2" expansion joints where sidewalks intersect, and at a maximum spacing of 48 feet between expansion joints.

J. Curing Concrete - Except as otherwise specified, cure all concrete by one of the methods described in Section 501.17 of the Indiana Department of Transportation Specifications, latest revision.

UTILITIES

1. WATER

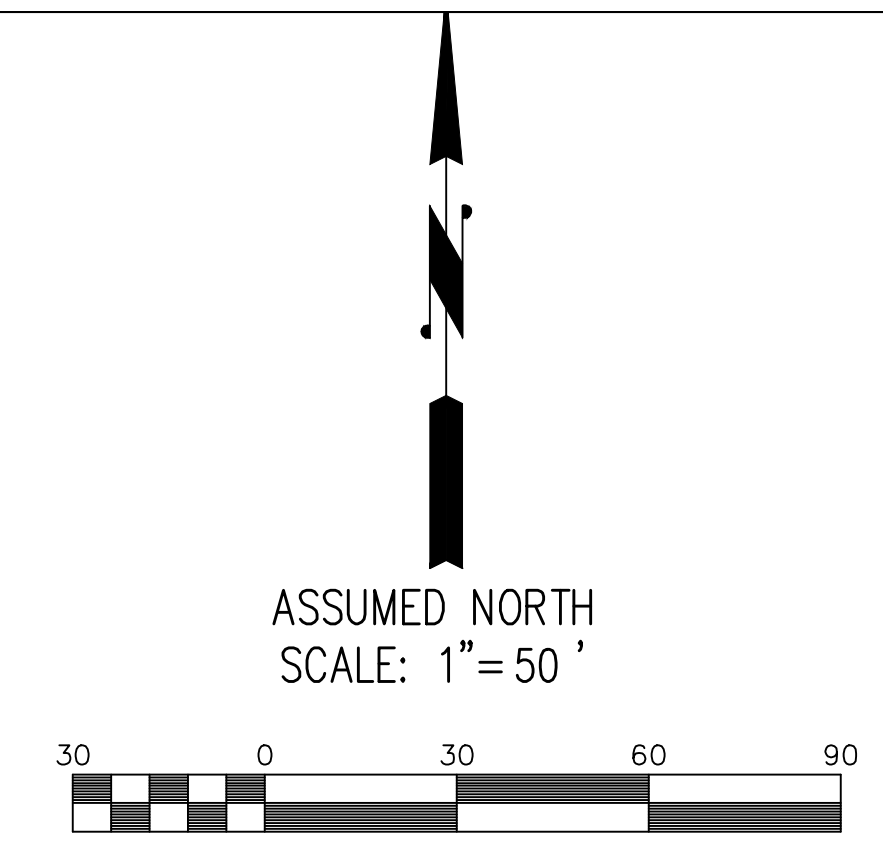
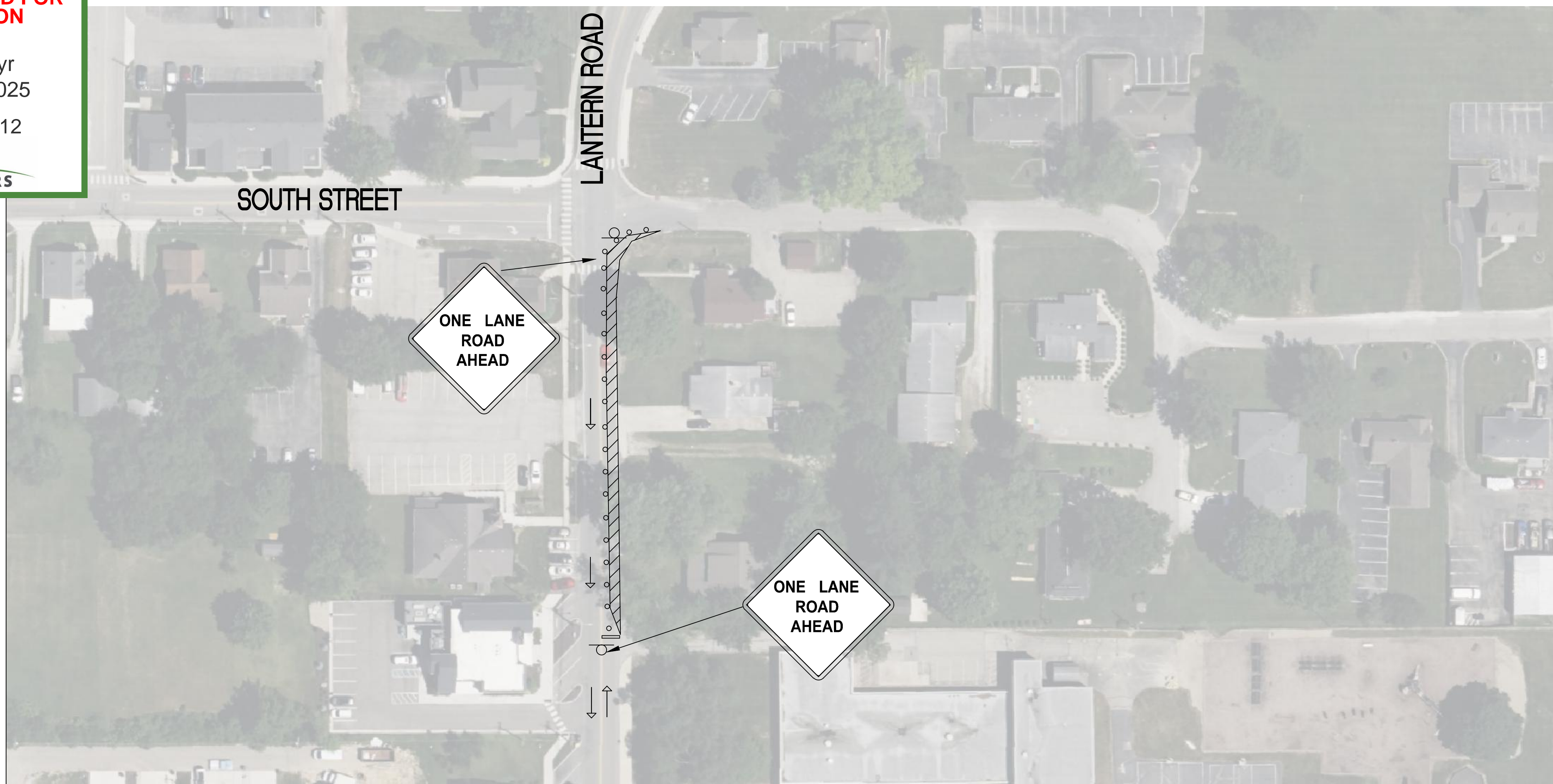
A. All water mains shall be installed and tested in accordance with local standards and requirements.

2. GAS

Gss mains shown in the plans are for information only. The local gas utility is responsible for final design and installation of new gas mains.

3. OTHER UTILITIES

Electric, Telephone, and CATV lines shown in the plans are for information only. The local utility companies are responsible for final design and installation of their respective utility lines.



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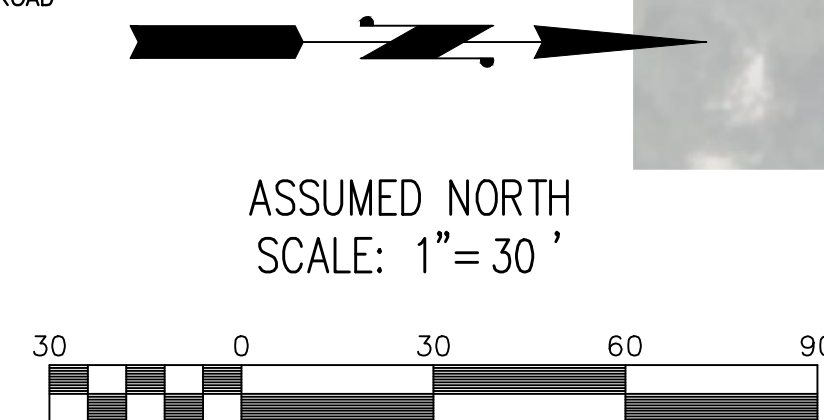
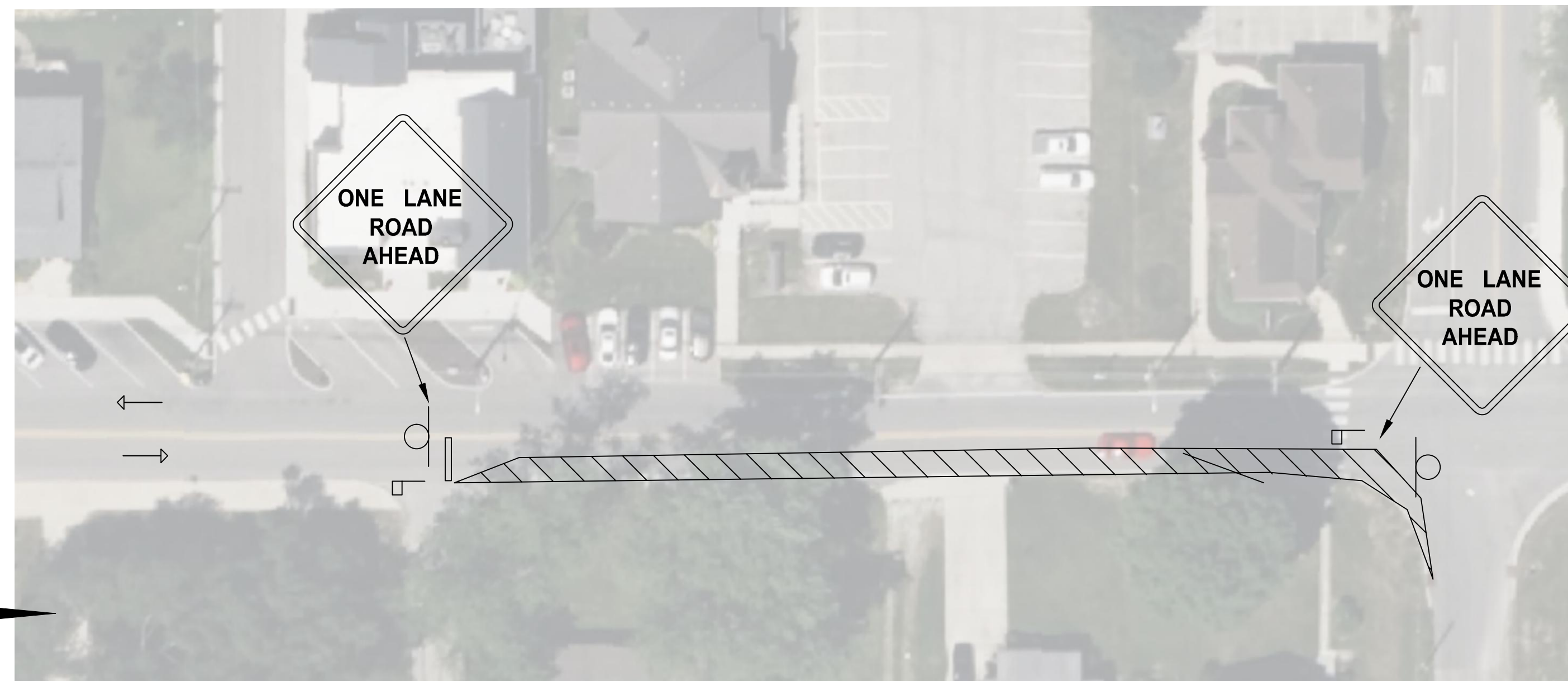
**MAINTENANCE OF TRAFFIC**  
DRAWN BY: MKT  
FILE NAME: ADA\001\MO\100  
REV:  
1--07/03/18 INCREASED ROAD PAVE LENGTH IN TABLE  
2--  
3--  
4--

**TWO LANE ROAD TEMPORARY CLOSURE**  
SCALE 1" = 30'  
20 MPH DESIGN SPEED

**GENERAL NOTES**

- IT SHALL BE THE RESPONSIBILITY OF EACH SUBCONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND CONDITIONS PERTAINING TO THEIR PHASE OF WORK. IT SHALL ALSO BE THE SUBCONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNERS OF THE VARIOUS UTILITIES FOR PROPER STAKE LOCATION OF EACH UTILITY BEFORE WORK IS STARTED. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER OF ANY CHANGES, OMISSIONS, OR ERRORS FOUND ON THESE PLANS OR IN THE FIELD BEFORE WORK IS STARTED OR RESUMED.
- TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE ACTIVITIES IN, ON, UNDER AND OVER THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE INDIANA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, AND ALL OTHER APPLICABLE STATE AND FEDERAL LAWS.
- ANY WORK WITHIN THE RIGHT-OF-WAY MUST BE PERFORMED DURING THE FOLLOWING TIMES:  
7:00AM 6:00PM (NON-THOROUGHFARE STREET)
- TRAFFIC CONES OR BARRELS SHALL BE USED TO THE EXTENT REQUIRED BY DBNS TO PROTECT THE PUBLIC AND THE WORKERS ON THE SCENE.
- COORDINATE ALL LANE RESTRICTION WITH THE FISHERS ENGINEERING INSPECTOR A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO BEGINNING WORK.

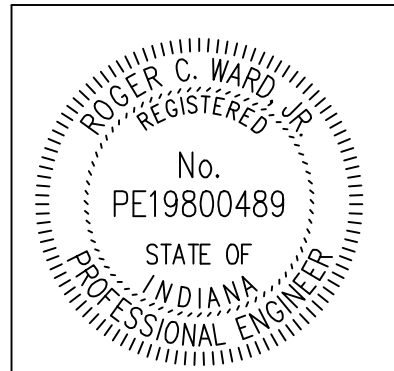
ESTIMATED START: AUG 2024  
WORK SHALL BE PERFORMED IN NORTH BOUND LANE ALONG LANTERN ROAD



**LEGEND**

- SIGN
- FLAGGER
- WORK ZONE
- CHANNELIZING DEVICE
- DIRECTION OF TRAFFIC
- ARROWBOARD

**LANTERN ROAD BOUTIQUE  
RESTAURANT/APARTMENT SITE  
11466 LANTERN ROAD  
FISHERS, IN**



BY: *Roger C. Ward*

DATE: 12/04/2024

SHEET  
**MOT**  
OF  
47

**RELEASED FOR  
PRE-CON**

hillearyr  
03/25/2025

ILP-24-12



**Perennials**

Common	Botanical	Plant Size
Leaf Sedge	Carex buchananii	#1
Yarrow	Iberis sempervirens 'Purity'	#1
Pink	Dianthus gratianopolitanus 'Bath's Pink'	#1
Sage	Perovskia atriplicifolia	#2
Salvia	Salvia verticillata 'Purple Rain'	#1
Autumn Joy	Sedum 'Autumn Joy'	#2
Grass	Panicum virgatum	#2
Wormwood	Artemisia ludoviciana 'Valerie Finnis'	#2

**Shrubs**

Qty	Key	Common	Botanical	Plant Size
3	B	Boxwood	Buxus sempervirens 'Suffruticosa'	#5
9	BB	Blue Beard	Caryopteris x clandonensis	#5
3	BH	Blue Holly	Ilex x meserveae*	#5
8	ER	Eastern Red Cedar	Juniperus virginiana 'taylor'*	#10
44	IB	Inkberry	Ilex glarba 'Shamrock'*	#5
21	JB	Japanese Boxwood	Buxus microphylla 'Green Beauty'	#5
13	KO	Knockout Rose	Rosa knockout	#5
3	SH	Smooth Hydrangea	Hydrangea arborescens 'Annabelle'	#5

\*Must buy one male and female to produce fruit

**Trees**

Qty	Key	Common	Botanical	Plant Size
2	TH	Thornless Honeylocust	Gleditsia triacanthos var. inermis	#25



CLIENT:

**ANDREW  
WOJCIK**

TITLE OF PROJECT:

**LEATHER LEAF**

PROJECT ADDRESS:

**1466 LANTERN RD.  
FISHERS, IN**

DOCUMENT TITLE:

**Planting Plan  
SECTION 1-1**

VERSION NUMBER:

**PLD - 1.01**

DATE:

**5/2/2024**

SHEET NUMBER:

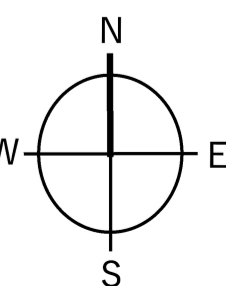
**1/1**

SCALE:

**1" = 10'**

DRAWING SIZE:

**A2**



**NOTE:**

Use of all or any part of this design is restricted to: (1) the owner of the land where the plants will be installed, and (2) the vendors and contractors who supply or install the plants for the owner at the owner's land. All other uses of this design, or any part of this design, are prohibited. GREEN DREAM DESIGNS, Email: greendreamlandscapes@gmail.com

02500  
3

2025000700 EASEMENTS \$25.00  
01/08/2025 03:07:12P 5 PGS  
Trini Beaver  
HAMILTON County Recorder IN  
Recorded as Presented



Cross Reference: Warranty Deed, dated  
January 23, 2023, Instrument Number  
2023-02049  
Parcel No.: 15-15-06-01-01-028.000

**DEDICATION OF PERMANENT EASEMENTS**

THIS INDENTURE WITNESSETH that the undersigned ("Grantor"), being the owner of certain real estate commonly referred to as 11478 Lantern Road, Parcel No.: 15-15-06-01-01-028.000 (the "Real Estate"), for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby dedicate, grant, sell and convey to the City of Fishers, Hamilton County, Indiana ("Grantee") permanent easements upon the Real Estate to place, construct, operate, control, maintain, reconstruct, relocate, change the size of, repair and remove facilities, lines and conduits necessary or incidental to providing drainage or utility services (individually or collectively, "Utility Facilities") along, under, through, and across Grantor's Real Estate, as further described on Exhibit A and depicted on Exhibit B, attached hereto and incorporated herein.

Grantor shall have the right to fully use and enjoy the Real Estate except for such use as may impair, impede or unreasonably interfere with the exercise by Grantee of the rights granted herein. Grantor shall not construct or permit to be constructed any house, structure, or obstruction on or over the Utility Facilities, or that would interfere with the construction, maintenance or operation of any part of the Utility Facilities. Grantee may cut, trim, or remove any and all trees, shrubs, underbrush, bushes, saplings, ground cover, lawns, gardens, landscaping, irrigation systems or other similar vegetation, growth or structures, now or hereafter existing or growing upon or extending over the Utility Facilities, insofar as may be reasonably necessary utilizing due care, in the exercise by the Grantee of any and all rights and authorities herein and hereby granted to Grantee. The exercise of this right by the Grantee, or any other rights herein granted to Grantee, shall not establish in the Grantor any right or claim for damages to such trees, shrubs, underbrush, bushes, saplings, ground cover, lawns, gardens, landscaping, irrigation systems or other similar vegetation, growth or structures.

This Easement also includes the rights and privileges (1) of ingress and egress for the employees, agents and representatives of Grantee, its grantees, successors, and assigns, to, from,

from, and over the Real Estate, (2) to use temporarily additional space where available and necessary from time to time adjacent to the Utility Facilities for equipment and materials necessary for installation, repair and maintenance of Grantee's facilities located in, under, upon and across the Real Estate, and (3) to do all acts and things requisite and necessary for the full enjoyment of the easement hereby granted. Grantor agrees that Grantee shall be entitled to and Grantor shall provide any and all easements necessary to allow the construction of and access to the Utility Facilities for the purpose of connecting such additional extensions and facilities to the Utility Facilities.

The undersigned executing this Easement on behalf of Grantor represents and certifies that Grantor is the owner of the Real Estate, that the undersigned is duly authorized and fully empowered to execute and deliver this easement, that Grantor has full legal capacity to convey the easement described herein, and that all necessary action for the making of such conveyance by Grantor has been taken and done.

This conveyance is not subject to the payment of Indiana Corporate Gross Tax.

IN WITNESS WHEREOF, the undersigned has hereunto set their hand and seal

this 30<sup>TH</sup> day of SEPTEMBER 2024.

**GRANTORS**

**Todd Yeager**

By: 

Its: Owner

**Susan Yeager**

By: 

Its: Owner

Cross Reference: Warranty Deed, dated  
January 23, 2023, Instrument Number  
2023-02049  
Parcel No.: 15-15-06-01-01-028.000

NOTARY'S CERTIFICATE

STATE OF INDIANA )  
 ) SS:  
COUNTY OF HAMILTON )

Before me, a Notary Public, in and for said State and County, personally appeared **Todd Yeager** and **Susan Yeager** and acknowledged the execution of the same on the date aforesaid to be his or her voluntary act and deed and who, being duly sworn, stated that any representations contained therein are true.

WITNESS my hand and Notarial Seal this 30 day of SEPTEMBER, 2024.

By: Kristine Owens  
Notary Public

KRISTINE OWENS  
Printed Name

My Commission Expires: MAY 3, 2026

My County of Residence: HAMILTON



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Lindsey M. Bennett

This instrument was prepared by and after recording return to: Lindsey M. Bennett, City Attorney, City of Fishers, Administration, 1 Municipal Drive, Fishers Indiana 46038.

## EXHIBIT A

### Drainage Easement Description

A part of the Yeager property as described in Instrument Number 2023-02049 in the Recorders office of Hamilton County, Indiana, being 15 feet from the centerline of a proposed storm sewer main and being more completely described as follows:

Beginning at the Northwest corner of said Instrument Number 2023-02049, run thence along the north line of said property, North 89°38'34" East (assumed bearing) 31.59 feet; thence South 55°27'23" East, 38.19 feet to a point on the West line of said property; thence along said west line, North 00°21'26" West, 21.46 feet to the point of beginning, containing 339 square feet more or less.

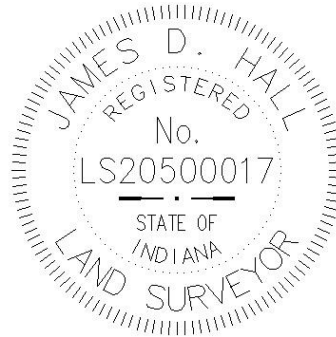
Subject to applicable rights-of-way of record.

I affirm that to the best of my knowledge, that this description and accompanying exhibit were prepared by me with information provided by the client, specifically for the preparation of this easement description and exhibit.

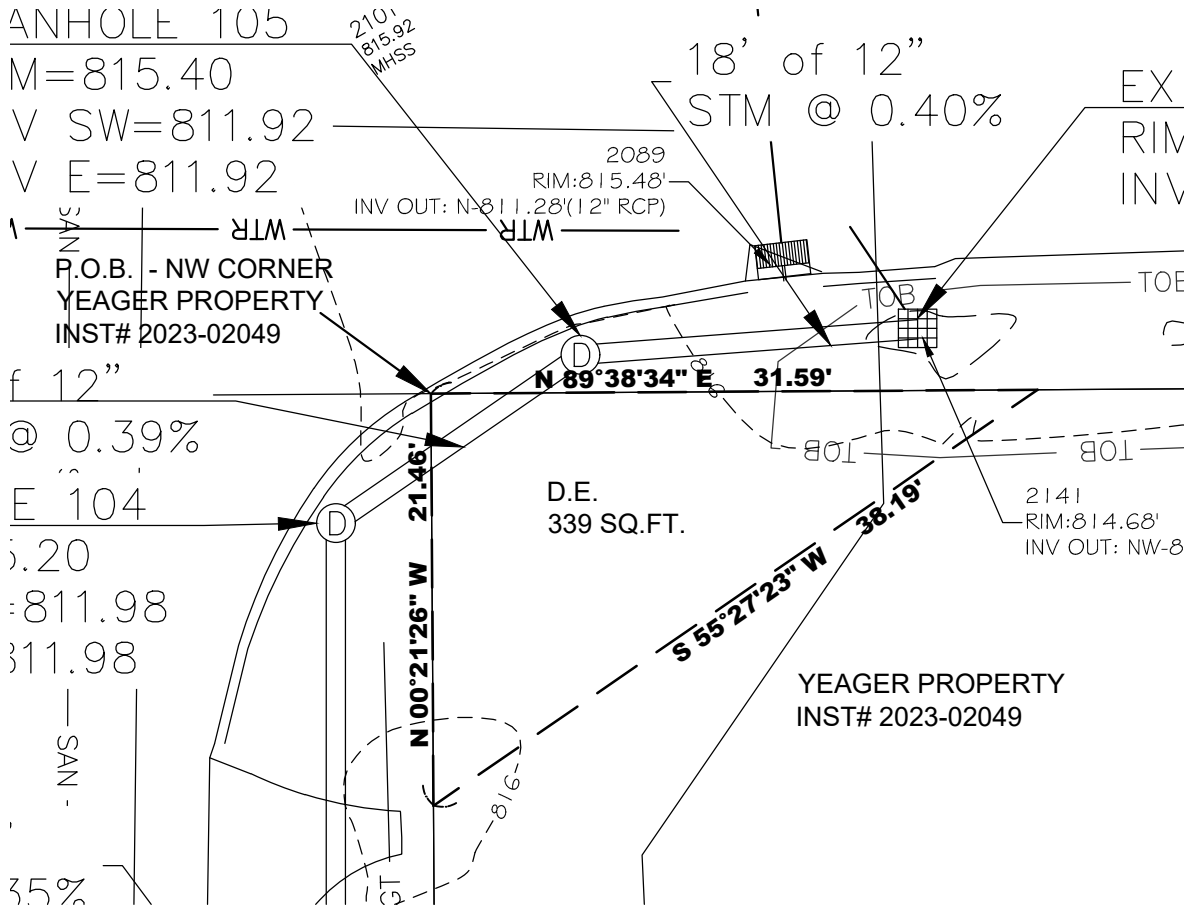
Witness my hand and seal this 6<sup>th</sup> day of September 2024.



James D. Hall, LS 20500017



# EXHIBIT B

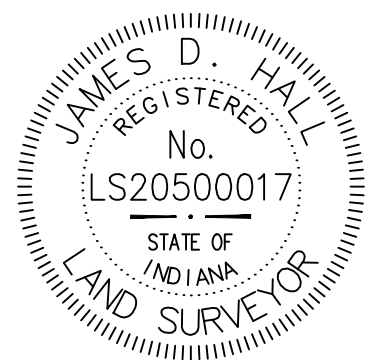


James D. Hall

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R.L.S. LS2050017

09/05/2024  
DATE:



DOCUMENT PREPARED BY:

JAMES D. HALL, PS  
 JD HALL LAND SURVEYING  
 803 S. OHIO STREET  
 SHERIDAN, IN 46069  
 317-800-8632

**SITE IMPROVEMENT  
PERFORMANCE BOND**

**BOND # BX0064054**

KNOW BY ALL PERSONS BY THESE PRESENTS: That we **Spicy Sicilian of Fishers, LLC** as Principal, and **Jet Insurance Company**, SURETY COMPANY, a corporation authorized to do surety business in the State of Indiana as Surety, are held and firmly bound unto the **City of Fishers, Indiana, 1 Municipal Drive**, as Obligee, in the sum of **Seventeen Thousand Five Hundred Fifty-Three Dollars (\$17,553.00)** lawful money of the United States of America, for which payment well and truly to be made, we bind ourselves, our heirs, executors, successors, and assigns firmly by these presents.

WHEREAS, the Principal has entered into an agreement with the Obligee, guaranteeing only that the Principal will complete site improvements as per estimate prepared by: **DORSEY EXCAVATING, INC.**, attached to and made a part hereof at certain land known as Lantern Road Boutique Storm ROW Bond Estimate, 11466 Lantern Road, ILP-24-12 all of which improvements shall be completed on or before the date set forth in the agreement or any extension thereof, and the Principal provides this bond as security for such agreement.

NOW, THEREFORE, the condition of this obligation is such that if the Principal shall carry out all the terms of said agreement relating to the site improvements only and perform all such work as set forth in the attached agreement, then this obligation shall be null and void; otherwise, to remain in full force and effect.

No party other than the Obligee shall have any rights hereunder as against the Surety.

The aggregate liability of the Surety on this bond obligation shall not exceed the sum stated above for any reason whatsoever.

THIS BOND WILL BECOME EFFECTIVE ON MARCH 12th, 2025

PRINCIPAL:

Spicy Sicilian of Fishers, LLC

DocuSigned by:  
By: Andrew Wojcik  
DEB1DB92318E4A0...

Surety Company

Jet Insurance Company

By: David Gonsalves  
David Gonsalves  
Attorney in Fact



# JET INSURANCE COMPANY

## POWER OF ATTORNEY

NOW ALL BY THESE PRESENTS: That **JET INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of North Carolina, having its principal office in Charlotte, North Carolina does hereby constitute and appoint

Name	Limit of Liability per Bond
<b>David Gonsalves</b>	<b>\$17,553.00</b>

its true and lawful Attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds, undertakings, contracts of indemnity, recognizances and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, provided that the liability of such shall not exceed the limit stated above.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon **JET INSURANCE COMPANY** as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of the following resolutions adopted by the Board of Directors of **JET INSURANCE COMPANY** by unanimous written consent dated August 03, 2018, of which the following is a true excerpt:

RESOLVED that the President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority to appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, attach the Seal of the Company thereto and deliver, bonds, undertakings, contracts of indemnity, recognizances and other writings obligatory in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke, at any time, any such Attorney-in-fact and revoke the authority given.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted by unanimous written consent dated August 3, 2018, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the Seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution on behalf of the Company and delivery of any bond, undertaking, contract of indemnity, recognizance and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, **JET INSURANCE COMPANY** has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 17<sup>th</sup> day of May, 2023.



**JET INSURANCE COMPANY**

*Spencer Siino*

*Richard Popp*

**STATE OF NORTH CAROLINA**  
**County of Mecklenburg**

**Spencer Siino, President**

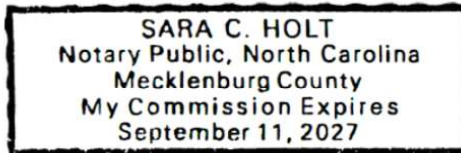
**Richard Popp, Secretary**

On this 17th day of May, 2023 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of Jet Insurance Company; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.

*Sara C. Holt*

IN WITNESS WHEREOF, I have hereunto set my hand at Jet Insurance Company offices the day and year above written.

Sara C. Holt  
Notary Public, State of North Carolina  
County of Mecklenburg  
My Commission Expires 09/11/2027



I, Richard Popp, Secretary of **JET INSURANCE COMPANY**, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by **JET INSURANCE COMPANY**, which is still in full force and effect.

IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this 12th day of March, 2025.



*Richard Popp*

**Richard Popp, Secretary**

### Certificate Of Completion

Envelope Id: 6FE9C817-B14D-4AE0-A876-628C53DC3621	Status: Completed
Subject: Complete with Docusign: BX0064054-ROW Bond - Spicy Sicilian.pdf, POA - ROW Bond BX0064054 - Spi...	
Company Name:	
Source Envelope:	
Document Pages: 2	Signatures: 1
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Katrina Hockemeyer
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	100 Ottawa Avenue, SW
	Grand Rapids, MI 49503
	Katrina@Rhodesinsgroup.com
	IP Address: 149.154.20.25

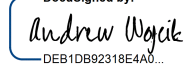
### Record Tracking

Status: Original	Holder: Katrina Hockemeyer	Location: DocuSign
3/14/2025 2:45:04 PM	Katrina@Rhodesinsgroup.com	

### Signer Events

Andrew Wojcik  
ajwojck4@gmail.com  
Security Level: Email, Account Authentication (None)

### Signature

DocuSigned by:  
  
DEB1DB92318E4A0...

### Timestamp

Sent: 3/14/2025 2:49:48 PM  
Viewed: 3/14/2025 4:40:17 PM  
Signed: 3/14/2025 4:40:26 PM

Signature Adoption: Pre-selected Style  
Using IP Address: 195.252.198.187  
Signed using mobile

**Electronic Record and Signature Disclosure:**  
Accepted: 3/14/2025 4:40:17 PM  
ID: b491c927-0995-48b8-aade-f2c152aae521

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	3/14/2025 2:49:48 PM
Certified Delivered	Security Checked	3/14/2025 4:40:17 PM
Signing Complete	Security Checked	3/14/2025 4:40:26 PM
Completed	Security Checked	3/14/2025 4:40:26 PM

Payment Events	Status	Timestamps
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### Electronic Record and Signature Disclosure

## **ELECTRONIC RECORD AND SIGNATURE DISCLOSURE**

From time to time, Acrisure, LLC (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to this Electronic Record and Signature Disclosure (ERSD), please confirm your agreement by selecting the check-box next to 'I agree to use electronic records and signatures' before clicking 'CONTINUE' within the DocuSign system.

### **Getting paper copies**

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after the signing session and, if you elect to create a DocuSign account, you may access the documents for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

### **Withdrawing your consent**

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

### **Consequences of changing your mind**

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. Further, you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

### **All notices and disclosures will be sent to you electronically**

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

### **How to contact Acrisure, LLC:**

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: [ksmith@acrisure.com](mailto:ksmith@acrisure.com)

### **To advise Acrisure, LLC of your new email address**

To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at [ksmith@acrisure.com](mailto:ksmith@acrisure.com) and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

If you created a DocuSign account, you may update it with your new email address through your account preferences.

### **To request paper copies from Acrisure, LLC**

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an email to [ksmith@acrisure.com](mailto:ksmith@acrisure.com) and in the body of such request you must state your email address, full name, mailing address, and telephone number. We will bill you for any fees at that time, if any.

### **To withdraw your consent with Acrisure, LLC**

To inform us that you no longer wish to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your signing session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an email to [ksmith@acisure.com](mailto:ksmith@acisure.com) and in the body of such request you must state your email, full name, mailing address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

### **Required hardware and software**

The minimum system requirements for using the DocuSign system may change over time. The current system requirements are found here: <https://support.docusign.com/guides/signer-guide-signing-system-requirements>.

### **Acknowledging your access and consent to receive and sign documents electronically**

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please confirm that you have read this ERSD, and (i) that you are able to print on paper or electronically save this ERSD for your future reference and access; or (ii) that you are able to email this ERSD to an email address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format as described herein, then select the check-box next to ‘I agree to use electronic records and signatures’ before clicking ‘CONTINUE’ within the DocuSign system.

By selecting the check-box next to ‘I agree to use electronic records and signatures’, you confirm that:

- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify Acisure, LLC as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by Acisure, LLC during the course of your relationship with Acisure, LLC.

**SITE IMPROVEMENT  
PERFORMANCE BOND**

**BOND # BX0064055**

KNOW BY ALL PERSONS BY THESE PRESENTS: That we **Spicy Sicilian of Fishers, LLC** as Principal, and **Jet Insurance Company**, SURETY COMPANY, a corporation authorized to do surety business in the State of Indiana as Surety, are held and firmly bound unto the **City of Fishers, Indiana, 1 Municipal Drive**, as Obligee, in the sum of **Nine Thousand Three Hundred Twenty Dollars (\$9,320)** lawful money of the United States of America, for which payment well and truly to be made, we bind ourselves, our heirs, executors, successors, and assigns firmly by these presents.

WHEREAS, the Principal has entered into an agreement with the Obligee, guaranteeing only that the Principal will complete site improvements as per estimate prepared by: **EMERGENT CONSTRUCTION**, attached to and made a part hereof at certain land known as Lantern Road Boutique Sidewalk Bond Estimate, 11466 Lantern Road, ILP-24-12 all of which improvements shall be completed on or before the date set forth in the agreement or any extension thereof, and the Principal provides this bond as security for such agreement.

NOW, THEREFORE, the condition of this obligation is such, that if the Principal shall carry out all the terms of said agreement relating to the site improvements only and perform all such work as set forth in the attached agreement, then this obligation shall be null and void; otherwise, to remain in full force and effect.

No party other than the Obligee shall have any rights hereunder as against the Surety.

The aggregate liability of the Surety on this bond obligation shall not exceed the sum stated above for any reason whatsoever.

THIS BOND WILL BECOME EFFECTIVE ON MARCH 12th, 2025

PRINCIPAL:

**Spicy Sicilian of Fishers, LLC**

DocuSigned by:  
By: Andrew Wojcik  
DEB1DB92318E4A0...

Surety Company

**Jet Insurance Company**

By: David Gonsalves  
David Gonsalves  
Attorney in Fact



# JET INSURANCE COMPANY

## POWER OF ATTORNEY

NOW ALL BY THESE PRESENTS: That **JET INSURANCE COMPANY**, a corporation organized and existing under the laws of the State of North Carolina, having its principal office in Charlotte, North Carolina does hereby constitute and appoint

Name	Limit of Liability per Bond
<b>David Gonsalves</b>	<b>\$9,320.00</b>

its true and lawful Attorney(s)-in-fact to execute, seal and deliver for and on its behalf as surety, any and all bonds, undertakings, contracts of indemnity, recognizances and other writings obligatory in the nature thereof, which are or may be allowed, required or permitted by law, statute, rule, regulation, contract or otherwise, provided that the liability of such shall not exceed the limit stated above.

The execution of such instrument(s) in pursuance of these presents, shall be as binding upon **JET INSURANCE COMPANY** as fully and amply, to all intents and purposes, as if the same had been duly executed and acknowledged by its regularly elected officers at the principal office.

The Power of Attorney is executed and may be certified so, and may be revoked, pursuant to and by authority of the following resolutions adopted by the Board of Directors of **JET INSURANCE COMPANY** by unanimous written consent dated August 03, 2018, of which the following is a true excerpt:

RESOLVED that the President, or any Vice President, acting with any Secretary or Assistant Secretary, shall have power and authority to appoint Attorney(s)-in-fact, and to authorize them to execute on behalf of the Company, attach the Seal of the Company thereto and deliver, bonds, undertakings, contracts of indemnity, recognizances and other writings obligatory in the nature thereof; to prescribe their respective duties and the respective limits of their authority; and to revoke, at any time, any such Attorney-in-fact and revoke the authority given.

Further, this Power of Attorney is signed and sealed by facsimile pursuant to resolution of the Board of Directors of the Company adopted by unanimous written consent dated August 3, 2018, of which the following is a true excerpt:

RESOLVED that the signature of any authorized officer and the Seal of the Company may be affixed by facsimile to any Power of Attorney or certification thereof authorizing the execution on behalf of the Company and delivery of any bond, undertaking, contract of indemnity, recognizance and other writings obligatory in the nature thereof, and such signature and seal when so used shall have the same force and effect as though manually affixed.

IN WITNESS WHEREOF, **JET INSURANCE COMPANY** has caused this instrument to be signed and its corporate seal to be affixed by its authorized officer, this 17<sup>th</sup> day of May, 2023.



**JET INSURANCE COMPANY**

**Spencer Siino, President**

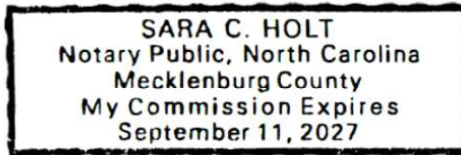
**Richard Popp, Secretary**

**STATE OF NORTH CAROLINA**  
**County of Mecklenburg**

On this 17th day of May, 2023 before me came the individuals who executed the preceding instrument, to me personally known, and being by me duly sworn, said that each is the herein described and authorized officer of Jet Insurance Company; that the seal affixed to said instrument is the Corporate Seal of said Company; that the Corporate Seal and each signature were duly affixed by order of the Board of Directors of said Company.

Sara C. Holt  
Notary Public, State of North Carolina  
County of Mecklenburg  
**My Commission Expires 09/11/2027**

IN WITNESS WHEREOF, I have hereunto set my hand at Jet Insurance Company offices the day and year above written.



I, Richard Popp, Secretary of **JET INSURANCE COMPANY**, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney executed by **JET INSURANCE COMPANY**, which is still in full force and effect.

IN WITNESS WHEREOF, I have thereunto set my hand and attached the seal of said Company this 12th day of March, 2025.



**Richard Popp, Secretary**

### Certificate Of Completion

Envelope Id: D4868586-CA67-4E23-A62E-0920E49C1152	Status: Completed
Subject: Complete with Docusign: BX0064055-Sidewalk Performance Bond - Spicy Sicilian.pdf, POA Sidewalk ...	
Company Name:	
Source Envelope:	
Document Pages: 2	Signatures: 1
Certificate Pages: 4	Initials: 0
AutoNav: Enabled	Envelope Originator:
Envelopeld Stamping: Enabled	Katrina Hockemeyer
Time Zone: (UTC-05:00) Eastern Time (US & Canada)	100 Ottawa Avenue, SW
	Grand Rapids, MI 49503
	Katrina@Rhodesinsgroup.com
	IP Address: 149.154.20.25

### Record Tracking

Status: Original	Holder: Katrina Hockemeyer	Location: DocuSign
3/14/2025 2:49:52 PM	Katrina@Rhodesinsgroup.com	

### Signer Events

Andrew Wojcik  
 ajwojck4@gmail.com  
 Security Level: Email, Account Authentication (None)

### Signature

DocuSigned by:  
  
 DEB1DB92318E4A0...

### Timestamp

Sent: 3/14/2025 2:51:24 PM  
 Viewed: 3/14/2025 4:40:42 PM  
 Signed: 3/14/2025 4:40:47 PM

Signature Adoption: Pre-selected Style  
 Using IP Address: 195.252.198.187  
 Signed using mobile

**Electronic Record and Signature Disclosure:**  
 Accepted: 3/14/2025 4:40:42 PM  
 ID: fcd1e7dd-56dd-4d24-9c0d-52deba3702b4

In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	3/14/2025 2:51:24 PM
Certified Delivered	Security Checked	3/14/2025 4:40:42 PM
Signing Complete	Security Checked	3/14/2025 4:40:47 PM
Completed	Security Checked	3/14/2025 4:40:47 PM

Payment Events	Status	Timestamps
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### Electronic Record and Signature Disclosure

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To contact us by email send messages to: [ksmith@acrisure.com](mailto:ksmith@acrisure.com)

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To let us know of a change in your email address where we should send notices and disclosures electronically to you, you must send an email message to us at [ksmith@acrisure.com](mailto:ksmith@acrisure.com) and in the body of such request you must state: your previous email address, your new email address. We do not require any other information from you to change your email address.

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- You can access and read this Electronic Record and Signature Disclosure; and
- You can print on paper this Electronic Record and Signature Disclosure, or save or send this Electronic Record and Disclosure to a location where you can print it, for future reference and access; and
- Until or unless you notify Acisure, LLC as described above, you consent to receive exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you by Acisure, LLC during the course of your relationship with Acisure, LLC.

April 9, 2024

Ross Hilleary  
 Director - Planning & Zoning  
 City of Fishers

Re: Road & Bridge Impact Fee Calculation  
 Spicy Sicilian – 11466 Lantern Road

Regarding your request, I have estimated the Road & Bridge Impact Fee for the above-mentioned project. The total number of new trips that will be generated by the proposed development is determined based on information provided in the 11<sup>th</sup> edition of the ITE Trip Generation Report and includes applicable pass-by trip reductions.

Proposed Cafe (2100 SF) =	99 “24-hour” Trips
Previous Existing Single-Family Home =	10 “24-hour” Trips (Credit)
Applicable Impact Fee Trips =	89 “24-hour” Trips
Road Impact Fee: 89 “24-hour” trips x \$399.42 / trip =	\$35,548.38
Bridge Impact Fee: 89 “24-hour” trips x \$16.19 / trip =	\$1,440.91
<b>Total Impact Fee</b>	<b>\$36,989.29</b>

This estimate is based on data provided to the City of Fishers by the developer. If there is an increase or decrease in the size of the development or if the land use changes, the impact fee may be adjusted for the change.

If you have any questions or comments, please feel free to contact me.

Sincerely,  
 A&F Engineering Co., LLC



R. Matt Brown, PE/PTOE  
 Vice President

/enclosure