



CITY OF FISHERS AGENDA

BOARD/COMMISSION: Board of Zoning Appeals - Fall Creek

DATE: 10/10/2024 at 6:00 PM

DIRECTIONS: Fishers Municipal Center, FMC Nickel Plate Conference Room, 3rd Floor, ,
1 Municipal Drive, Fishers, IN 46038

Members of the public may [submit comments online](#) before 12pm on the day of the meeting.

In accordance with the Americans with Disabilities Act (ADA), the City of Fishers will, upon request, provide appropriate aid (i.e. interpreters) and/or assistance leading to effective participation for people with disabilities. Anyone who requires such assistance should [email Kelly Lewark](#), Office Manager, no later than 48 hours before the scheduled event or call at (317) 595-3487.

1. Call to order / Pledge of Allegiance

2. Roll Call

3. Approval of Previous Minutes

- a. 8-22-24

4. Public Hearings

a. 15892 Connecticut Ave Flat Roof Variance

Parcel: 13-16-08-00-00-002.000

Address: 15892 Connecticut Ave

Case: VA-24-20

Request: Consideration of a Development Standards Variance from Section 6.3.4.B of the City's Unified Development Ordinance (UDO) to allow a flat roof on a proposed single family home.

Petitioner: Jeremiah Latta (jeremiah.latta@yahoo.com)

Planner: Gabrielle Herin (hering@fishers.in.us)

5. Old Business

- a. FCBZA Rules and Procedures Approval

6. New Business

7. Staff Communication

8. Board Signatures – Findings of Fact

9. Adjournment

CITY OF FISHERS
BOARD OF ZONING APPEALS- Fall Creek
MINUTES
Fishers Municipal Center - Nickel Plate Conference Room
August 22, 2024

The Fall Creek Board of Zoning Appeals convened at 6:00 p.m.

A roll call was taken. Members present: Rich Bassett, Joel Fenske, Chris Huck. Steve Richards was not present. Others present: Ross Hilleary, Kay Prange, Rob McMurray, Gabrielle Herin, Rodney Retzner, Doug Allman, Connie and Tom Marten.

Mr. Bassett confirmed quorum and called the meeting to order.

Elections, Appointments and Designations:

Mr. Bassett opened the meeting to Nominations.

Mr. Fenske made a Motion to nominate Steve Richards as Chair, seconded by Mr. Bassett.

The Motion was approved, 3-0.

Mr. Fenske made a Motion to nominate Rich Bassett as Vice-Chair, seconded by Mr. Huck.

The Motion was approved, 3-0.

Appointments were approved for Board Secretaries, Recording Secretaries, Legal Counsel and Legal Publications.

Public Hearings:

12201 Florida Rd Pole Barn Variance Parcels: 13-12-31-00-00-006.000, 13-12-31-00-00-006.002

Address: 12201 Florida Rd **Case:** VA-24-17 **Request:** Consideration of a Development Standards Variance from Section 6.2.2.A of the City's Unified Development Ordinance (UDO) to allow an increase in the maximum floor area of all accessory structures from 4,000 square feet to 5,300 square feet to add a pole barn for an agriculture related use. **Petitioner:** Connie Marten (connie@martenrealtygroup.com) **Planner:** Gabrielle Herin (hering@fishers.in.us)

Connie Marten presented their request for the Pole Barn. It will be used for additional equipment and hay. No public comments have been received.

Gabrielle Herin presented the Staff Report for the 5300 square foot accessory structure. Staff recommends approval.

Mr. Bassett opened the Public Hearing.

Doug Allman (16124 E. 126th St.)- Doug is the Fall Creek Township Trustee. He has known the Martens for 38 years and they are good neighbors.

Mr. Bassett closed the Public Hearing.

Mr. Bassett asked for a Motion. Mr. Fenske made a Motion to approve, with the approval letter to be recorded with the County, seconded by Mr. Huck. The Motion was approved, 3-0.

New Business- none

Ross Hilleary, Director of Planning and Zoning, presented the FCBZA Rules and Procedures update. The updated Rules will be voted on at the next meeting, September 26, 2024.

Adjournment As there was no other business, the meeting was adjourned at 6:30 p.m.

Respectfully Submitted by:

Kay Prange, Recording Secretary



Fall Creek Board of Zoning Appeals Staff Report

Meeting Date: September 26, 2024

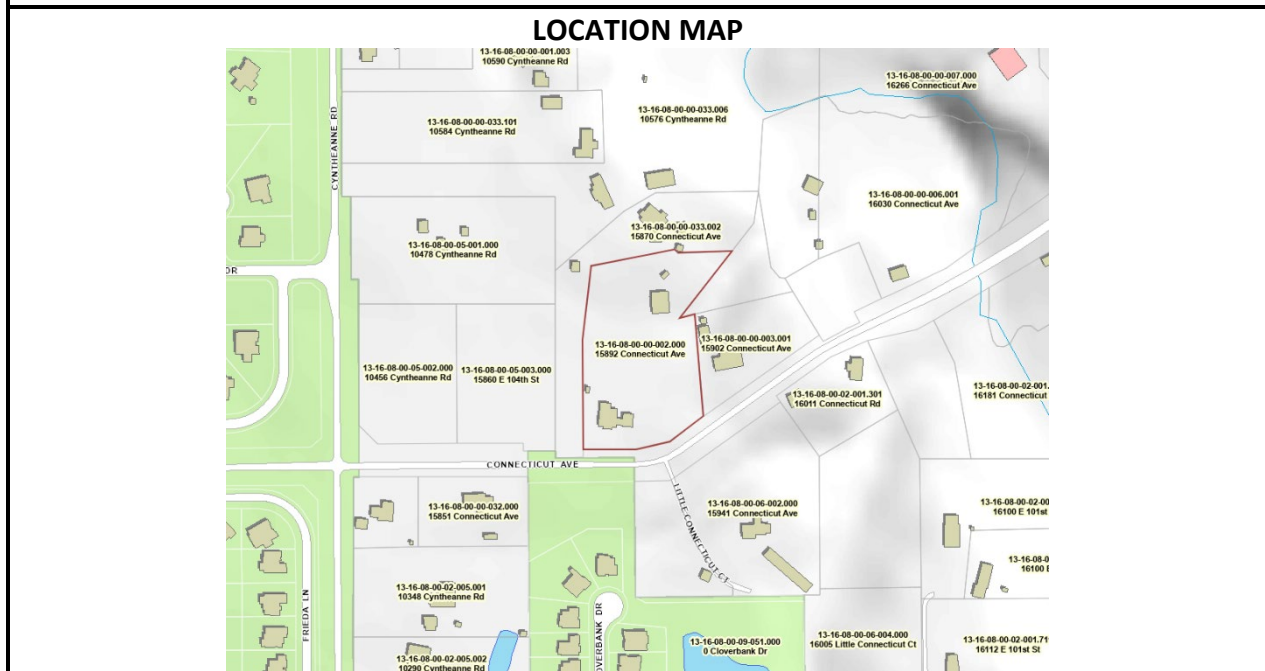
DEPARTMENT CONTACT: Gabrielle Herin (hering@fishers.in.us)	CASE NUMBER: VA-24-20
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PETITIONER: Jeremiah Latta (Jeremiah.latta@yahoo.com)	PROPERTY ADDRESS/LOCATION: 15892 Connecticut Ave
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REQUEST: Consideration of a Development Standards Variance from Section 6.3.4.B of the City's Unified Development Ordinance (UDO) to allow a flat roof on a proposed single family home.

APPLICABLE REGULATIONS:	EXISTING ZONING:	FISHERS 2040:
Unified Development Ordinance	R-2, Unified Development Ordinance (Ord. #071618F)	Estate Residential

LOT SIZE: 3.59 acres



STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation

ZONING HISTORY:

The parcel is under the Unified Development Ordinance (Ord. #071618F).

SURROUNDING LAND USE & ZONING:

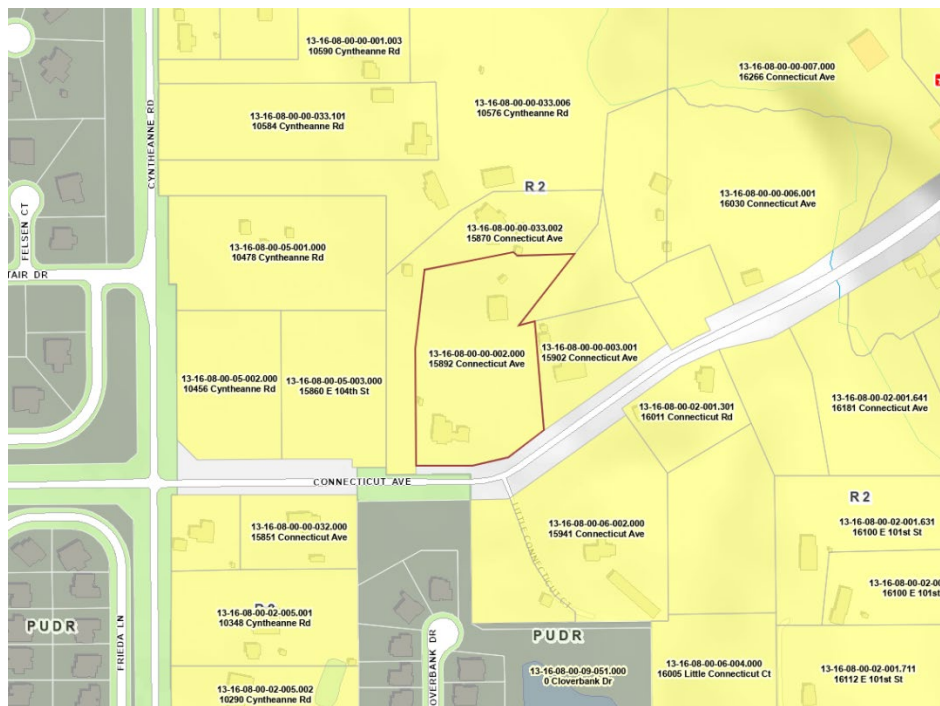
North: R2 (Traditional Single Family)

East: R2 (Traditional Single Family, Woods, Creek)

South: PUD-R, R2 (Traditional Single Family)

West: R2, PUD-M (Traditional Single Family, Field)

Zoning Map



SUMMARY OF PUBLIC COMMENTS:

At the time of writing this staff report, no public comments were received.

PETITION OVERVIEW:

Summary of Request

Jeremiah Latta, on behalf of the property owners, is requesting a Development Standards Variance for a custom-built home to have a 0/12 roof pitch instead of the minimum required 5/12.

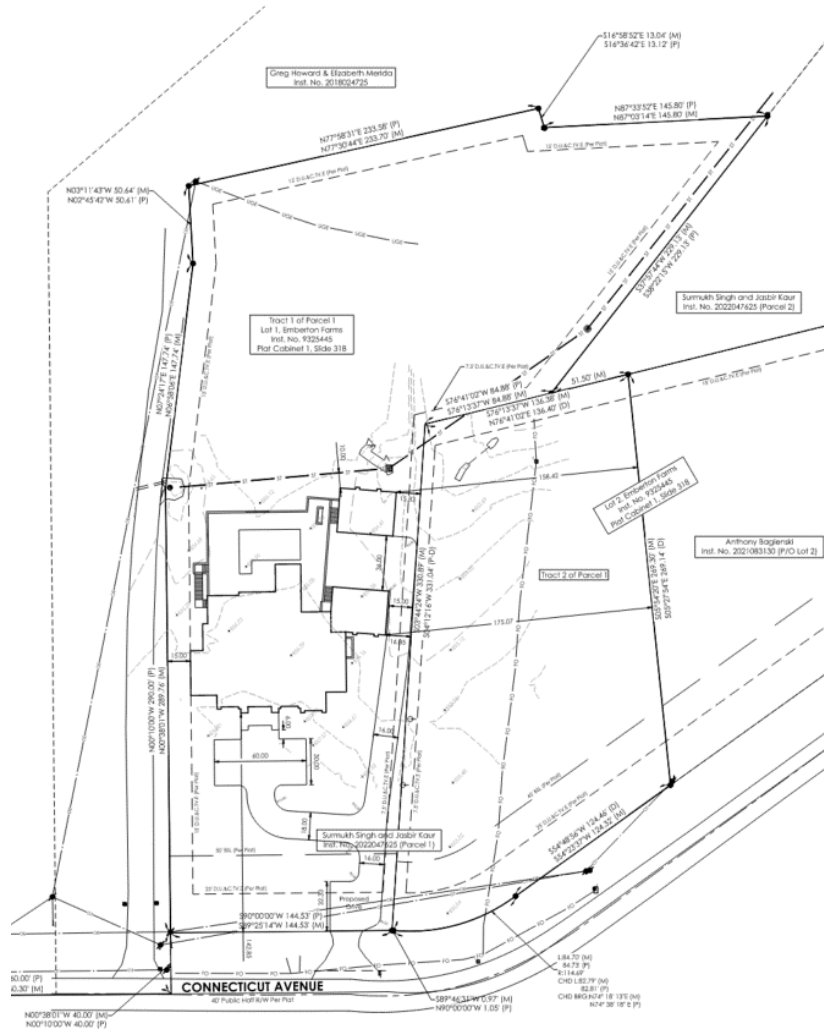


Figure 1. Layout of the house on the lot.



Figure 2. Front and rear elevations of the proposed custom-built home.

Fishers 2040

The Fishers 2040 Plan identifies this area as Estate Residential. The variance request aligns with this vision.



STAFF RECOMMENDATION:

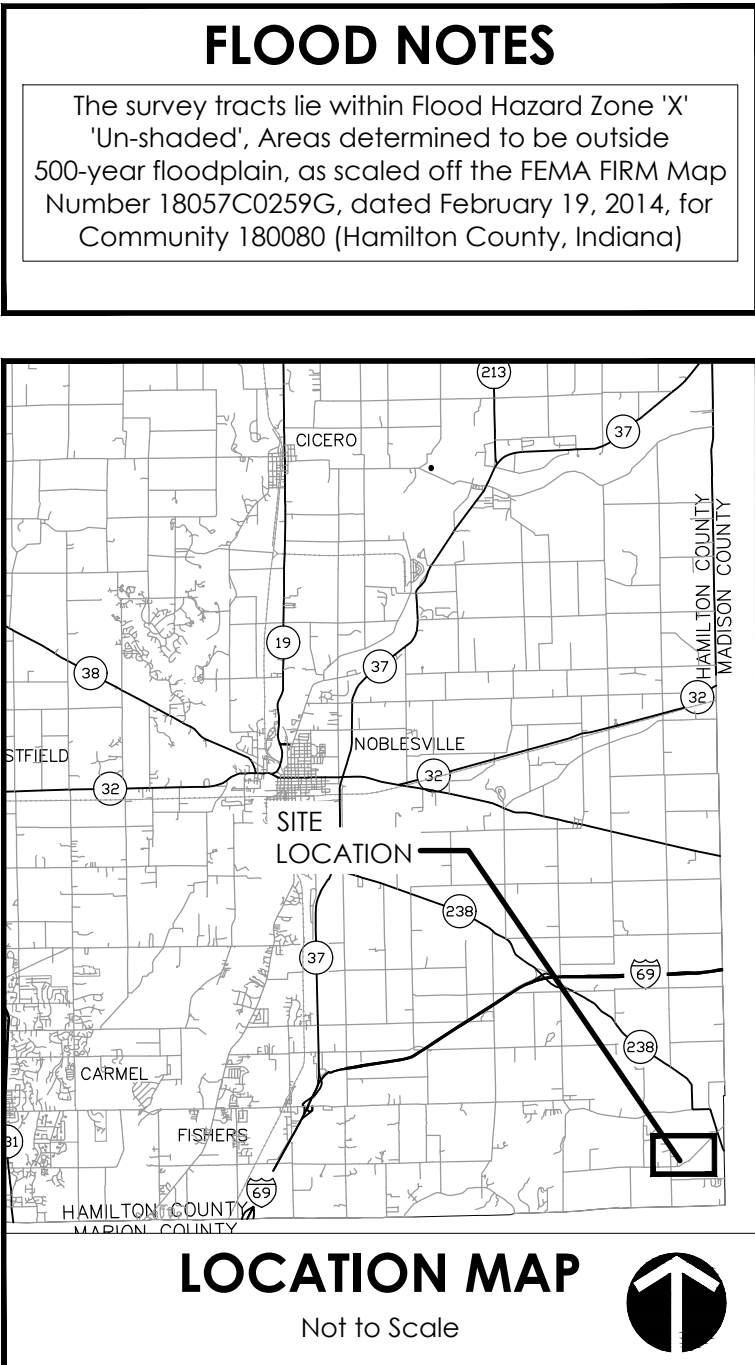
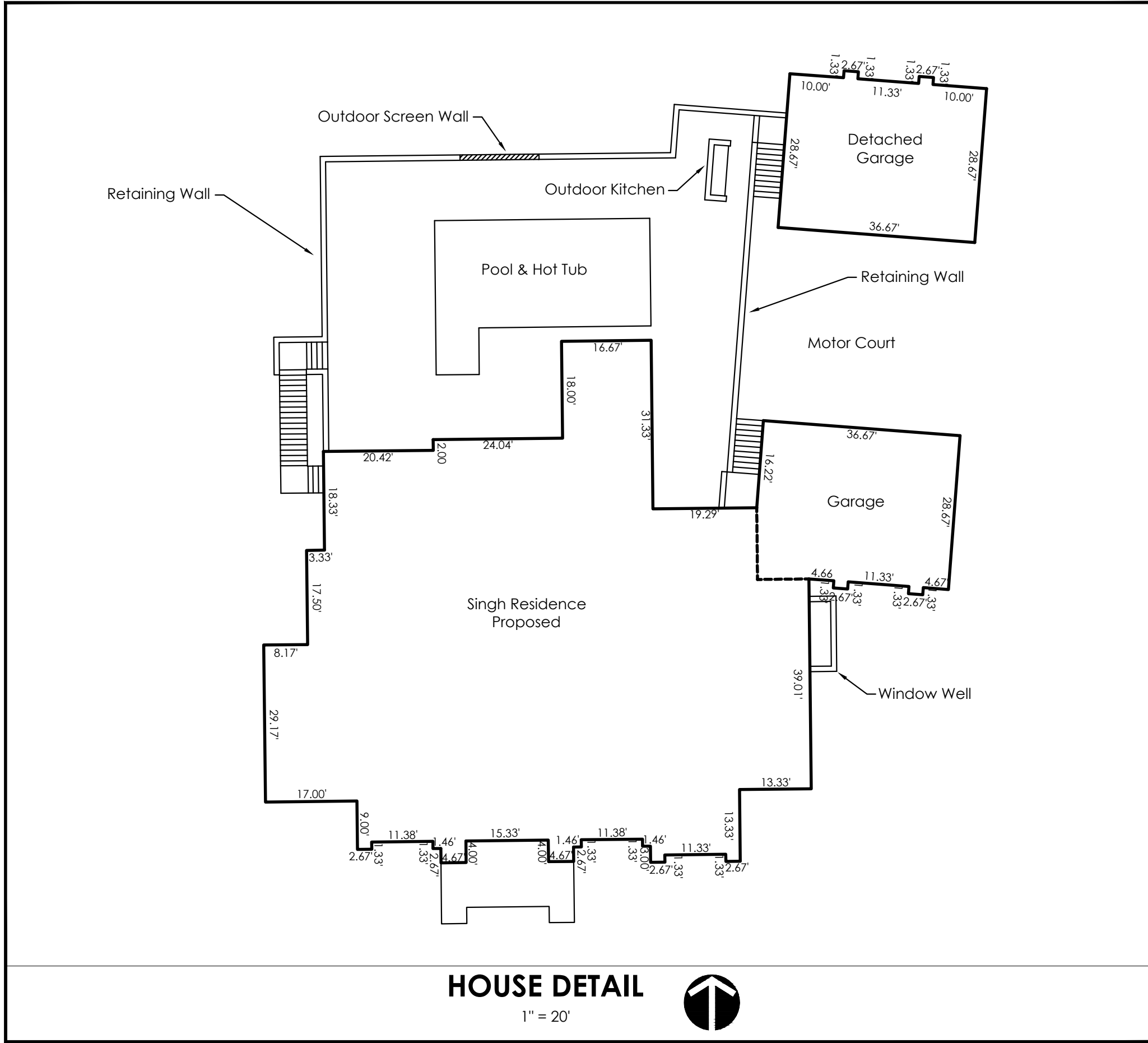
Staff has no recommendation for this request.

If the Board approves this Variance Staff requests the following conditions, and any others sought by the Board:

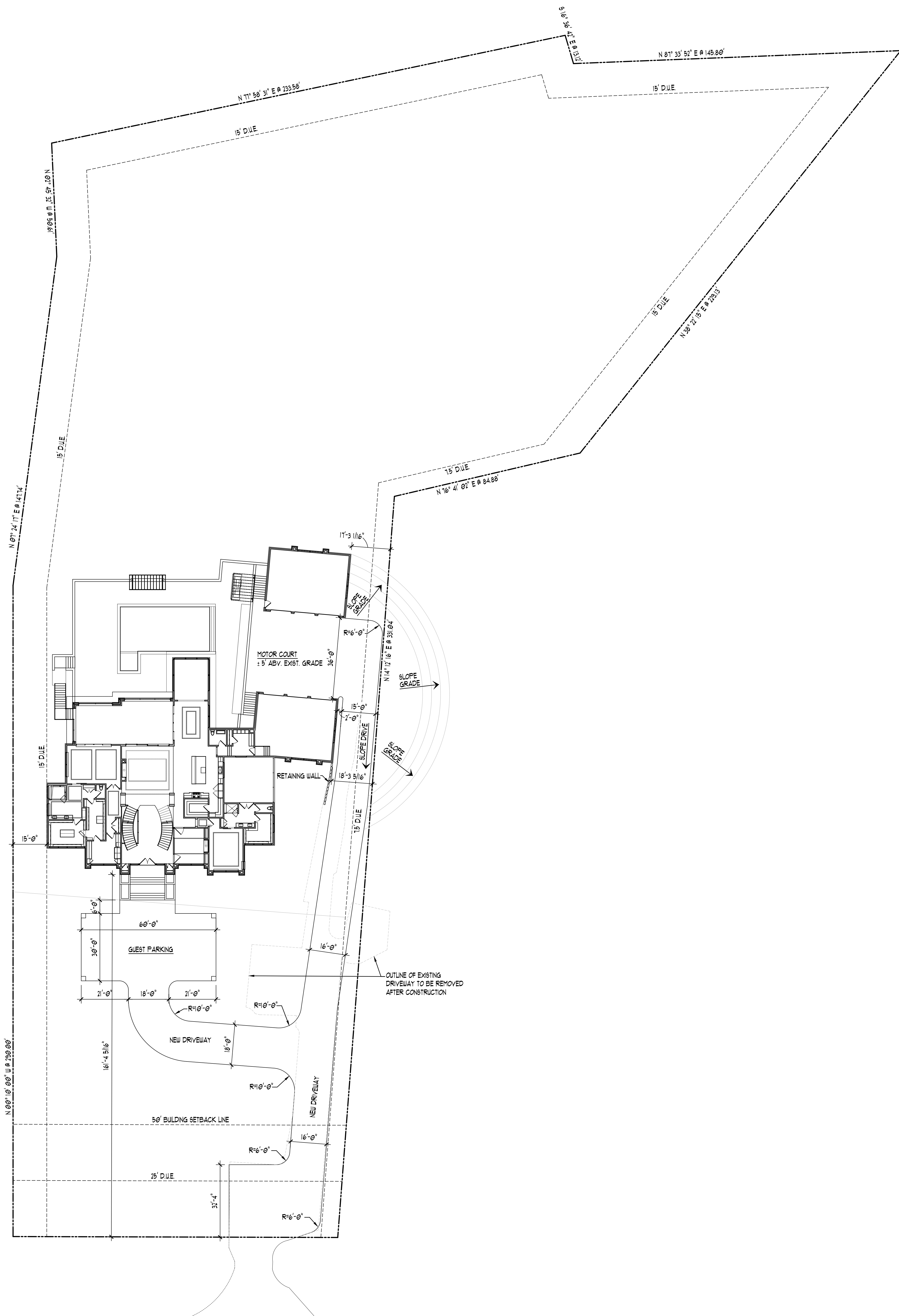
1. The Approval Letter and relative documentation be recorded on the property with the Hamilton County Recorder's Office.

STAFF RECOMMENDATION

☐ Approve ☐ Continue ☐ Deny ☒ No Recommendation



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INDEX OF DRAWINGS	
R1	- SITE PLAN & INDEX
A1	- FRONT & REAR ELEVATIONS
A2	- SIDE ELEVATIONS, GARAGE O.H.D. ELEVATION
A3	- LOWER LEVEL FOUNDATION PLAN (OVERALL)
A31	- LOWER LEVEL FOUNDATION PLAN (MAIN HOUSE)
A32	- REAR GARAGE FOUND. PLAN, FLR. PLAN AND DROPPED FOUND. PLAN
A4	- MAIN FLOOR PLAN (OVERALL)
A41	- MAIN FLOOR PLAN (MAIN HOUSE)
A5	- SECOND FLOOR PLAN
A6	- ROOF PLAN & TYPICAL DETAILS
A7	- TRUSS OVERHANG DETAILS
A8	- BUILDING SECTIONS
F1	- MAIN FLOOR FRAMING PLAN
F2	- SECOND FLOOR FRAMING PLAN
E1	- LOWER LEVEL ELECTRICAL PLAN
E2	- MAIN FLOOR ELECTRICAL PLAN
E3	- SECOND FLOOR ELECTRICAL PLAN

ABBREVIATIONS		
ASH	ONE SHELF	I.R.C. INT'L RESIDENTIAL CODE
I.R.	ONE ROD	K.W. KNEE WALL
ABV.	ABOVE	LED LIGHT EMITTING DIODE
AFF.	ABOVE FINISH FLOOR	L.V. LIVING
BEV.	BEVERAGE	L.S.L. LAMINATED STRUCT. LUMBER
BD.	BOARD	L.V.L. LAMINATED VENEER LUMBER
BDRM.	BEDROOM	O.H.C. OVERHEAD CABINET
BM.	BEAM	O.H.D. OVERHEAD DOOR
BRG.	BEARING	O.U.J. OPEN UP JOIST
BSMT.	BASEMENT	MECH. MECHANICAL
BTM.	BOTTOM	MSR. MASTER
CAB.	CABINET	PKT. POCKET
CALC.	CALCULATIONS	FR. FRAIN
C.	CLOSET	FLDR. FOLDER
CLG.	CEILING	R. RISER
C.O.	CASED OPENING	REF. REFRIGERATOR
CONC.	CONCRETE	REQ'D. REQUIRED
CONS.	CONSERVATION	RFT. RAFTER
COV.	COVERED	RM. ROOM
D.	CLOTHES DRYER	SD. SMOKE DETECTOR
DBL.	DOUBLE	SECT. SECTION
DEC.	DECORATIVE	S.G.D. SLIDING GLASS DOOR
DMS.	DIMENSIONS	SHLV. SHELVES
DN.	DOWN	SQ. SQUARE
DP.	DEEP OR DEPTH	STOR. STORAGE
DW.	DISHWASHER	STRUCT. STRUCTURAL
EA.	EACH	T. TREAD
ELEC.	ELECTRICAL	TOT. TOTAL
FRZR.	FREEZER	TYP. TYPICAL
FLR.	FLOOR	U.O.N. UNLESS OTHERWISE NOTED
FURN.	FURNACE	UNEXC. UNEXCAVATED
GD.	GARAGE DISPOSAL	V. VANTY
H.	HIGH	W. CLOTHES WASHER
HB.	HOSE BIB	W.C. WALK IN CLOSET
H.S.S.	HOLLOW STEEL SECTION	WH. WATER HEATER
I.E.C.C.	INT'L ENERGY CONS. CODE	WP. WATER PUMP
INSUL.	INSULATION	WS. WATER SOFTENER
INT'L.	INTERNATIONAL	

SINGH RESIDENCE

15892 CONNECTICUT AVE., FISHERS



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40 1st STREET N.W.
CARMEL, IN 46032
FAX 317.582.1487
steve@goldbergdsgngrp.com
www.goldbergdsgngrp.com
AWARD WINNING HOME DESIGNS

DATE: 09-19-23
02-19-24

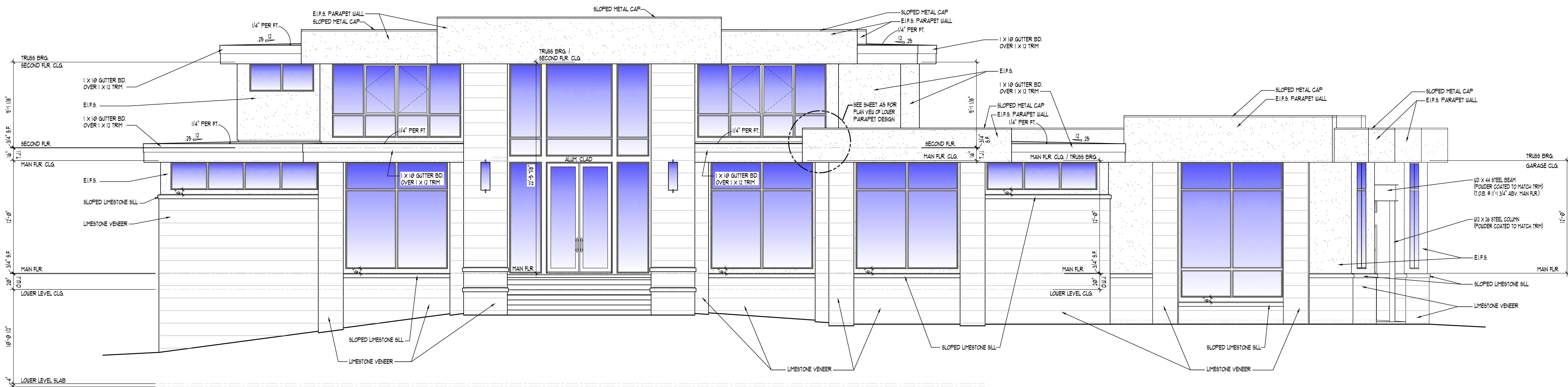
SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

S1

SITE PLAN/ INDEX
1" = 20'

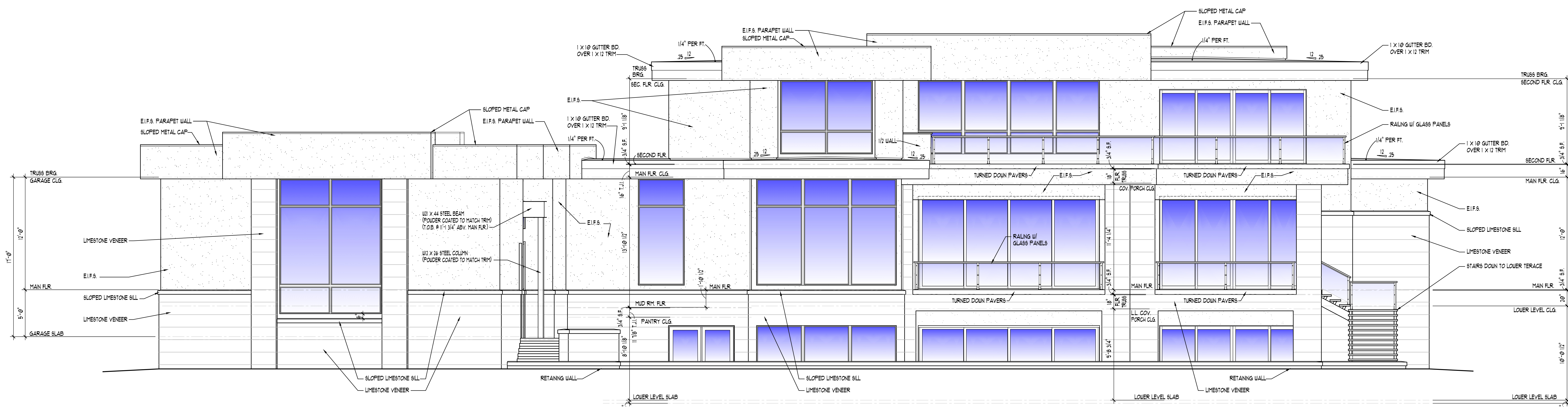




FRONT ELEVATION

1/4" = 1'-0"

NOTE: ALLOW A MIN. OF 2" CLEARANCE BETWEEN THE EIFS TERMINATION AND THE ROOF ASSEMBLY



REAR ELEVATION

1/4" = 1'-0"

NOTE: ALLOW A MIN. OF 2" CLEARANCE BETWEEN THE EIFS TERMINATION AND THE ROOF ASSEMBLY

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SAVE NAME: SINGH SJU CONN AVE

SHEET NUMBER

1

11 of 43

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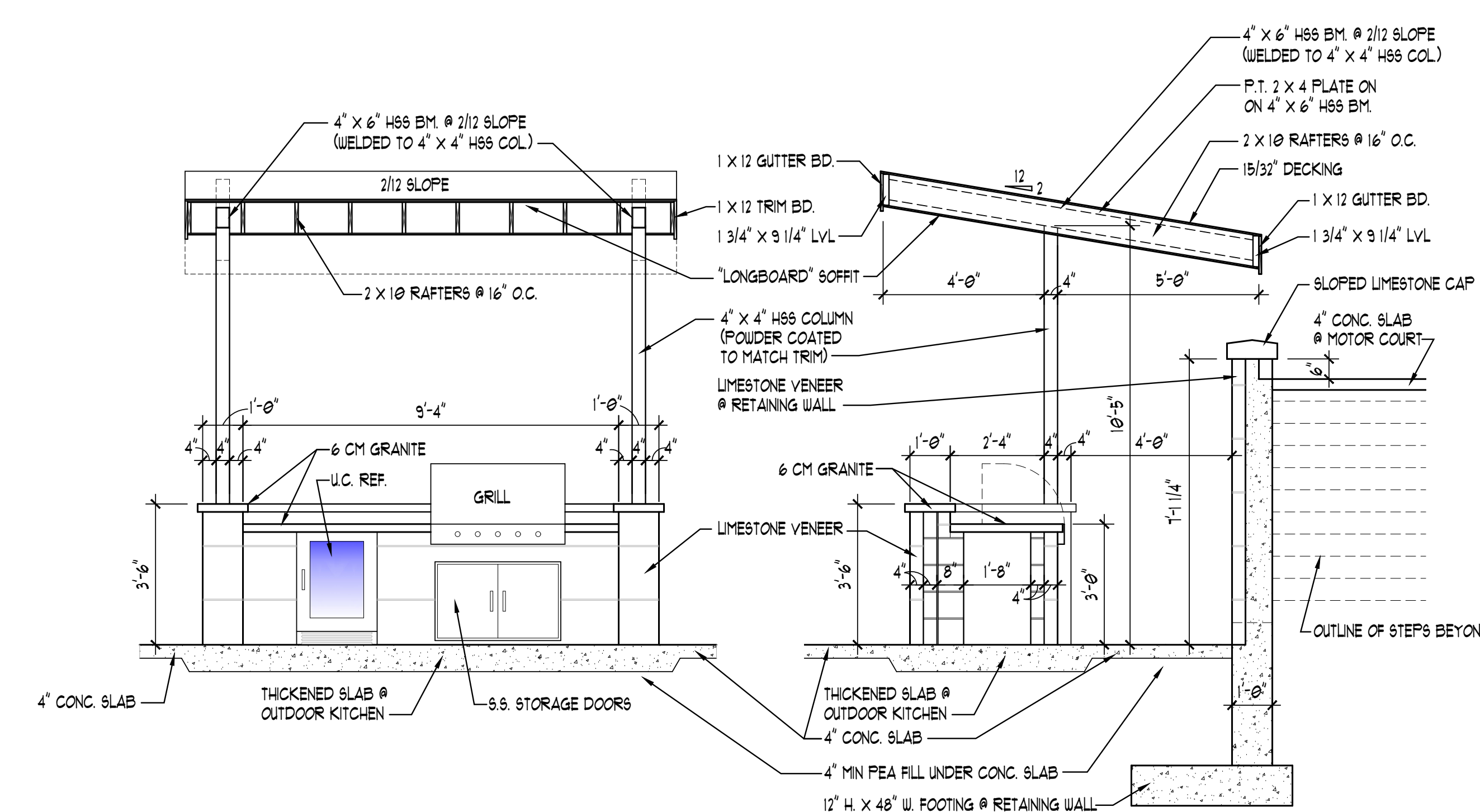
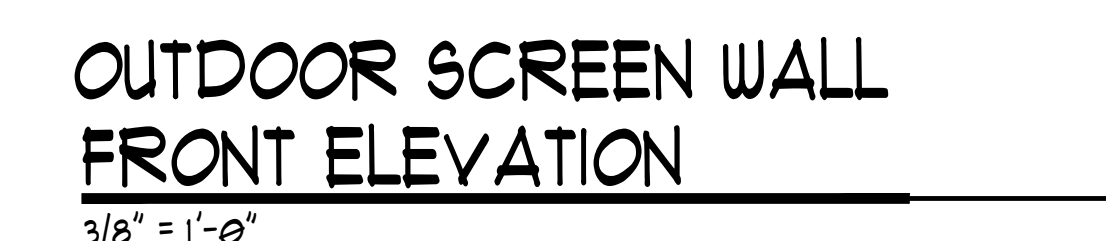
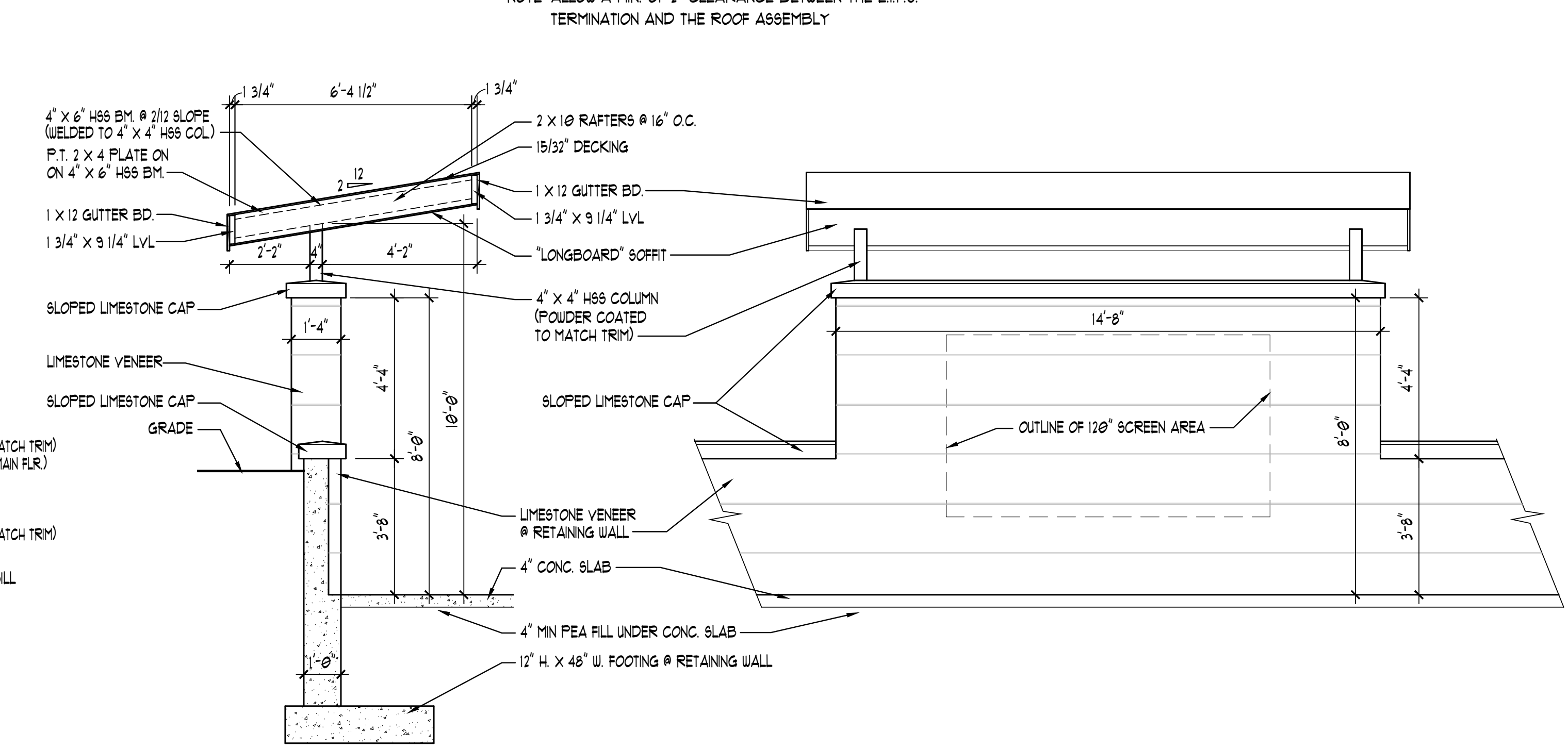
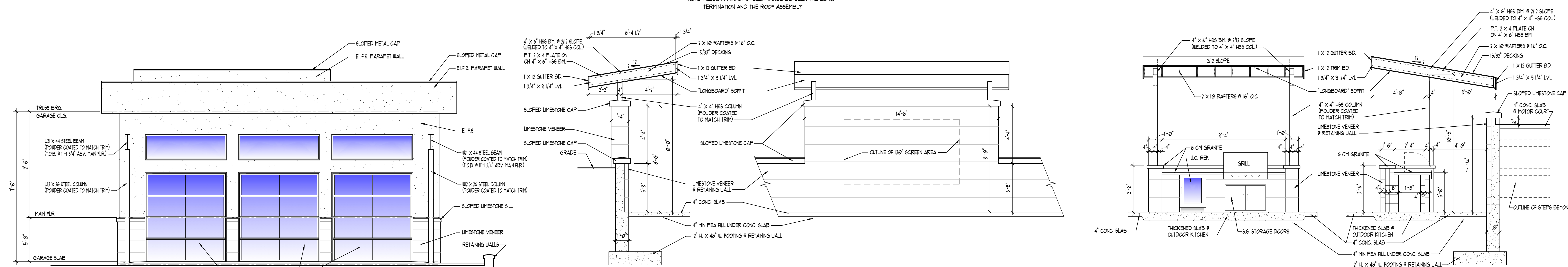
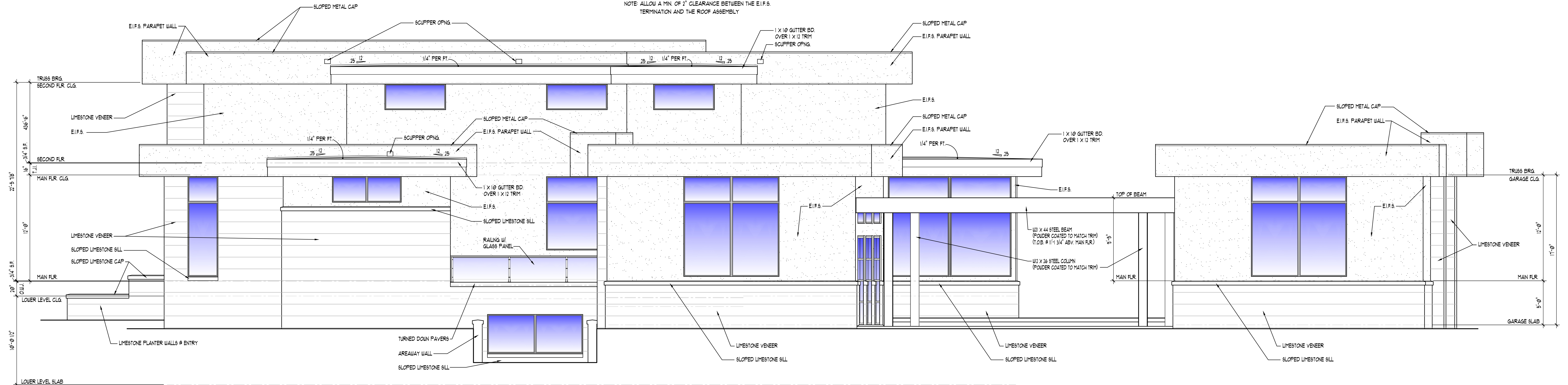
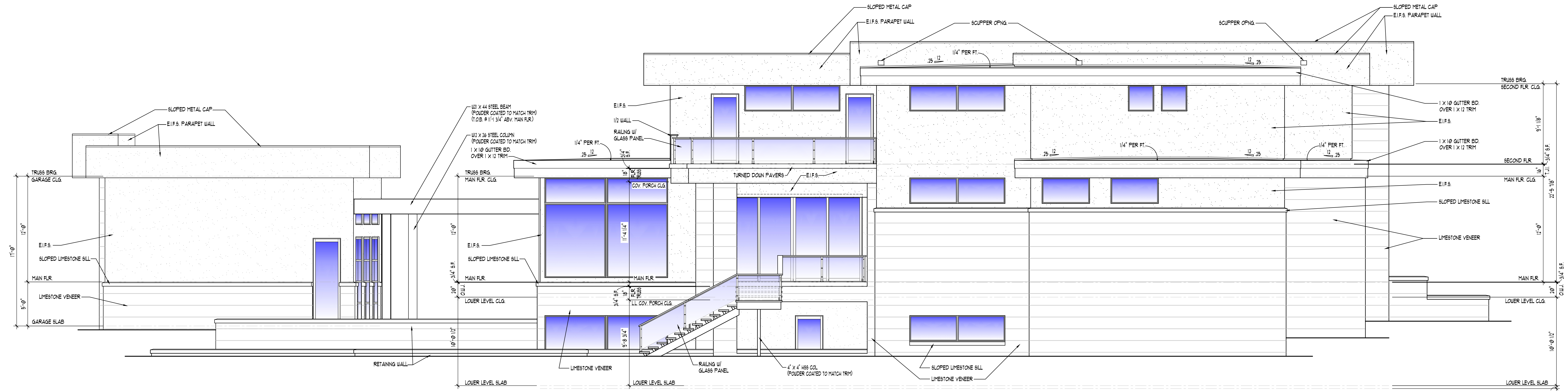
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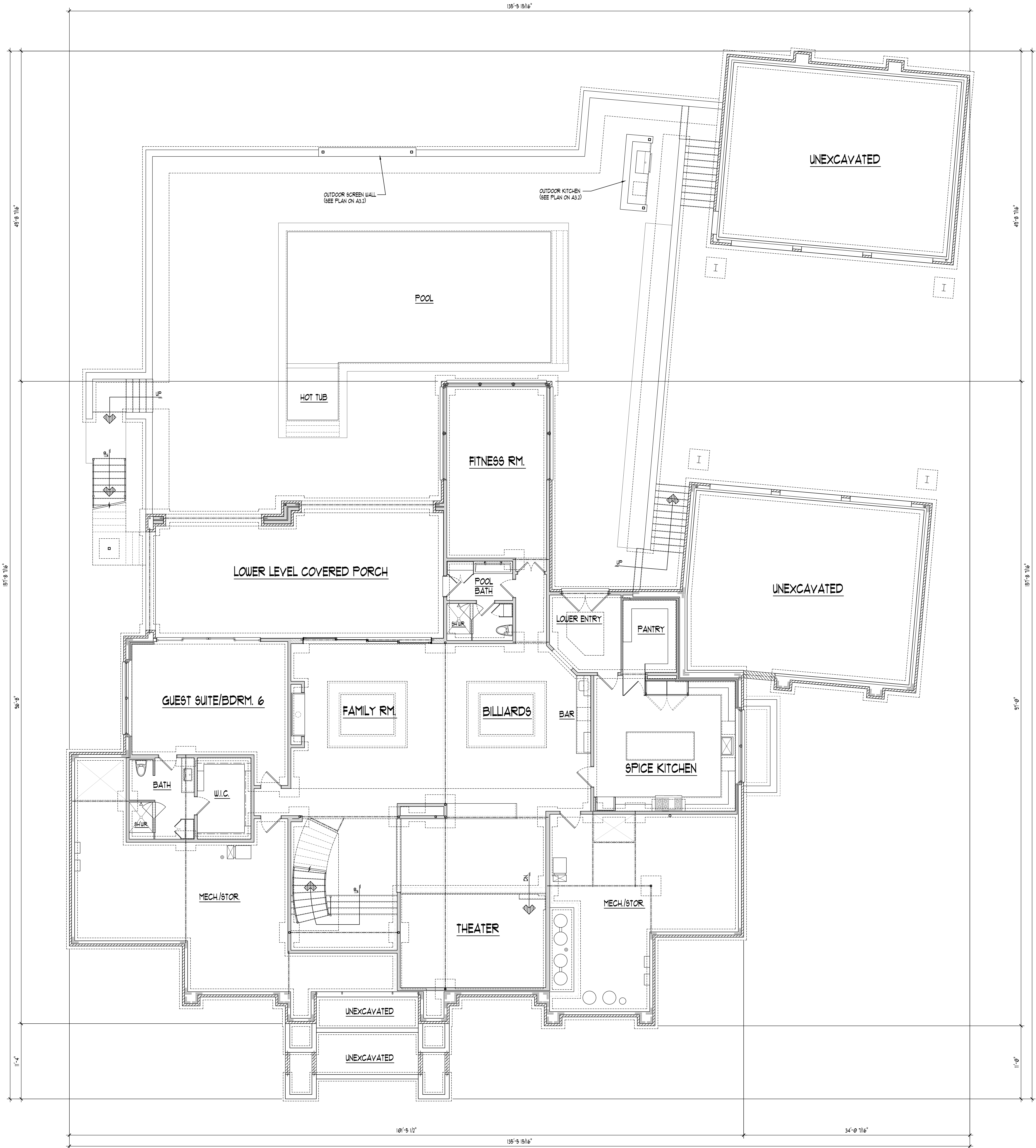
DATE: 09-19-23
02-19-24

SAVE NAME: SINGH SJJ CONN AVE

SHEET NUMBER

A2





GENERAL NOTES

- SPECIFIC DOOR AND WINDOW CODES ARE "PELLA" CONTINGUARY CASEMENT UNITS HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SEE PLAN FOR WINDOW HEADER HEIGHTS.
- WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING.
- EXTERIOR 2 X 4 WALLS DRAIN AS 4" THICK (INCL. 1/2" SHEATHING).
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- APPLY POLYURETHANE SPRAY FOAM INSUL. TO ALL FACES AND FILL INSIDE OF H.S.S. THAT PENETRATE HEATING ENVELOPE.
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- BUILDING/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO THE 2009 ICC AND 2012 INDIANA RESIDENTIAL ENERGY CODES, AND CHOOSING THE METHOD AND MANNER OF DOING SO.
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WALL LEGEND

- 2 X 10 FRAME WALL
- 2 X 8 FRAME WALL
- 2 X 6 FRAME WALL
- 2 X 4 FRAME WALL

AREA TABULATION

MAIN FLOOR	5,350 SQ. FT.
COVERED ENTRY PORCH	64 SQ. FT.
COVERED REAR PORCH	863 SQ. FT.
GARAGE 1	1,006 SQ. FT.
GARAGE 2	1,008 SQ. FT.
SECOND FLOOR	2,991 SQ. FT.
SECOND FLOOR BALCONY	1,061 SQ. FT.
LOWER LEVEL FINISHED	4,149 SQ. FT.
LOWER LEVEL UNFINISHED	1,809 SQ. FT.
LOWER LEVEL COV. PORCH	863 SQ. FT.

LOWER LEVEL FLOOR PLAN /
FOUNDATION PLAN - OVERALL

3/16" = 1'-0"

10'-0" W. POURED WALLS
W/ (3) SILL PLATES

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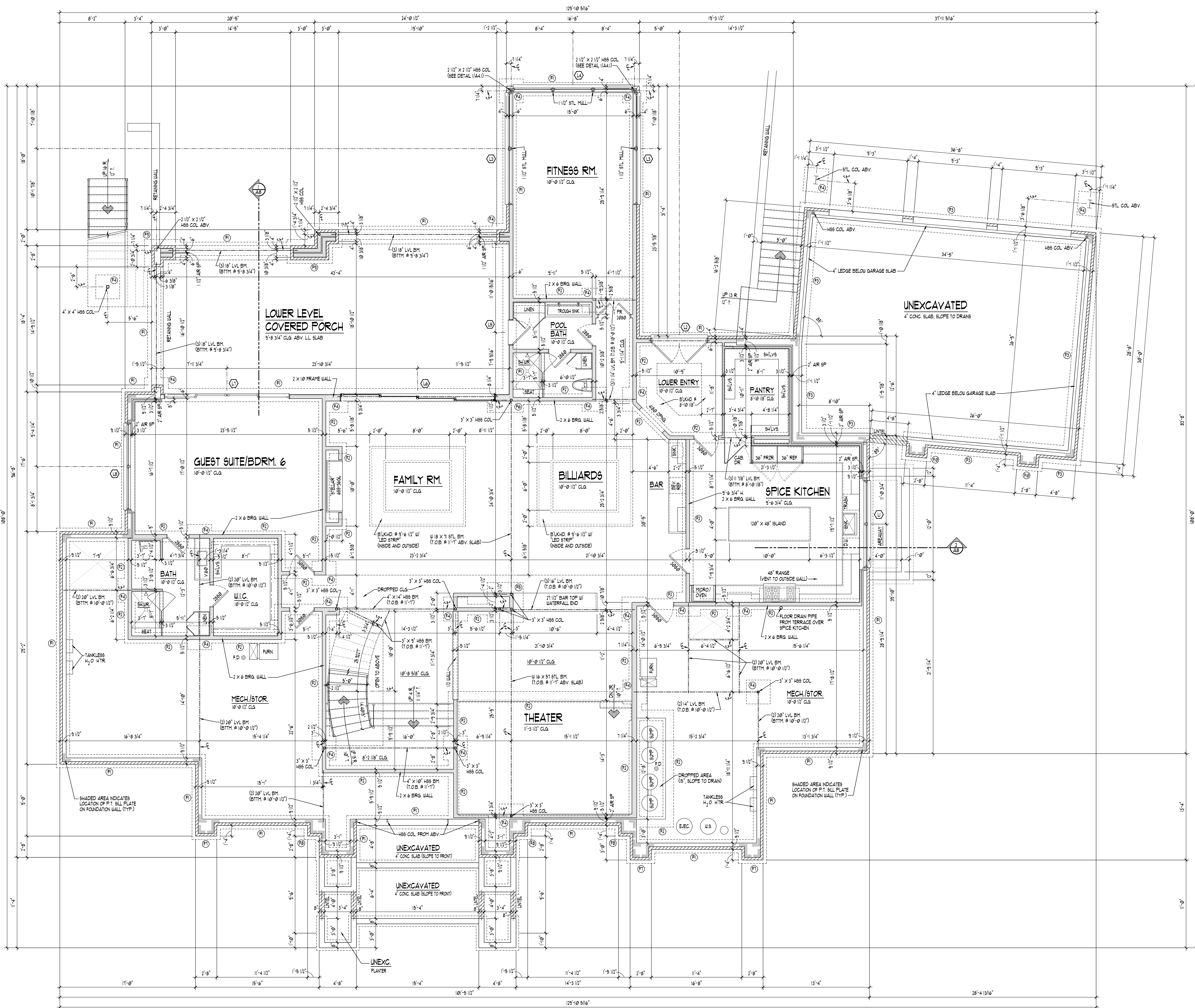
AWARD WINNING HOME DESIGNS

DATE: 09-19-23
02-19-24

SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

A3



GENERAL NOTES

- SPECIFIC DOOR AND WINDOW CODES ARE "FELLA" CONTEMPORARY CASEMENT UNITS HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SEE PLAN FOR WINDOW HEADER HEIGHTS.
- WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING.
- EXTERIOR 2 X 4 WALLS DRAIN AS 4" THICK (INCL. 1/2" SHEATHING).
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- ALL 2 X 6 FRAME WALLS OVER 16'-0" HIGH MUST BE BUILT IN ACCORDANCE TO LOCAL AND GOVERNMENT CODES TO ENSURE STRUCTURAL INTEGRITY FOR RESISTING WIND LOADS.
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LOWER LEVEL COV. PORCH	863 SQ. FT.

FOOTING SCHEDULE

(F)	1'-8" X 16" CONT. CONC. FTG.
(F)	16" X 6" CONT. CONC. FTG.
(F)	2'-4" X 12" CONT. CONC. FTG.
(F)	3'-0" X 3'-0" X 12" CONT. CONC. FTG.
(F)	4'-6" X 5'-0" X 12" CONT. CONC. FTG.
(F)	4'-6" X 3'-0" X 12" CONT. CONC. FTG.
(F)	3'-6" X 3'-0" X 12" CONT. CONC. FTG.
(F)	3'-1" X 3'-0" X 12" CONT. CONC. FTG.
(F)	3'-0" X 12" CONT. CONC. FTG.
(F)	3'-0" X 3'-6" X 12" CONT. CONC. FTG.

NOTE: FOOTING SIZES ARE APPROXIMATE ONLY. FINAL FOOTING SIZE TO BE DETERMINED BY ENGINEER.

LOWER LEVEL WINDOW AND DOOR SCHEDULE

SYM	WINDOW / DOOR CODE	SIZE
(U)	DS 6553-1	6'-0" X 14'
(U)	SPD 6556	8'-0"
(U)	DS 6553-1 (7) W/ STL. MULL.	6'-0" X 14'
(U)	DS 58 3/4" 89-3 (7) CUSTOM W/ STL. MULL.	6'-0" X 14'
(U)	SPD 3896	8'-0"
(U)	4-5080 MULTI-SLIDE DR.	6'-0" X 21/2"
(U)	15896 SLIDING DR.	8'-0"
(U)	DS 6535-1	6'-0" X 14'

1. HEADER HEIGHTS ARE GIVEN TO THE BOTTOM OF THE HEADER OR 2 X 4 PLATE BELOW THE HEADER FOR FLUSH HEADERS.
2. HEIGHTS ARE RELATIVE TO THE TOP OF THE SUB-FLOOR.
3. "E" - THESE UNDOORS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
4. FOR SAFETY AND/OR CODE REQUIREMENTS, PROVIDE TEMPERED GLASS IN ALL WINDOW UNITS LESS THAN 18" ABOVE FINISHED FLOOR AND IN ALL WINDOWS ALONG STAIRS.
5. (1) - PROVIDE 1/2" ALUM. MULLION STREPPNER BETWEEN WINDOW UNITS.

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AWARD WINNING HOME DESIGNS

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02-19-24

SAVE NAME: SINGH SJJ CONN AVE

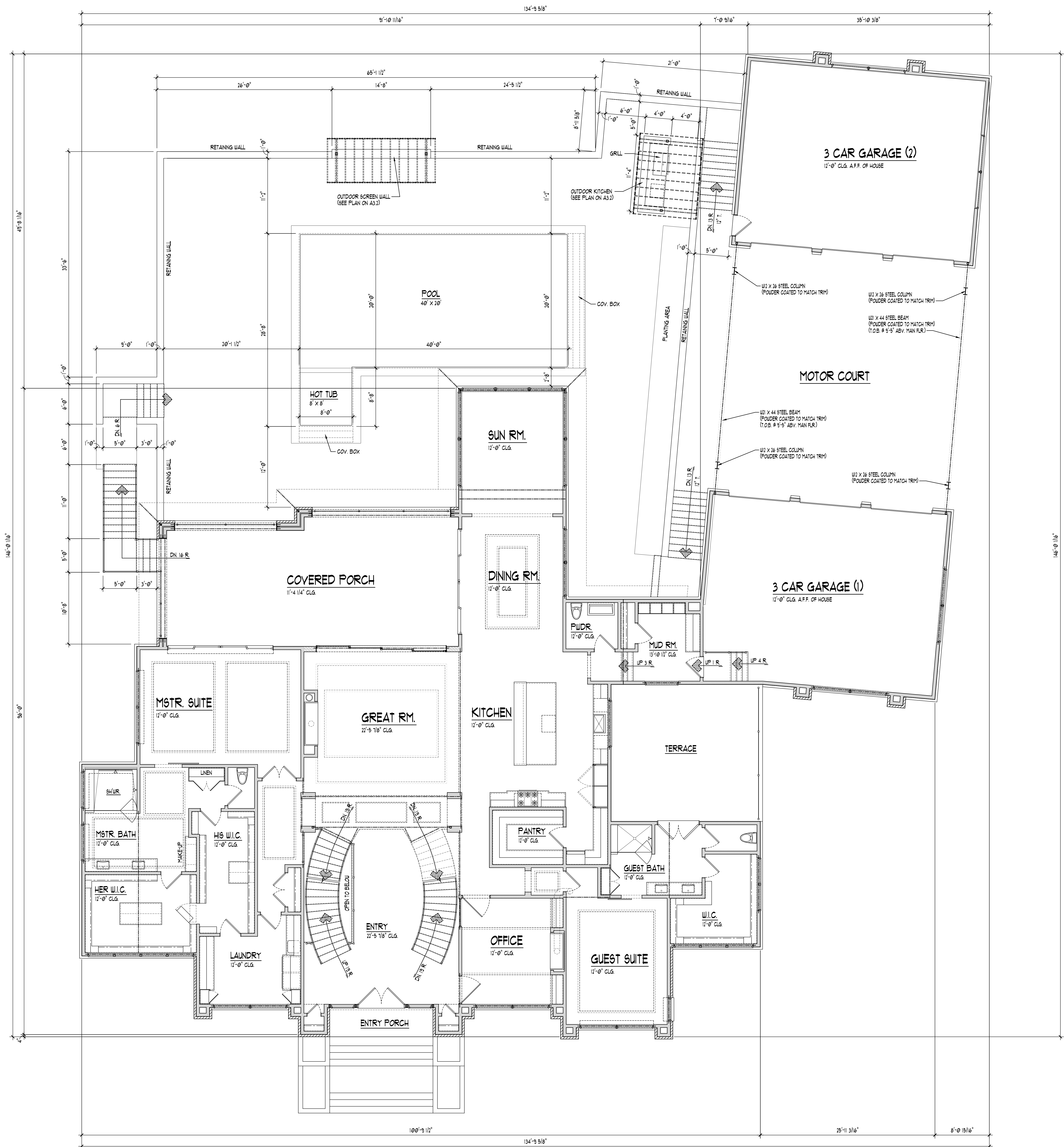
SHEET NUMBER

A3.1

LOWER LEVEL /
FOUNDATION PLAN

10'-0" W. POURED WALLS
W/ (3) SILL PLATES

1/4" = 1'-0"



- GENERAL NOTES**
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MAIN FLOOR PLAN - OVERALL
3/16" = 1'-0"
12'-0" H. WALLS (U.O.N.)

SINGH RESIDENCE
15892 CONNECTICUT AVE., FISHERS

IG
GOLDBERG DESIGN GROUP
custom home design

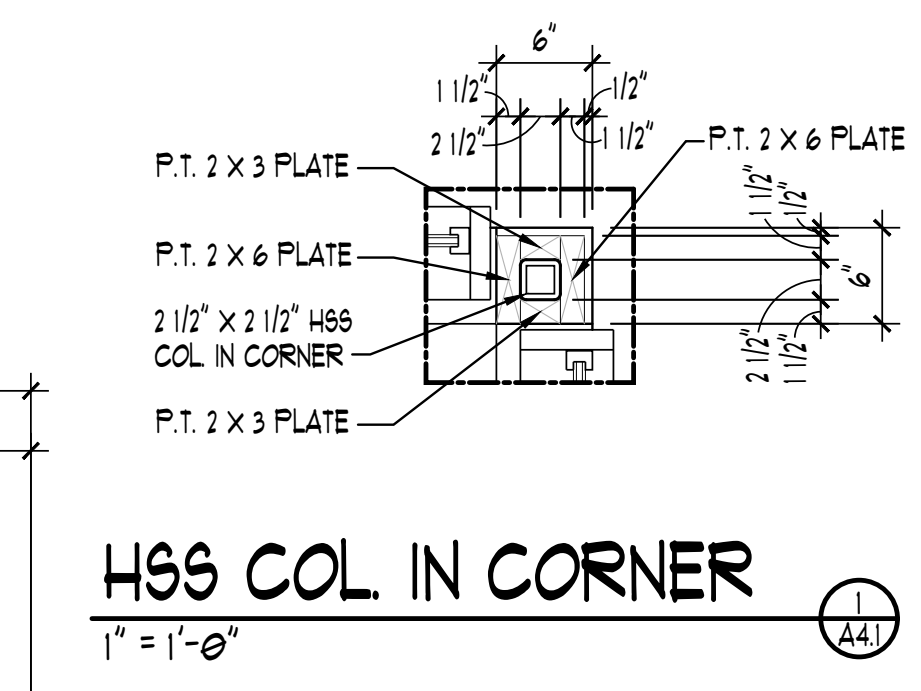
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CARMEL, IN 46032
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steve@goldbergdsgngrp.com
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AWARD WINNING HOME DESIGNS

DATE: 09-19-23
02-19-24

SAVE NAME: SINGH SSJ CONN AVE

SHEET NUMBER

A4



HSS COL. IN CORNER

* SPECIFIC DOOR AND WINDOW COVERS ARE "PULL" CONTINGUARY CASEMENT TYPES HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.

* SEE PLAN FOR WINDOW HEADER HEIGHTS.

* THE BUILDER IS TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING.

- * EXTERIOR 2 X 4 WALLS DRAIN AS 4" THICK (NCL 1/2" SHEATHING)
- * EXTERIOR 2 X 6 WALLS DRAIN AS 6" THICK (NCL 1/2" SHEATHING)
- * INTERIOR 2 X 6 WALLS DRAIN AS 3 1/2" THICK (STUDS ONLY)
- * INTERIOR 2 X 4 WALLS DRAIN AS 1 1/2" THICK (STUDS ONLY)
- * ALL 2 X 4 FRAME WALLS OVER 16'-0" HIGH MUST BE BUILT IN ACCORDANCE TO LOCAL AND NATIONAL CODES TO ENSURE STRUCTURAL INTEGRITY FOR RESISTING LOADS.
- * APPLY POLYURETHANE SPRAY FOAM INSUL. TO ALL FACES AND RAIL INSIDE OF H-8.8 THAT PROVIDES THE BUILDING ENVELOPE.
- * BUILDING GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
- * BUILDING GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO THE 1999 IECC AND 1997 INDIANA RESIDENTIAL ENERGY CODES AND CHOOSING THE METHOD AND MANNER OF DOING SO.
- * LUMBER SIZE AND SPACING, AND ALL BEAM SIZES (IF LABELED) ARE FOR DESIGN INTENT ONLY. ALL CONSTRUCTION MEMBER SIZING, SPACING AND CONNECTIONS SHALL BE DETERMINED BY A PROFESSIONAL ENGINEER AND SHALL BE THE BUILDER'S RESPONSIBILITY.

	2 X 10 FRAME WALL
	2 X 8 FRAME WALL
	2 X 6 FRAME WALL
	2 X 4 FRAME WALL

MAIN FLOOR	5,350 SQ. FT.
COVERED ENTRY PORCH	64 SQ. FT.
COVERED REAR PORCH	863 SQ. FT.
GARAGE 1	1,006 SQ. FT.
GARAGE 2	1,008 SQ. FT.
SECOND FLOOR	7,937 SQ. FT.
SECOND FLOOR BALCONY	1,061 SQ. FT.
LOWER LEVEL FINISHED	4143 SQ. FT.
LOWER LEVEL UNFINISHED	1,809 SQ. FT.
LOWER LEVEL COV. PORCH	863 SQ. FT.

AND DOOR SCHEDULE			WDR (R)
SYMB	WINDOW / DOOR CODE		
	1 H X W U / P 1 2 X 6 PLATE ON BTM		
	8 X 4 X 4 u HSB BM		
	P 1 2 X 6 PLATE		
(W)	DS 843(1)		SEE DETAIL
	1/8" PLATE		
	P 1 2 X 6 PLATE		
	3 1/4 X 4 u HSB BM		
	P 1 2 X 6 PLATE		
	DS 435B(1)		
(W)	P 1 2 X 6 PLATE		SEE DETAIL
	DS 435B(1)		
	P 1 2 X 6 PLATE		
	3 1/4 X 4 u HSB BM		
	P 1 2 X 6 PLATE		
	DS 414(1)		
(W)	DS 653(1)		
	DS 653(1) (1)		11'-0" 11/2"
(W)	DS 435B		
	DS 418(1) (1)		11'-0" 11/2"
(W)	DS 473B-3		
	DS 473B-2		11'-0" 11/2"
(W)	79120 18FD		10'-0"
(W)	DS 5535(1)		
	DS 5535(1)		11'-0" 11/2"
(W)	DS 653(1)		
	DS 653(1) (1)		11'-0" 11/2"
	P 1 2 X 6 PLATE		
	DS 653B-2		
	DS 1035B(1)		
	10' X 10' U/L WDR		11'-2" 11/2"
	10'0 X 10'0 OPAQUE GLASS 010		
	DS 5535B-2		
	DS 5535(1) (1)		11'-0" 11/2"
	DS 653(1)		
	DS 653(1) (1) w/ STL MULL		11'-0" 11/2"
	DS 58 3/4 35-3		
	DS 58 3/4 31-3(1) (1) w/ STL MULL		11'-0" 11/2"
(W)	180120 SLIDING DR		10'-0"
(W)	4-5060B MULTI-SLIDE DR		10'-0" 11/2"
	DS 653B-2		
	DS 653(1)		11'-0" 11/2"
(W)	DS 473B-4		
	18FD 38100		11'-0"

WINDOW NOTES:

1. HEADER HEIGHTS ARE GIVEN TO THE BOTTOM OF THE HEADER OR 7 X 4 PLATE BELOW THE HEADER FOR FLUSH HEADERS.
2. HEIGHTS ARE RELATIVE TO THE TOP OF THE SUB-FLOOR.
3. "E" - THESE WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
4. FOR SAFETY AND/OR CODE REQUIREMENTS, PROVIDE TEMPERED GLASS IN ALL WINDOW UNITS LESS THAN 18" ABOVE FINISHED FLOOR AND IN ALL WINDOW UNITS ALONG STAIRS.
5. (V) - PROVIDE 11/2" ALUM. MULLION STIFFENER BETWEEN WINDOW UNITS.



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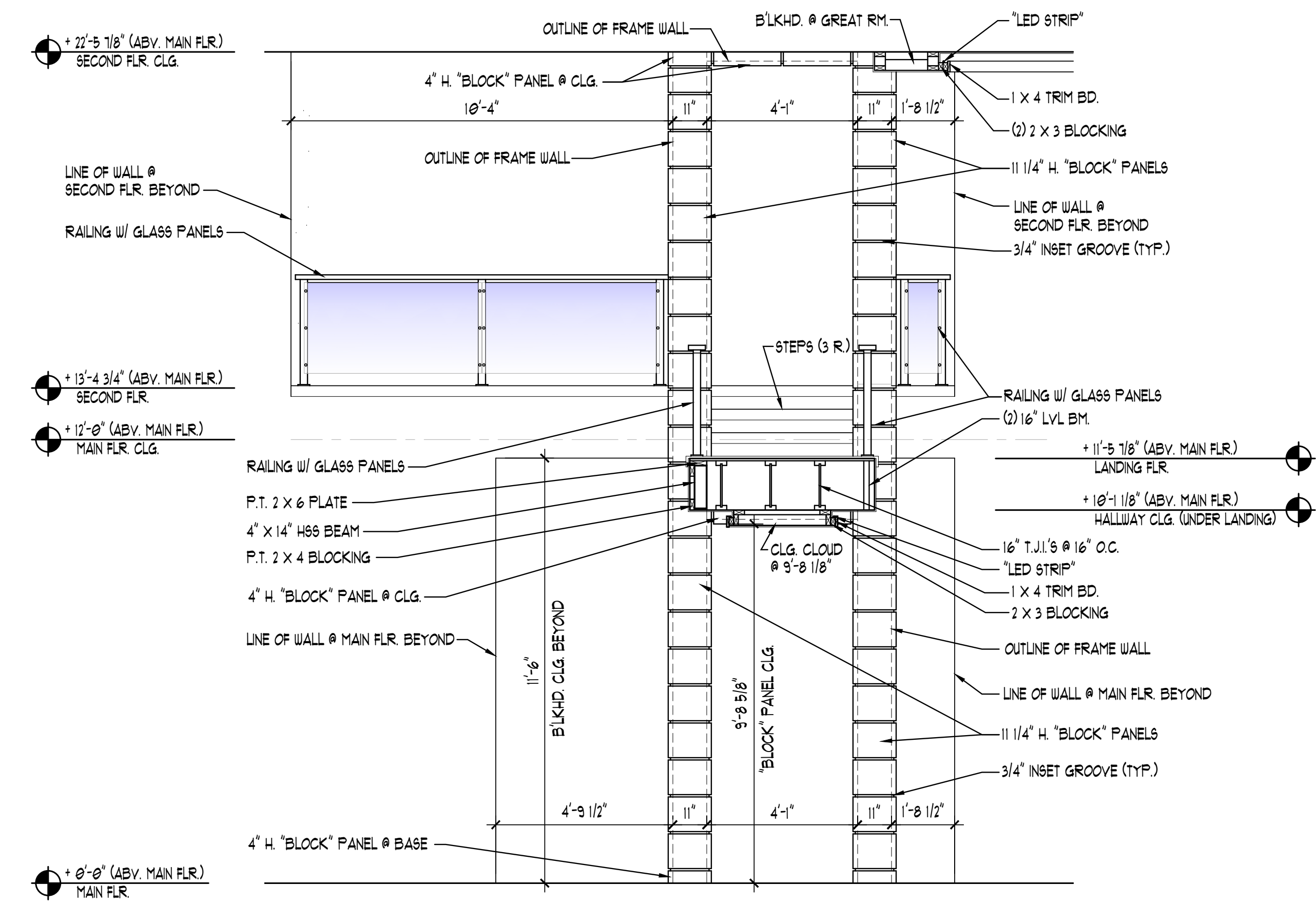
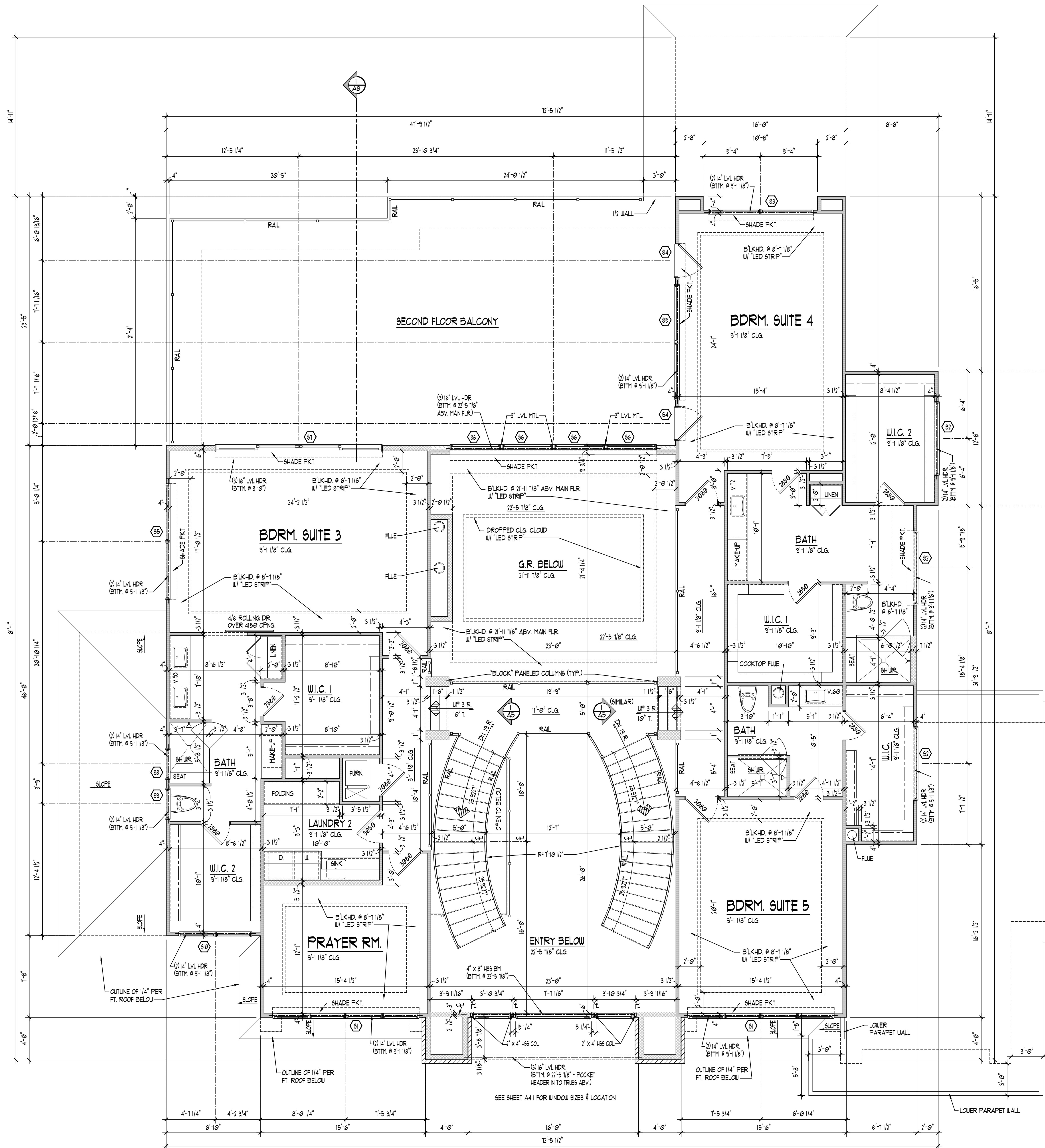
DATE: 09-19-23
02-19-24

SAVE NAME: SINGH S&J CONN AVI

SHEET NUMBER

A4.1

MAIN FLOOR PLAN 12'-0" H. WALLS (U.O.N.)
1/4" = 1'-0"



GENERAL NOTES

- SPECIFIC DOOR AND WINDOW CODES ARE "FELLA" CONTEMPORARY CASEMENT UNITS HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SEE PLAN FOR WINDOW HEADER HEIGHTS PRIOR TO ORDERING.
- EXTERIOR 2 X 4 WALLS DRAIN AS 4" THICK (INCL. 1/2" SHEATHING).
- EXTERIOR 2 X 6 WALLS DRAIN AS 6" THICK (INCL. 1/2" SHEATHING).
- INTERIOR 2 X 4 WALLS DRAIN AS 3 1/2" THICK (STUDS ONLY).
- INTERIOR 2 X 6 WALLS DRAIN AS 5 1/2" THICK (STUDS ONLY).
- ALL 2 X 6 FRAME WALLS OVER 16'-0" HIGH MUST BE BUILT IN ACCORDANCE TO LOCAL AND GOVERNMENT CODES TO ENSURE STRUCTURAL INTEGRITY FOR RESISTING WIND LOADS.
- APPLY POLYURETHANE SPRAY FOAM INSUL. TO ALL FACES AND FILL INSIDE OF H.S.S. THAT PENETRATE HEATING ENVELOPE.
- BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO CURRENTLY ADOPTED IBC, STATE AND LOCAL BUILDING CODES.
- BUILDING/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO THE 2009 IBC AND 2012 INDIANA RESIDENTIAL ENERGY CODES, AND CHOOSING THE METHOD AND MANNER OF DOING SO.
- LUMBER SIZE AND SPACING, AND ALL BEAM SIZES (IF LABELED) ARE FOR DESIGN INTENT ONLY. ALL CONSTRUCTION HENDER SIZES, SPACINGS AND CONNECTIONS SHALL BE DETERMINED BY A PROFESSIONAL ENGINEER AND SHALL BE THE BUILDER'S RESPONSIBILITY.

WALL LEGEND

	2 X 10 FRAME WALL
	2 X 8 FRAME WALL
	2 X 6 FRAME WALL
	2 X 4 FRAME WALL

AREA TABULATION

MAIN FLOOR	5,350 SQ. FT.
COVERED ENTRY PORCH	64 SQ. FT.
COVERED REAR PORCH	863 SQ. FT.
GARAGE 1	1,006 SQ. FT.
GARAGE 2	1,008 SQ. FT.
SECOND FLOOR	2,991 SQ. FT.
SECOND FLOOR BALCONY	1,061 SQ. FT.
LOWER LEVEL FINISHED	4,149 SQ. FT.
LOWER LEVEL UNFINISHED	1,809 SQ. FT.
LOWER LEVEL COV. PORCH	863 SQ. FT.

SECOND FLOOR WINDOW AND DOOR SCHEDULE

SYM.	WINDOW / DOOR CODE	SIZE
(1)	DS 469-1 / C 469-2 (O) (E) / DS 469-1	6'-11" 5/8"
(2)	DS 429-1 / DS 429-2 (O) / DS 429-1	6'-11" 5/8"
(3)	DS 639-1	6'-11" 5/8"
(4)	DS 539-2	6'-11" 5/8"
(5)	DS 339-1	6'-11" 5/8"
(6)	DS 639-2	6'-11" 5/8"
(7)	DS 569-1 (CUSTOM) / DS 569-1 (CUSTOM)	11'-0" 1/2"
(8)	15896 SLIDING DR.	8'-0"
(9)	DS 339-1 (COMPOSITE WINDOW MTL.)	6'-11" 5/8"
(10)	DS 339-1	6'-11" 5/8"
(11)	DS 429-2	6'-11" 5/8"

- WINDOW NOTES:**
1. HEADER HEIGHTS ARE GIVEN TO THE BOTTOM OF THE HEADER OR 2 X 4 PLATE BELOW THE HEADER FOR FLUSH HEADERS.
 2. HEIGHTS ARE RELATIVE TO THE TOP OF THE SUB-FLOOR.
 3. "E" - THESE WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
 4. FOR SAFETY AND/OR CODE REQUIREMENTS, PROVIDE TEMPERED GLASS IN ALL WINDOW UNITS LESS THAN 16" ABOVE FINISHED FLOOR AND IN ALL WINDOWS ALONG STAIRS.
 5. (A) - PROVIDE 1/2" ALUM. MULLION STIFFENER BETWEEN WINDOW UNITS.

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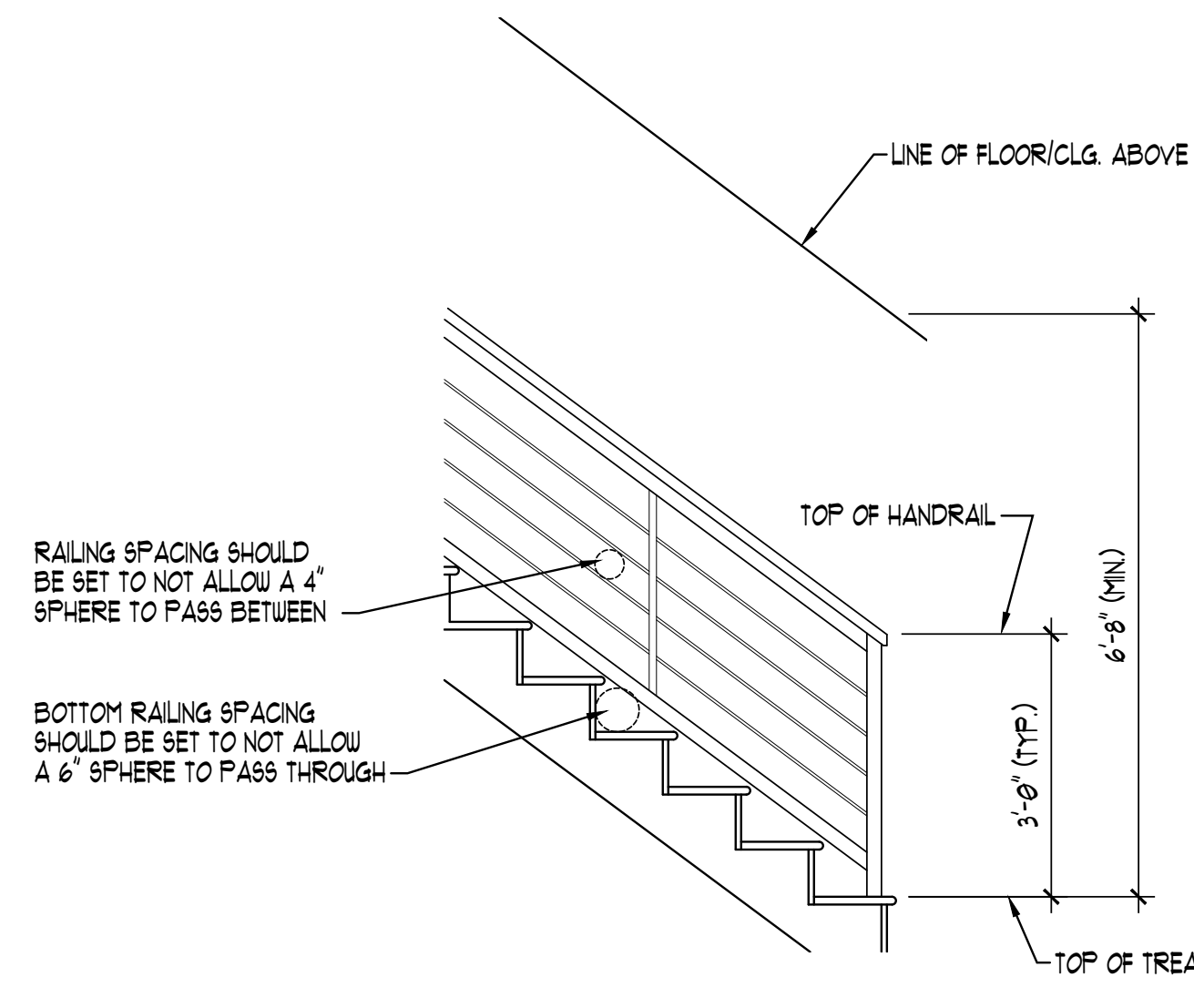
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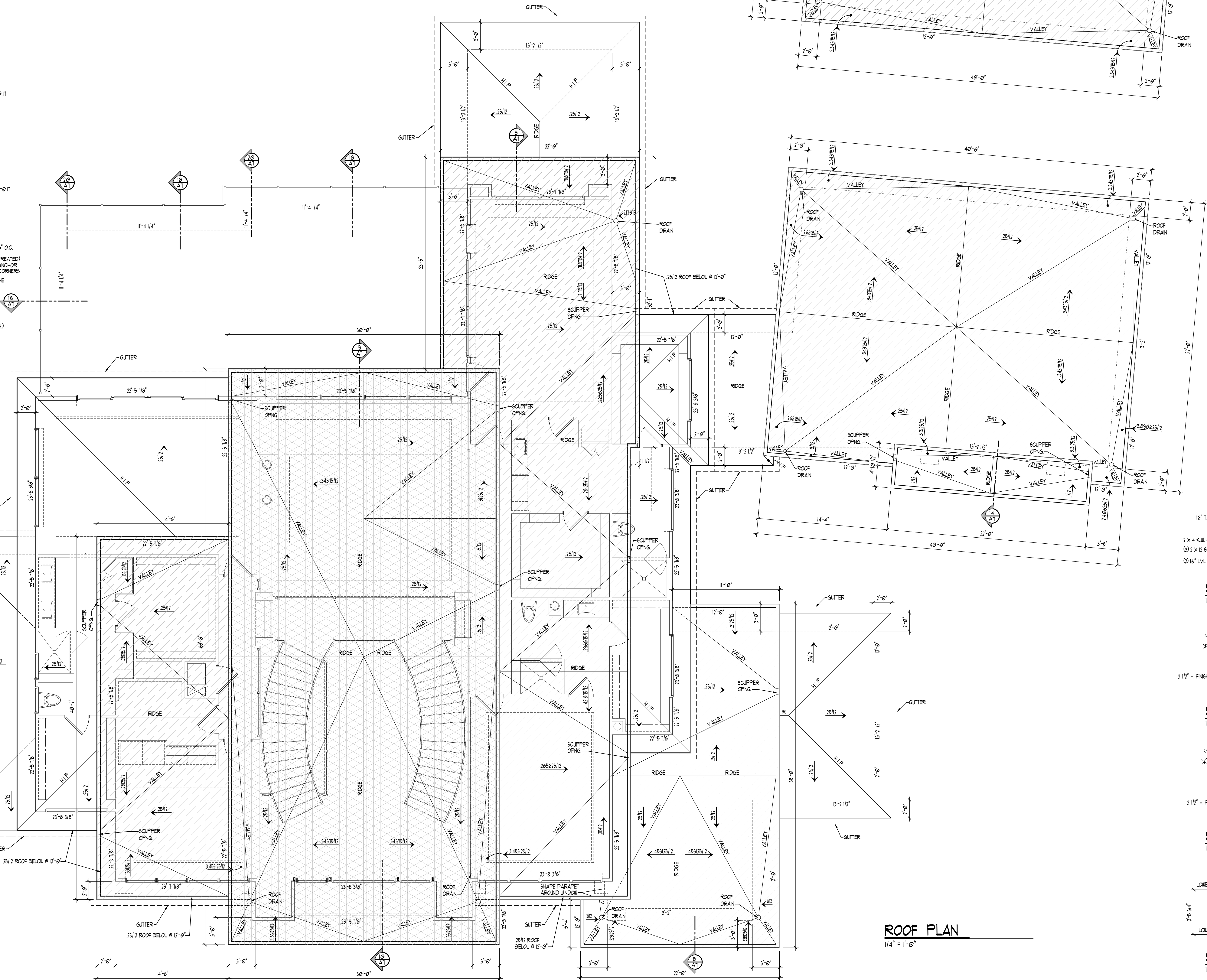
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SHEET NUMBER

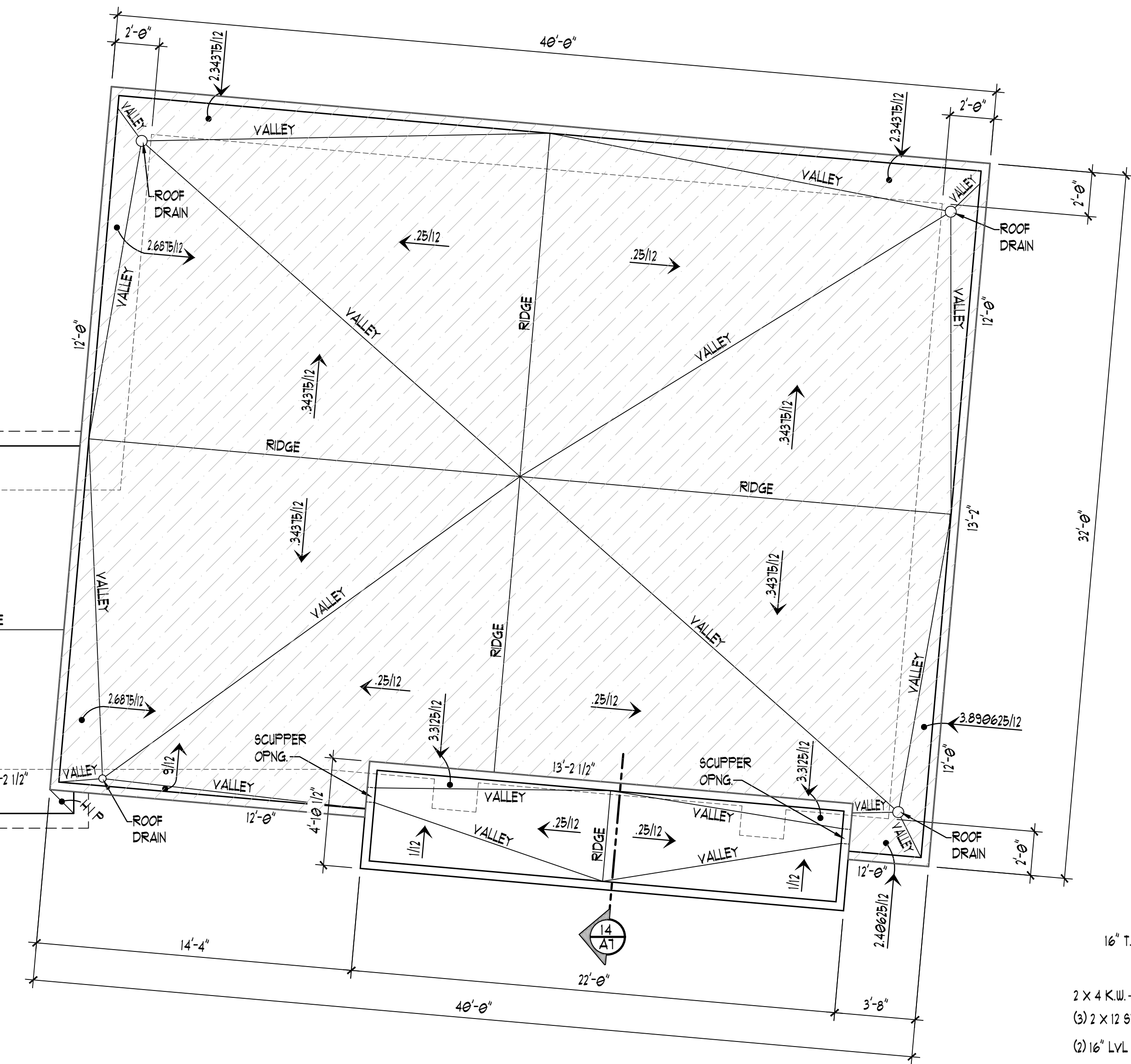
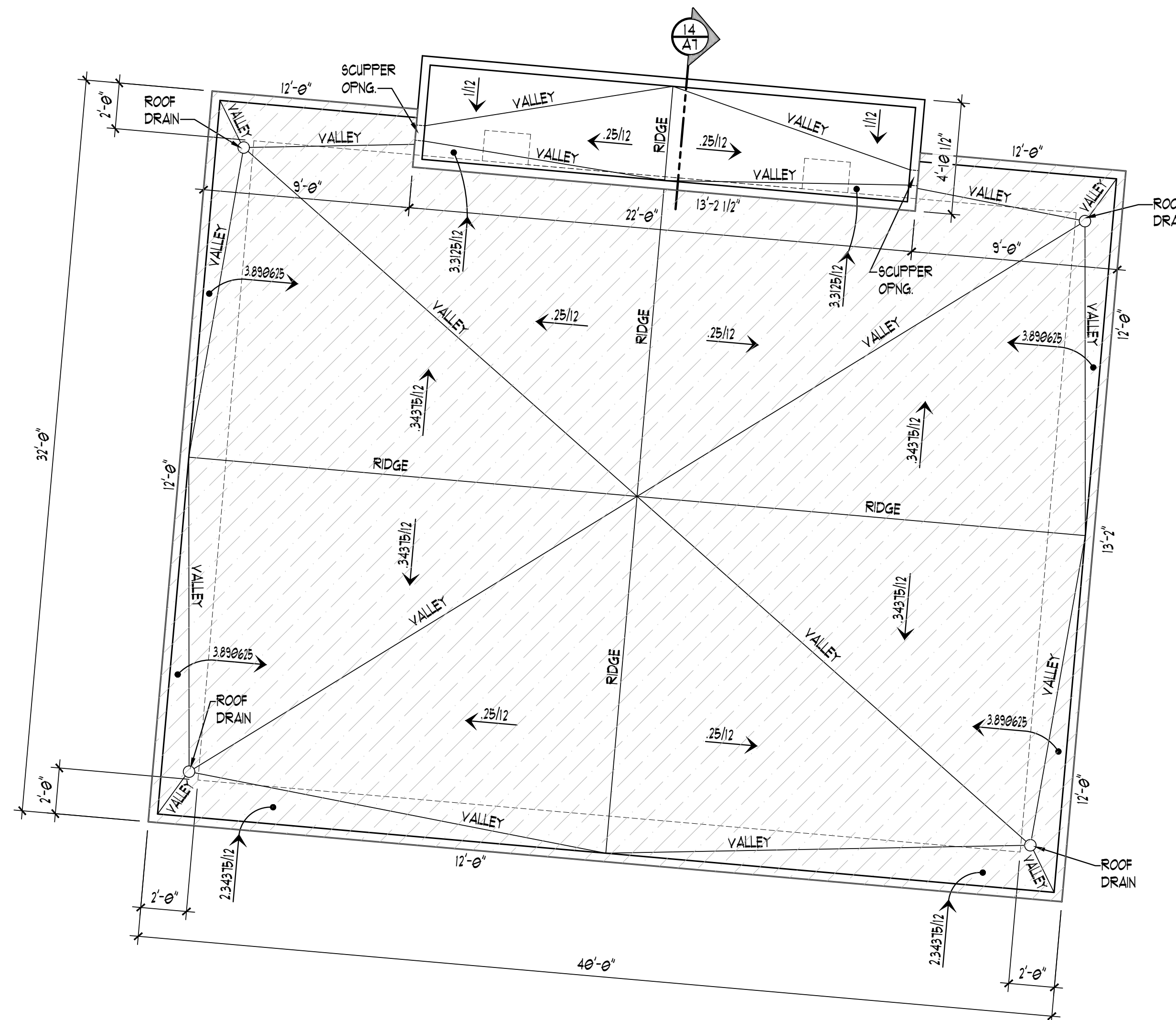
A5



TYP. DOOR & WINDOW HEADER
1/2" = 1'-0"



TYP. WALL SECTION
 $1/4'' = 1' - 0''$



ROOF PLAN

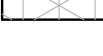
$$1/4^N = 1' - \theta^N$$

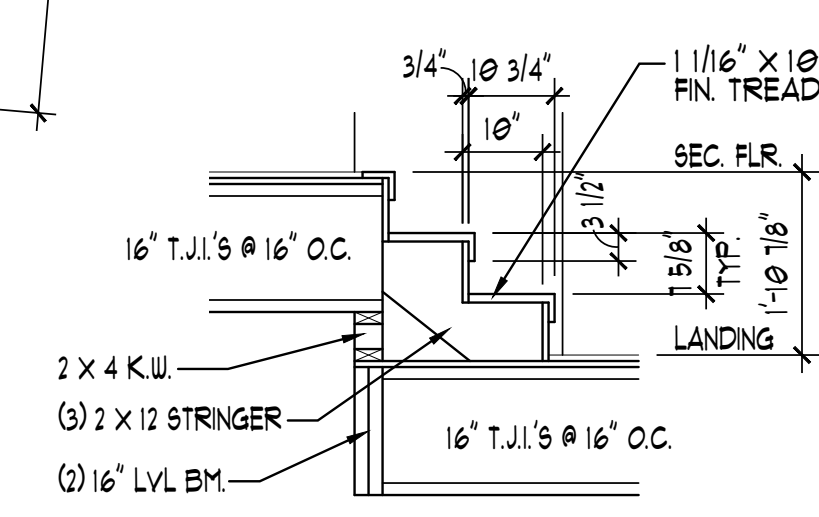
- ALL ROOF MEMBERS TO BE ENGINEERED TRUSSES @ 2'-0" O.C. (W.O.N)
- ALL VENTS, STACKS, ETC. TO BE ON BACKSIDE OF RIDGE
- PROVIDE KNEE WALLS, BRACING, ETC. AS REQ'D.
- PROVIDE ROOF VENTILATION AS REQ'D.
- SEE TRUSS OVERHANG DETAILS (SHEET A1') TO ALIGN GUTTER BOARDS OF ADJOINING PITCHES.
- PROVIDE ICE AND WATER SHIELD MEMBRANE ON ALL ROOF PLANES WITH A PITCH OF 3/12 OR LESS.

1/2" DRYWALL	R = 0.45
VAPOR BARRIER	R = 0.63
BATT INSULATION	R = 13
3/4" SPRAY FOAM INSULATION	R = 4.66
1/2" O.S.B. SHEATHING	R = 0.63
HOUSE WRAP	R = 0.17
1" AIR SPACE	R = 1.0
STONE VENEER	R = 0.44

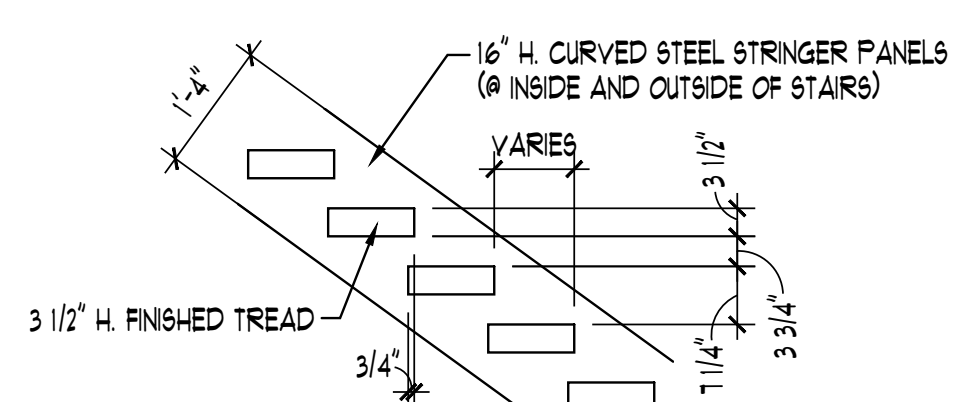
1/2" DRYWALL	R = 0.45
VAPOR BARRIER	R = 0.63
BATT INSULATION	R = 13
3/4" SPRAY FOAM INSULATION	R = 4.66
1/2" POLYSTYRENE INSUL. BD.	R = .63
HOUSE WRAP	R = 0.17
1" INSULATION (EPS)	R = 3.85

 36° H. ROOF TRUSS W/
20° H. PARAPET WALL

 24° H. ROOF TRUSS W/
16° H. PARAPET WALL



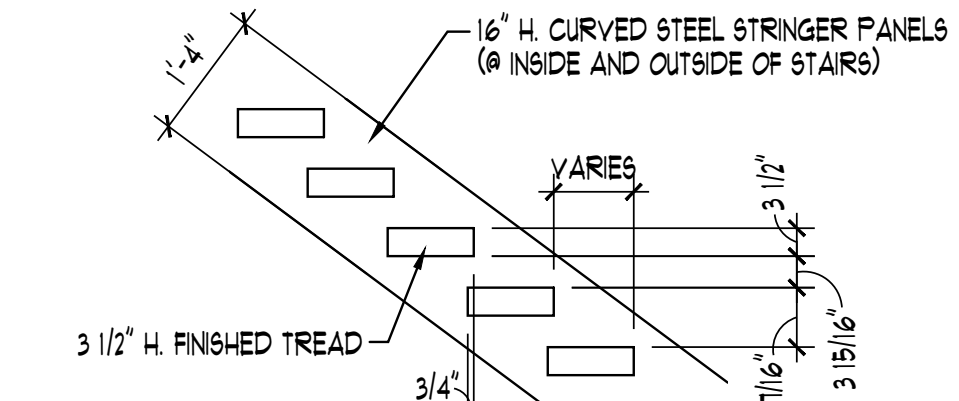
STAIR DETAIL SEC. FLR. LANDING
TO SECOND FLR. (3 R.)
 $1/2'' = 1'-0''$



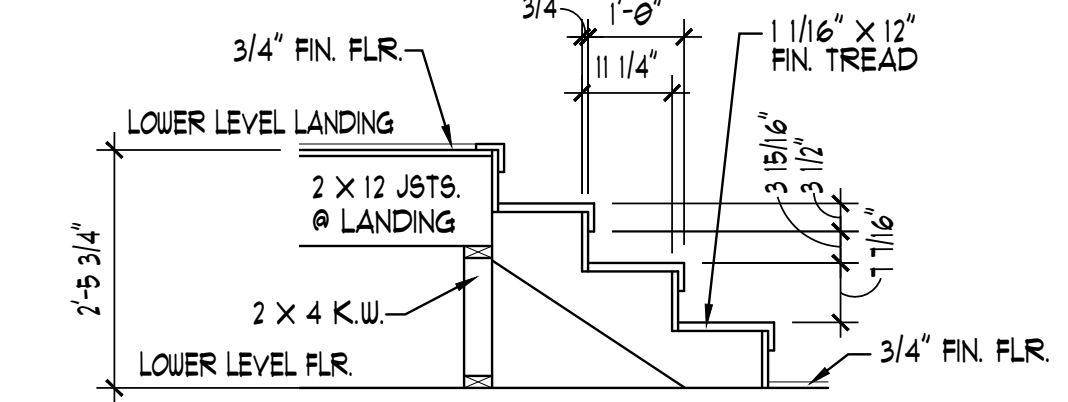
STAIR DETAIL

MAIN FLR. TO SEC.
FLR. LANDING (19 R.)

$1/2" = 1'-0"$



STAIR DETAIL LOWER LEVEL LANDING
TO MAIN FLR. (15 R.)



STAIR DETAIL LOWER LEVEL TO LOWER LEVEL LANDING (4 R.)
1/2" = 1'-0"

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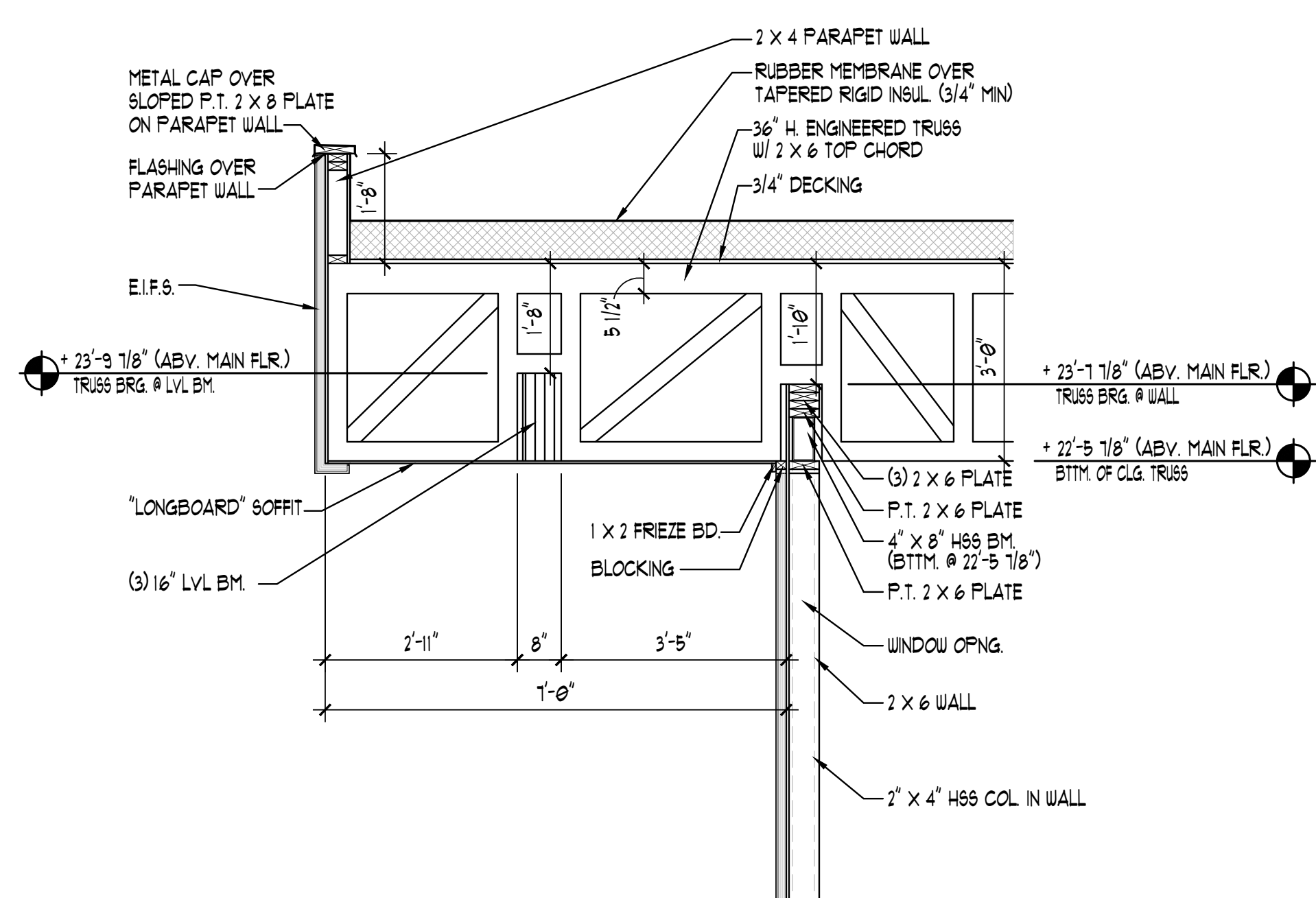
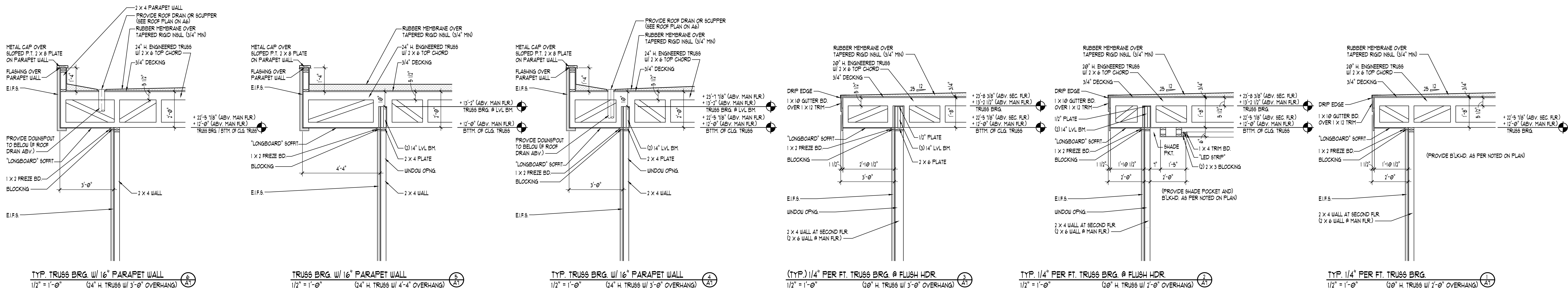
AWARD WINNING HOME DESIGNS

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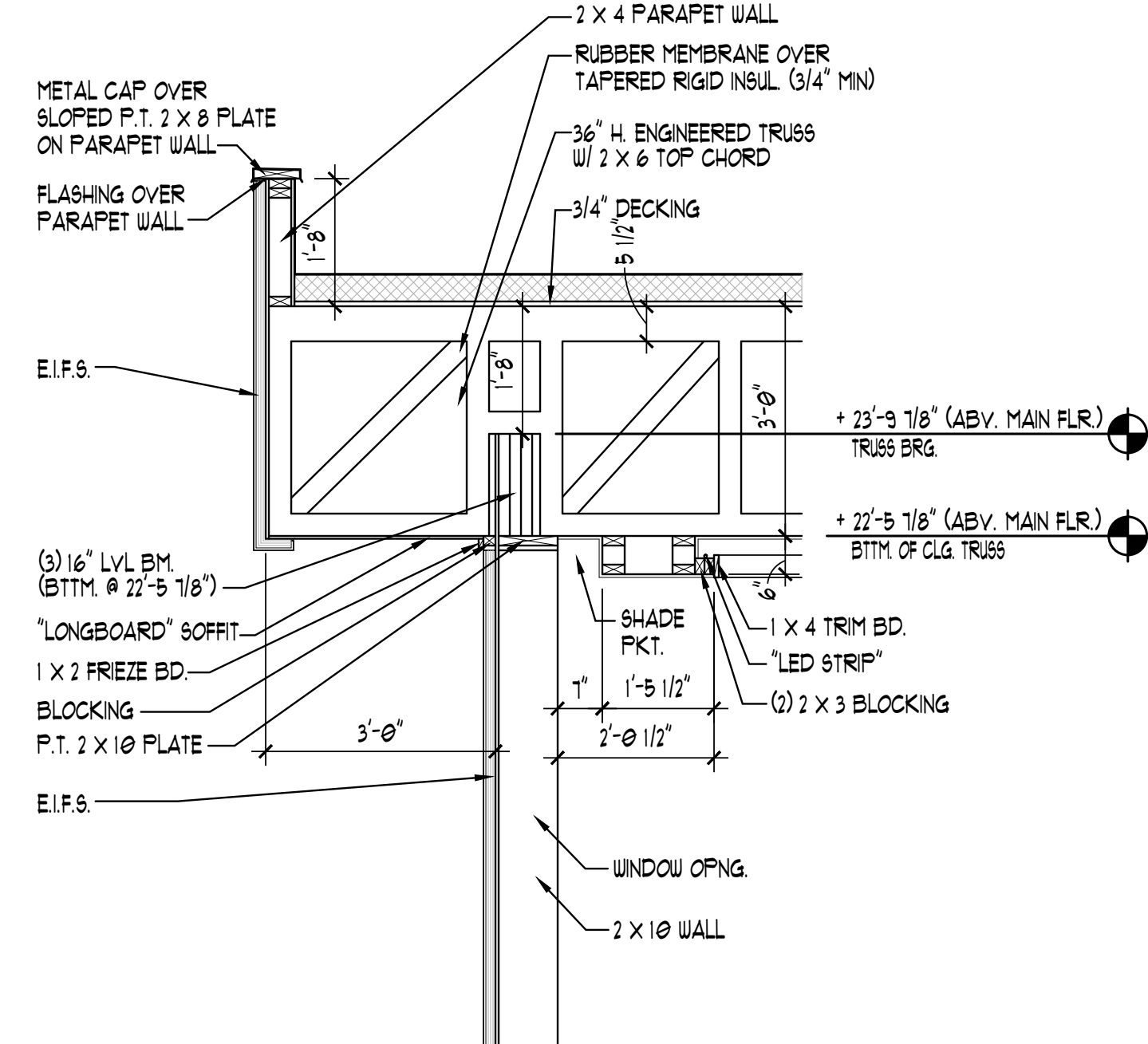
AVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

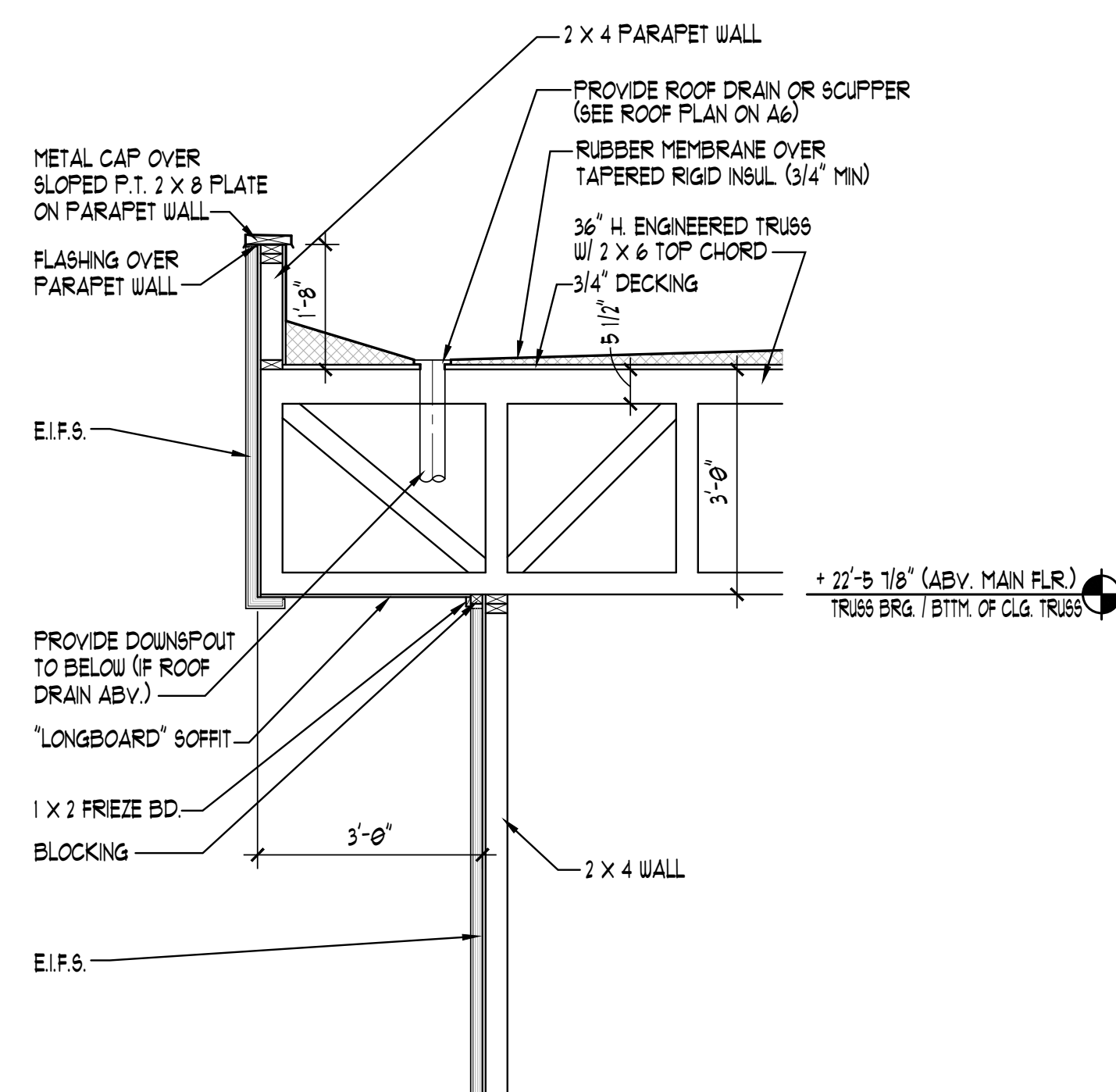
A6



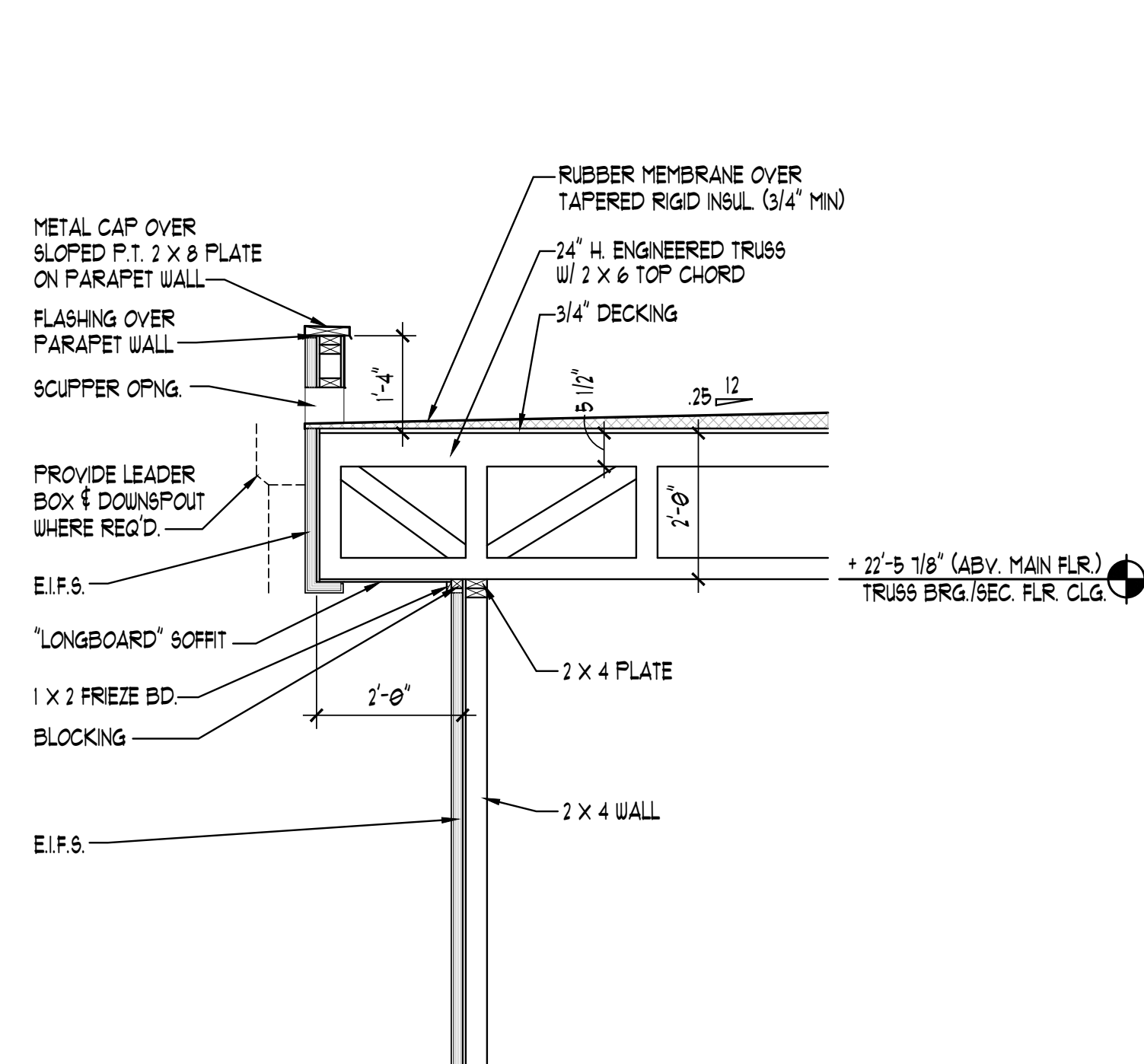
TRUSS BRG. W/ 20" PARAPET WALL @ ENTRY FRONT WALL
1/2" = 1'-0" (36" H. TRUSS W/ 3'-0" OVERHANG) (A1)



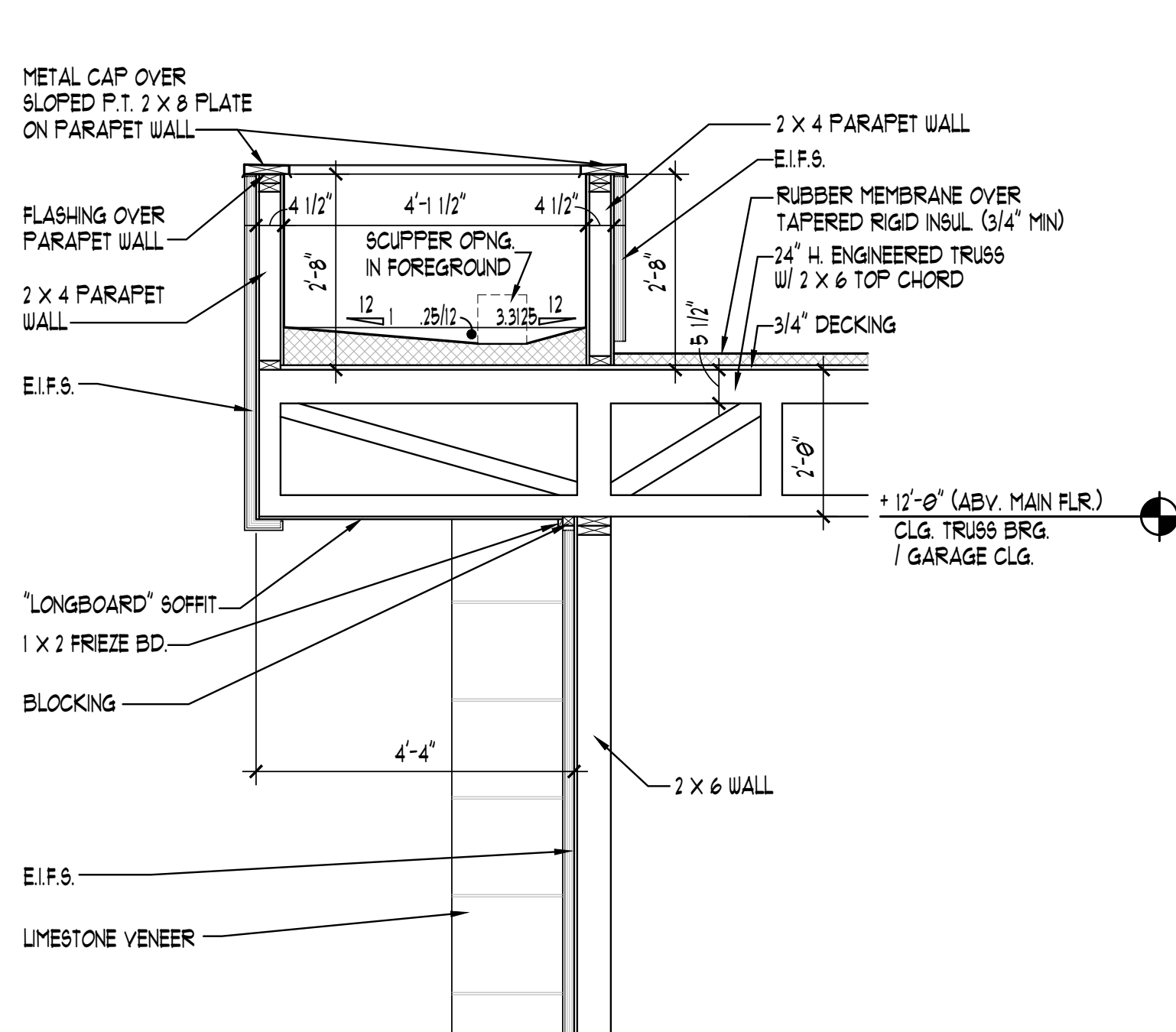
TRUSS BRG. W/ 20" PARAPET WALL @ GREAT RM. REAR WALL
1/2" = 1'-0" (36" H. TRUSS W/ 3'-0" OVERHANG) (A1)



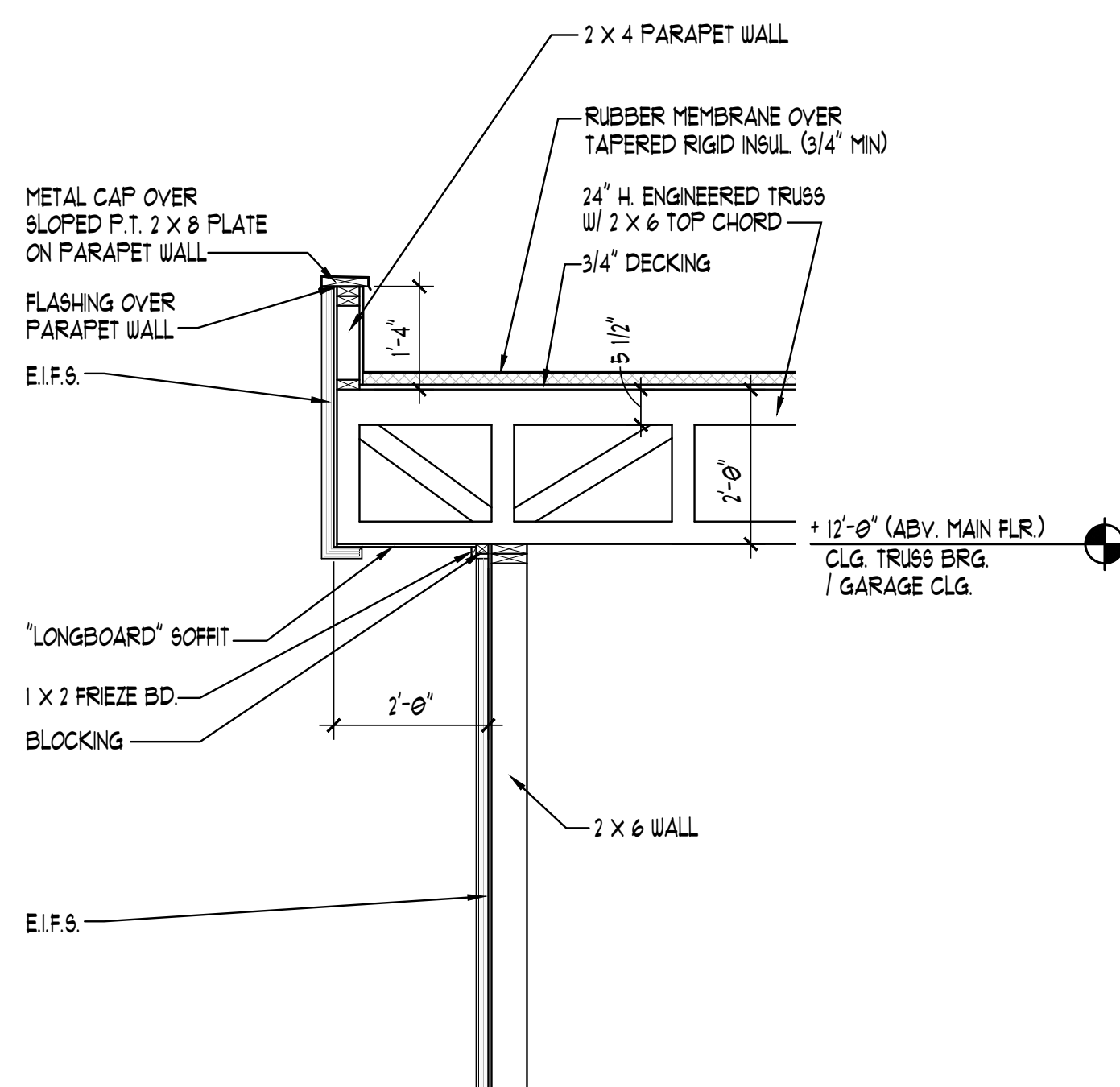
TYP. TRUSS BRG. W/ 20" PARAPET WALL
1/2" = 1'-0" (36" H. TRUSS W/ 3'-0" OVERHANG) (A1)



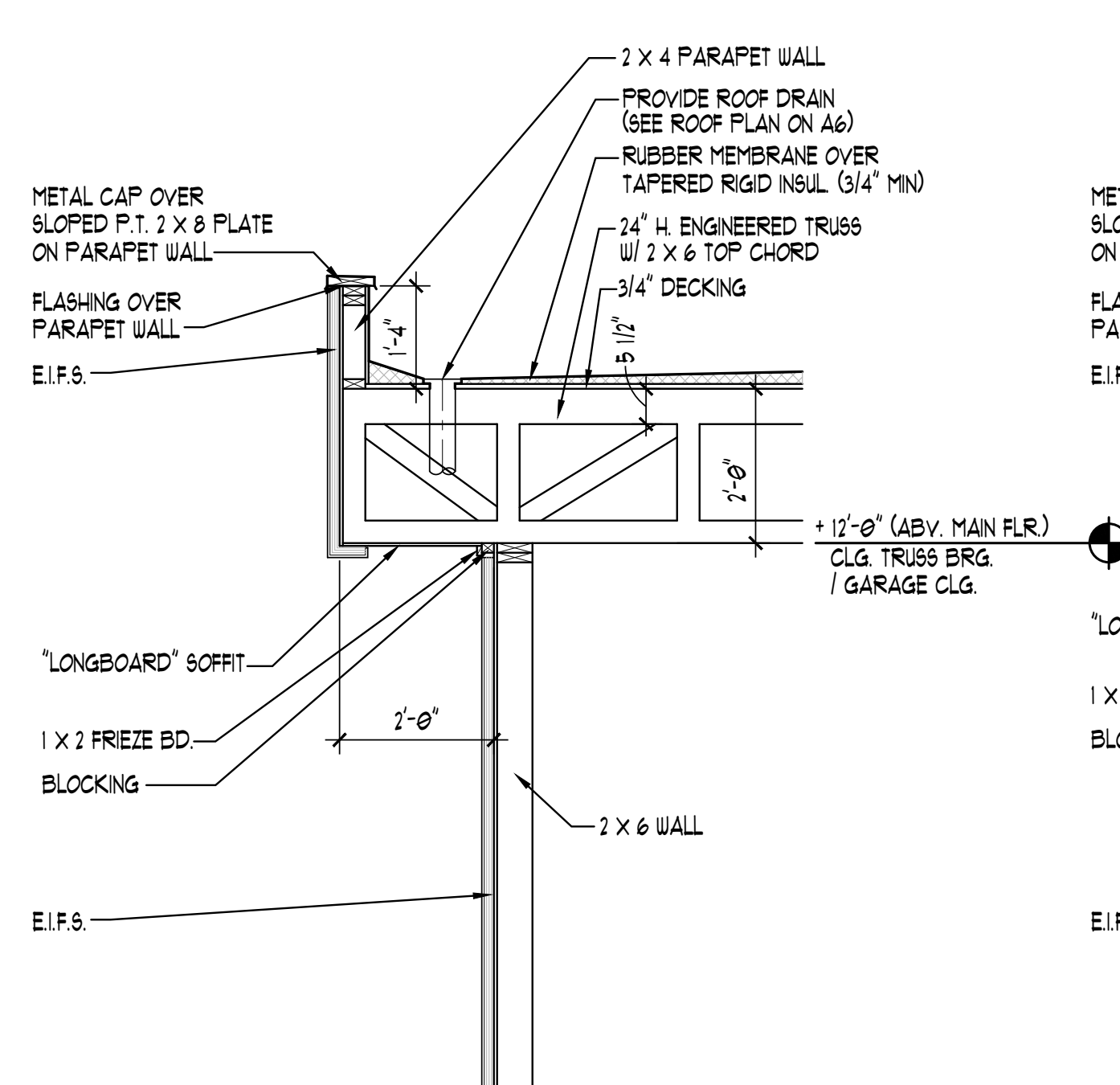
TYP. TRUSS BRG. W/ 16" PARAPET WALL (W/ SCUPPER)
1/2" = 1'-0" (24" H. TRUSS W/ 2'-0" OVERHANG) (A1)



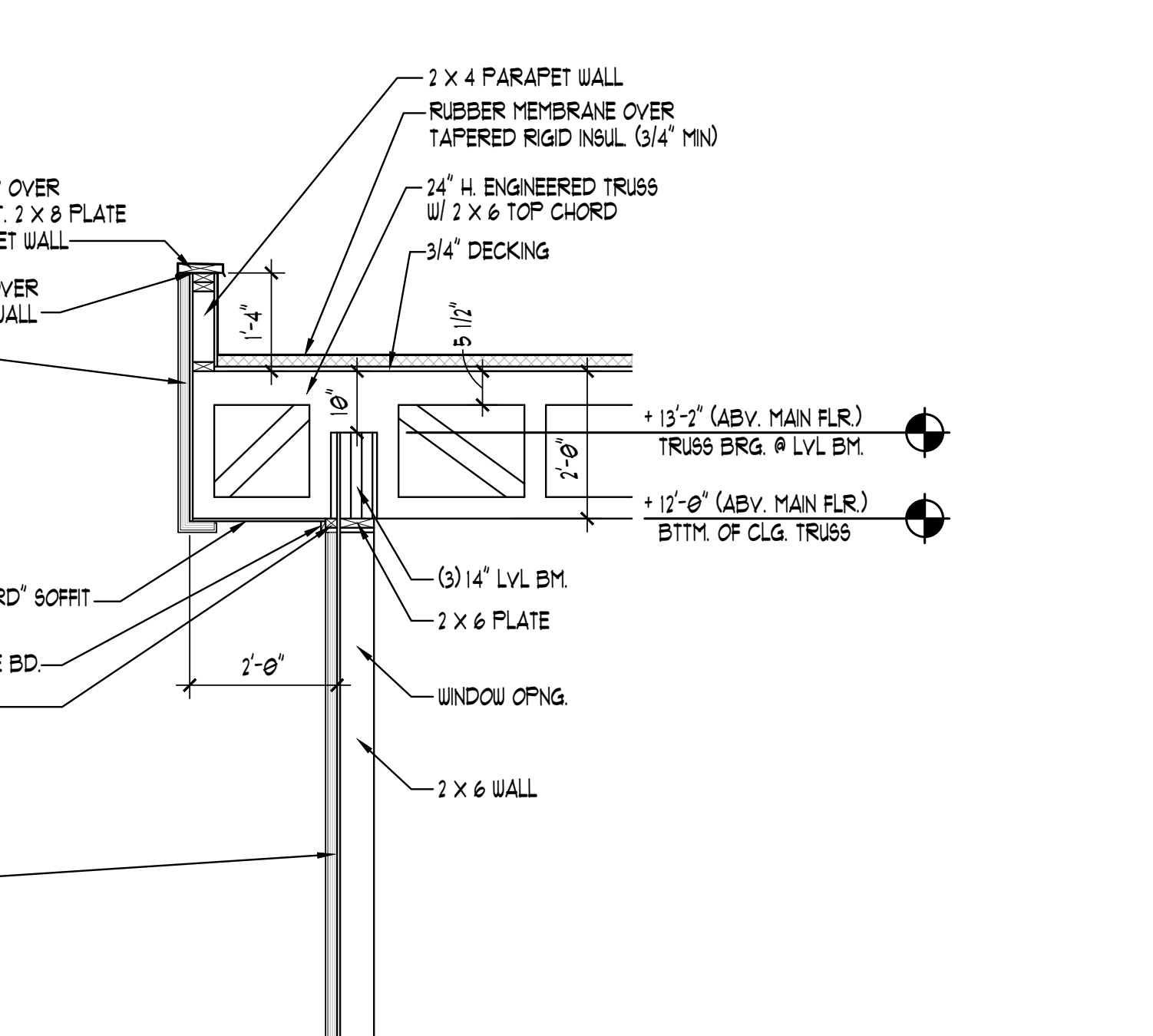
TRUSS BRG. W/ 20" H. PARAPET WALL @ GARAGE
1/2" = 1'-0" (24" H. TRUSS W/ 2'-0" OVERHANG) (A1)



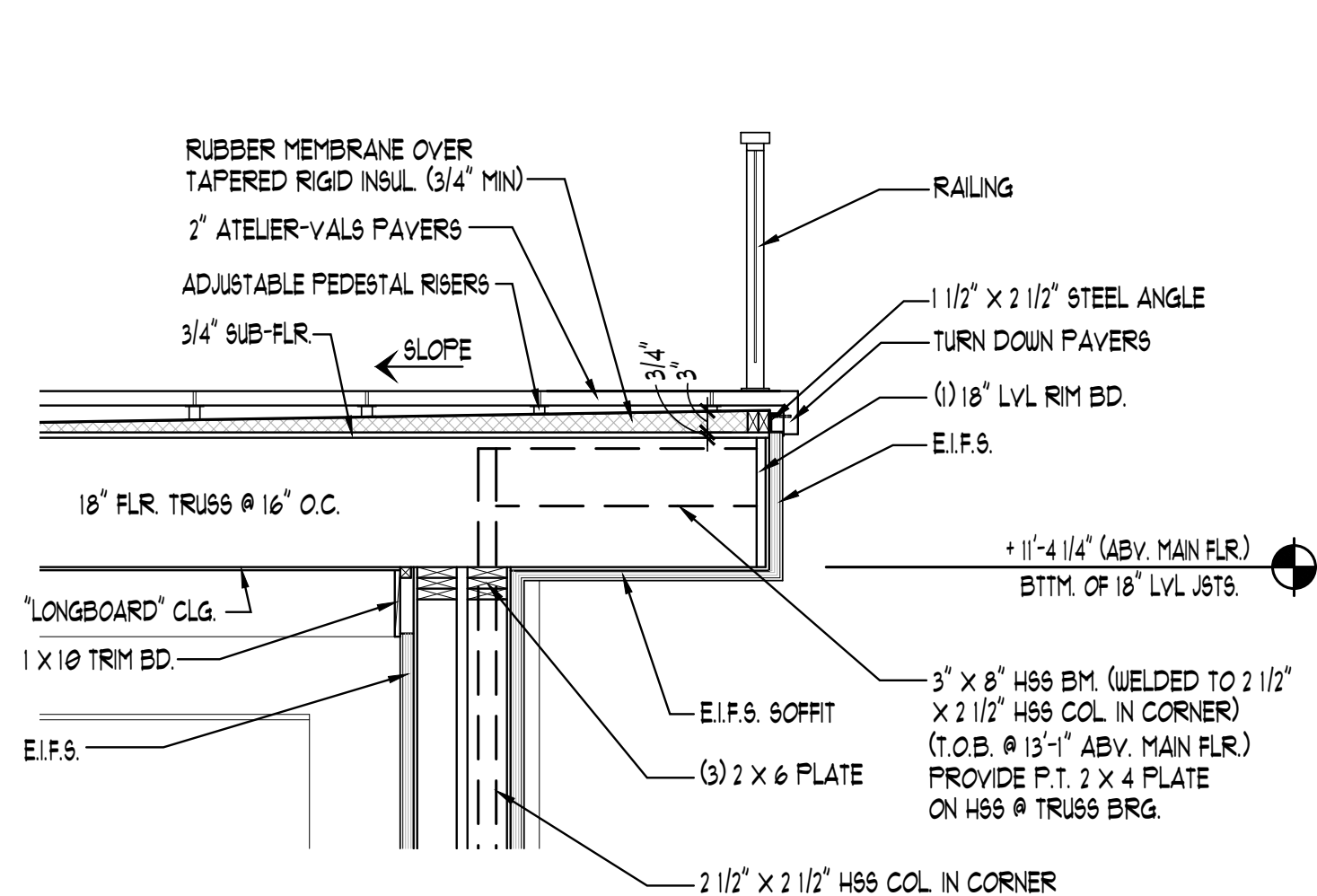
(TYP.) TRUSS BRG. W/ 16" H. PARAPET WALL @ GARAGE
1/2" = 1'-0" (24" H. TRUSS W/ 2'-0" OVERHANG) (A1)



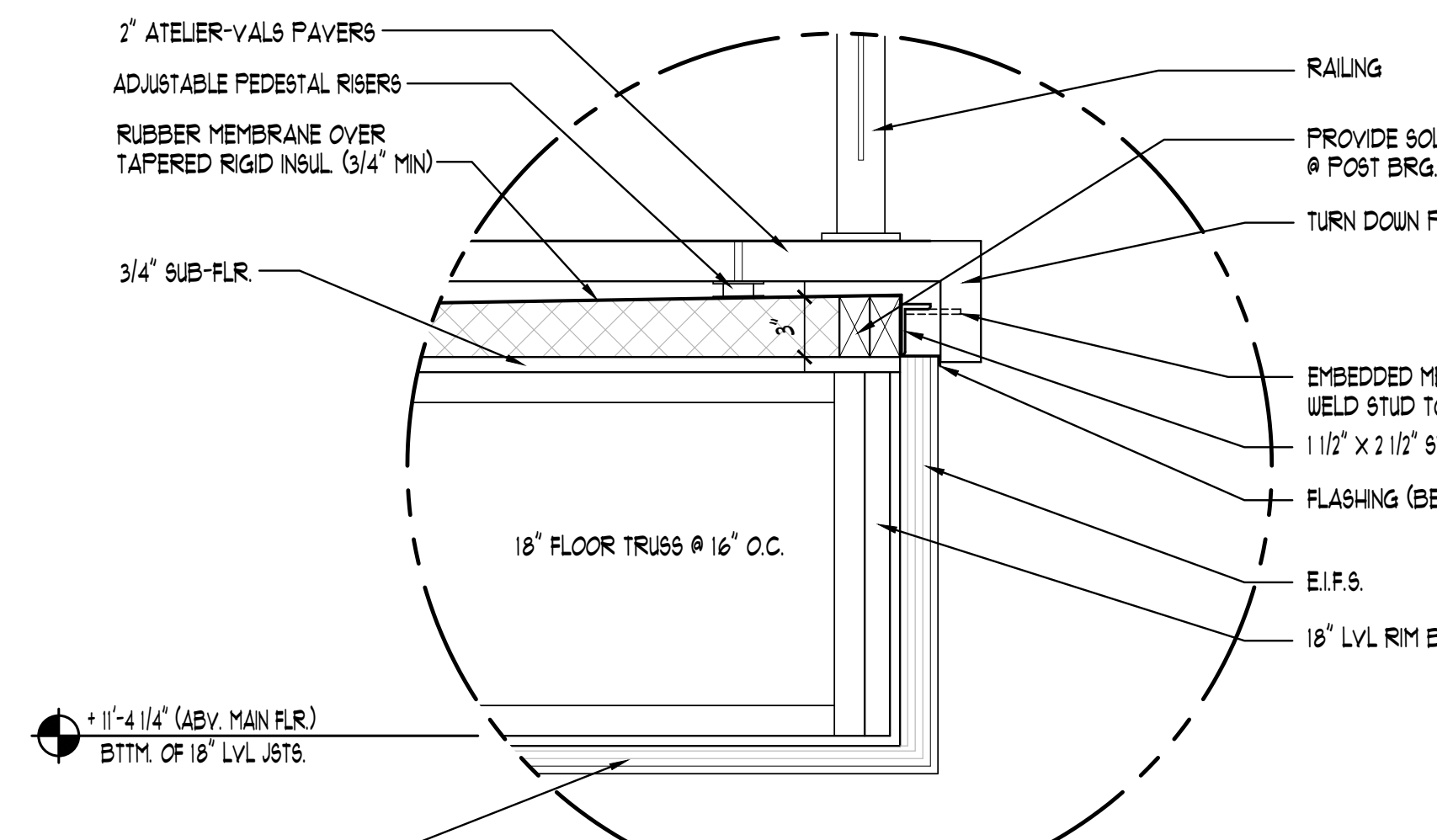
TRUSS BRG. W/ 16" H. PARAPET WALL @ GARAGE
1/2" = 1'-0" (24" H. TRUSS W/ 2'-0" OVERHANG) (A1)



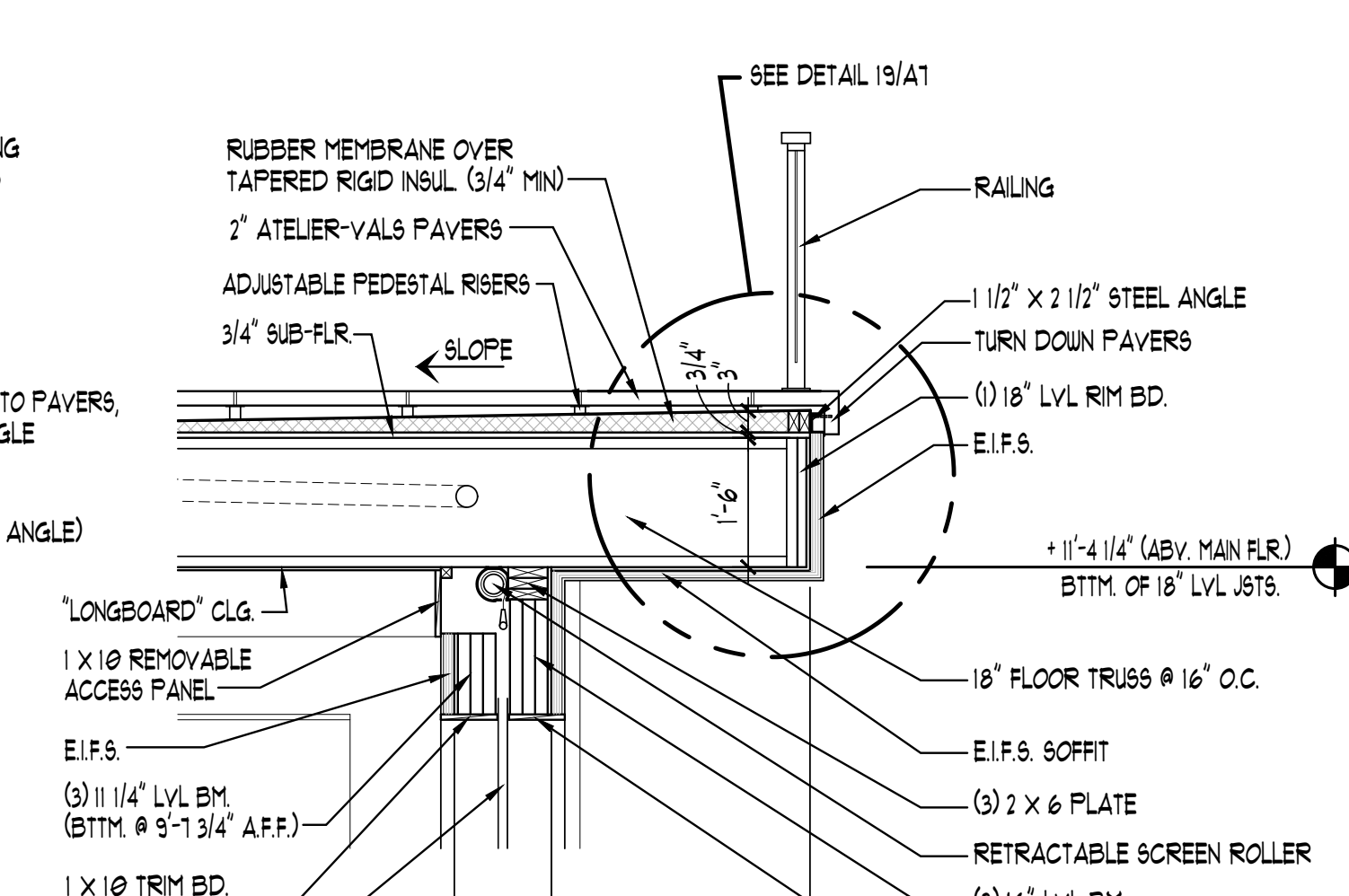
TRUSS BRG. W/ 16" H. PARAPET WALL @ GARAGE WINDOW
1/2" = 1'-0" (24" H. TRUSS W/ 2'-0" OVERHANG) (A1)



TRUSS BRG.
1/2" = 1'-0" (A1)



TURNED DOWN PAYER DETAIL
1/2" = 1'-0" (A1)



TRUSS BRG.
1/2" = 1'-0" (A1)

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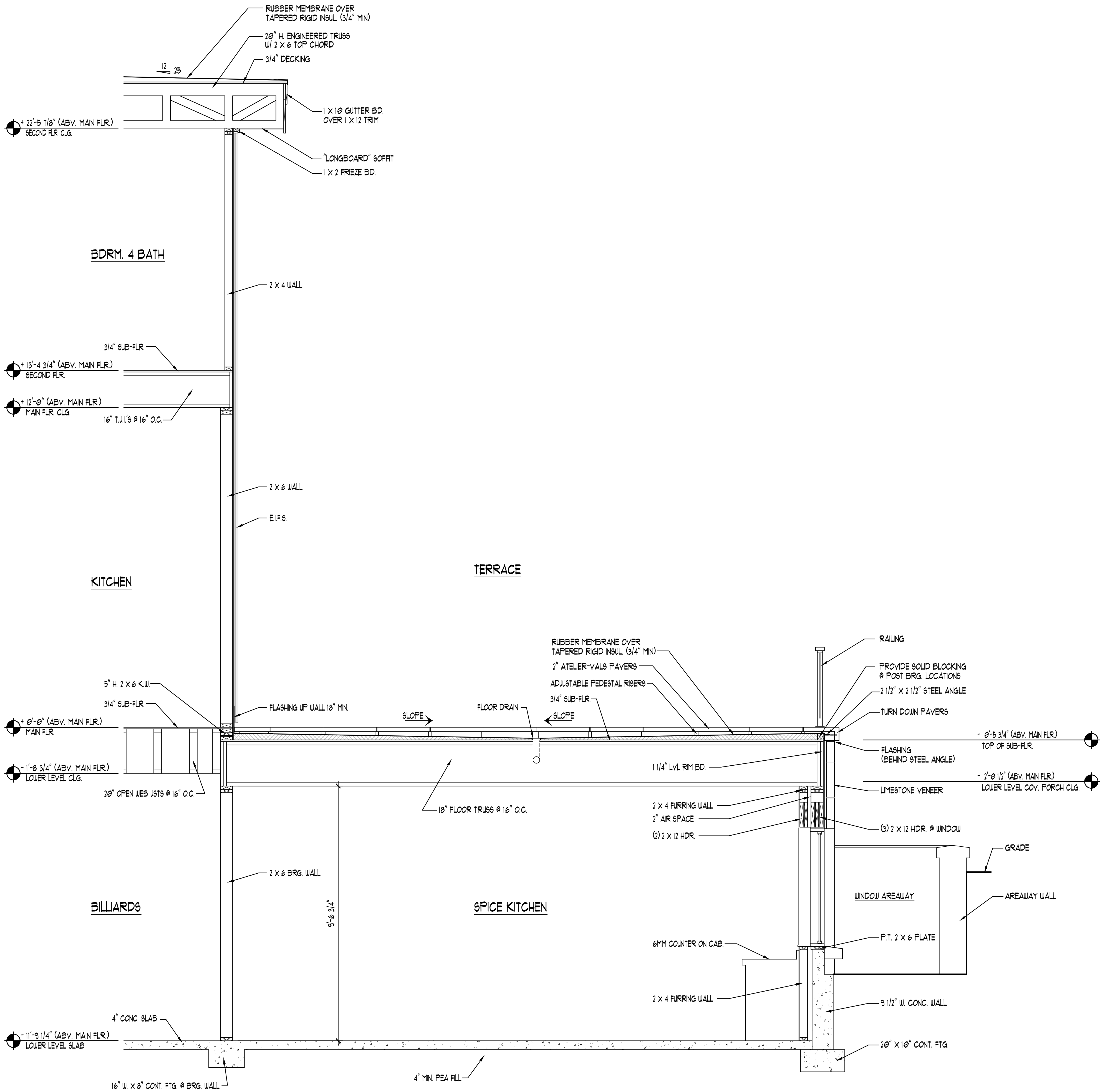
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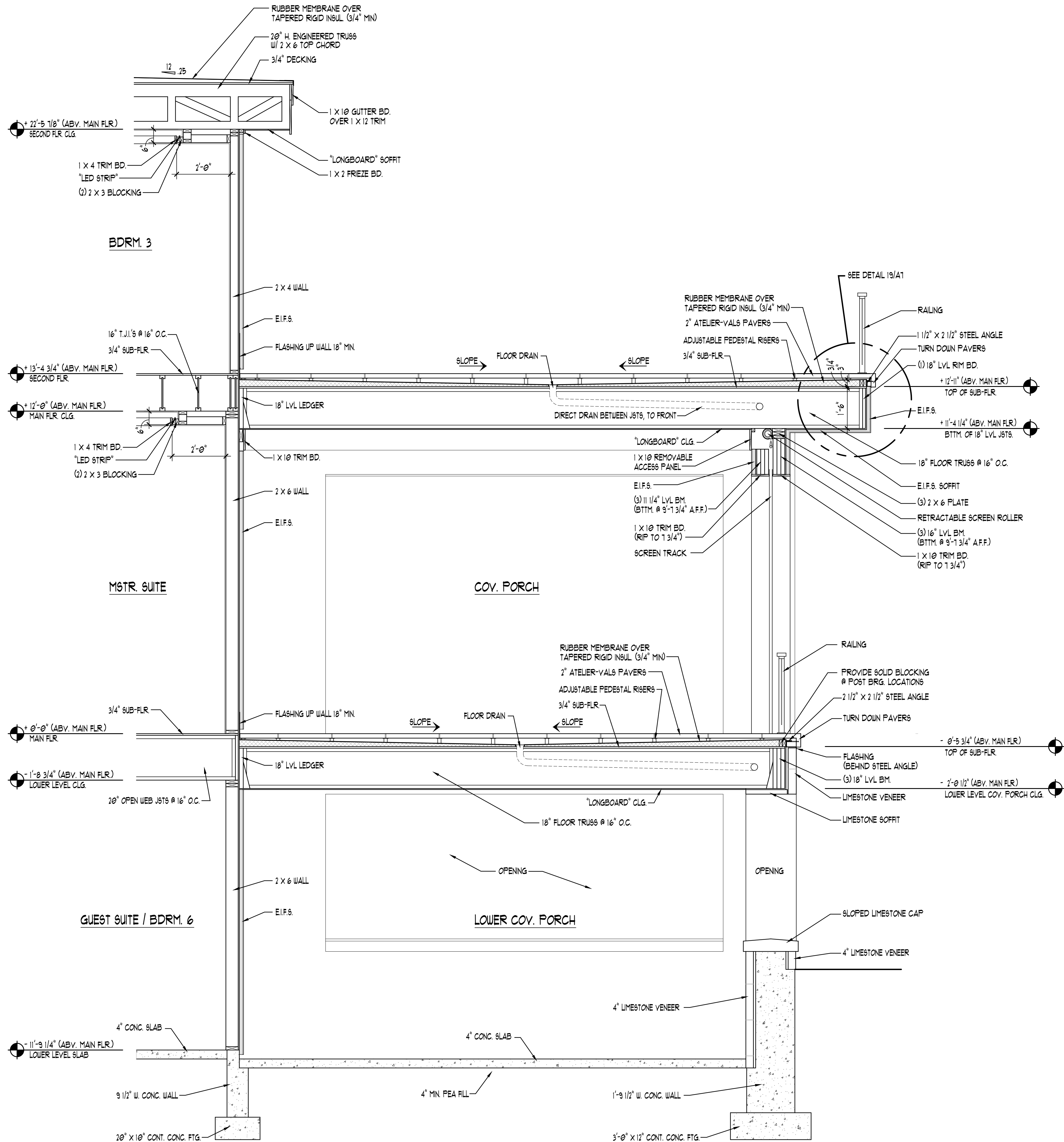
SHEET NUMBER

A7



BUILDING SECTION
1/2" = 1'-0"

25



BUILDING SECTION
1/2" = 1'-0"

26

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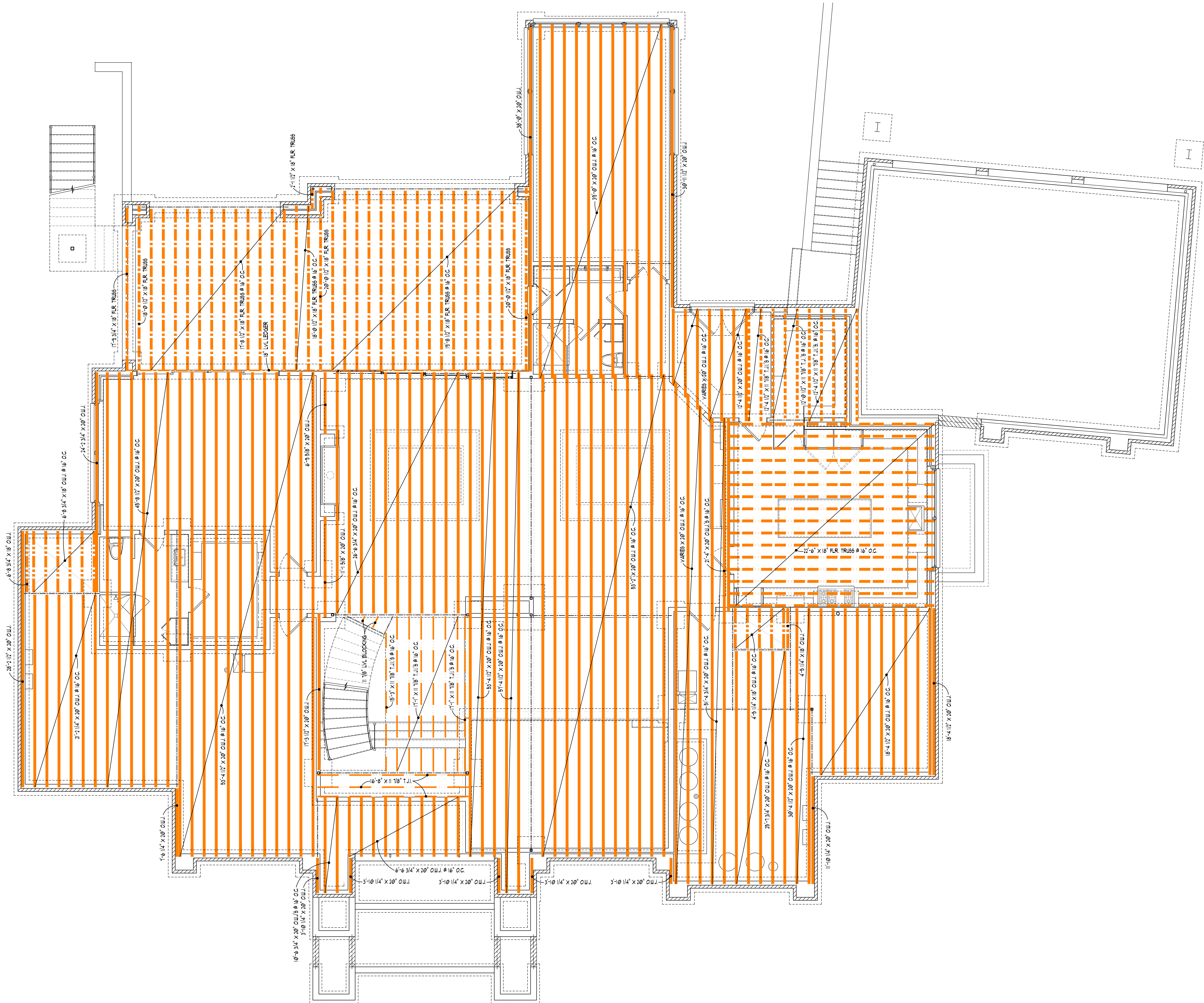
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SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

A8

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FRAMING PLAN NOTES

- BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETINGS AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
- BUILDING/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETINGS AND CONFORMING TO THE 2009 IECC AND 2012 INDIANA RESIDENTIAL ENERGY CODES AND CHOOSING THE METHOD AND MANNER OF DOING SO.
- LUMBER SIZE AND SPACING, AND ALL BEAM SIZES (IF LABELED) ARE FOR DESIGN INTENT ONLY. ALL CONSTRUCTION MEMBER SIZING, SPACING AND CONNECTIONS SHALL BE DETERMINED BY A QUALIFIED ENGINEER AND SHALL BE THE BUILDER'S RESPONSIBILITY.
- JOIST LAYOUT ALLOWS FOR 1/2" SHEATH AT ALL EXTERIOR EDGES AND 1 1/4" LVL RIM JOIST AT EXTERIOR EDGES PERPENDICULAR TO JOIST DIRECTION.

JOIST LEGEND	
	20' OUL'S @ 16" O.C. (BOTH @ 10'-0" 1/2" ABV. LOWER LEVEL, FLR.)
	18' OUL'S @ 16" O.C. (BOTH @ 10'-0" 1/2" ABV. LOWER LEVEL, FLR.)
	11 1/8" LVL'S @ 16" O.C. (BOTH @ 8'-0" 1/2" ABV. LOWER LEVEL, FLR.)
	11 1/8" LVL'S @ 16" O.C. (BOTH @ 10'-0" 1/2" ABV. LOWER LEVEL, FLR.)
	18' FLR. TRUSS @ 16" O.C. (BOTH @ 9'-0" 1/2" ABV. LOWER LEVEL, FLR.)
	18' FLR. TRUSS @ 16" O.C. (BOTH @ 9'-0" 1/2" ABV. LOWER LEVEL, FLR.)

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SINGH RESIDENCE

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CARMEL, IN 46032
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steve@goldbergdsgroup.com
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AWARD WINNING HOME DESIGNS

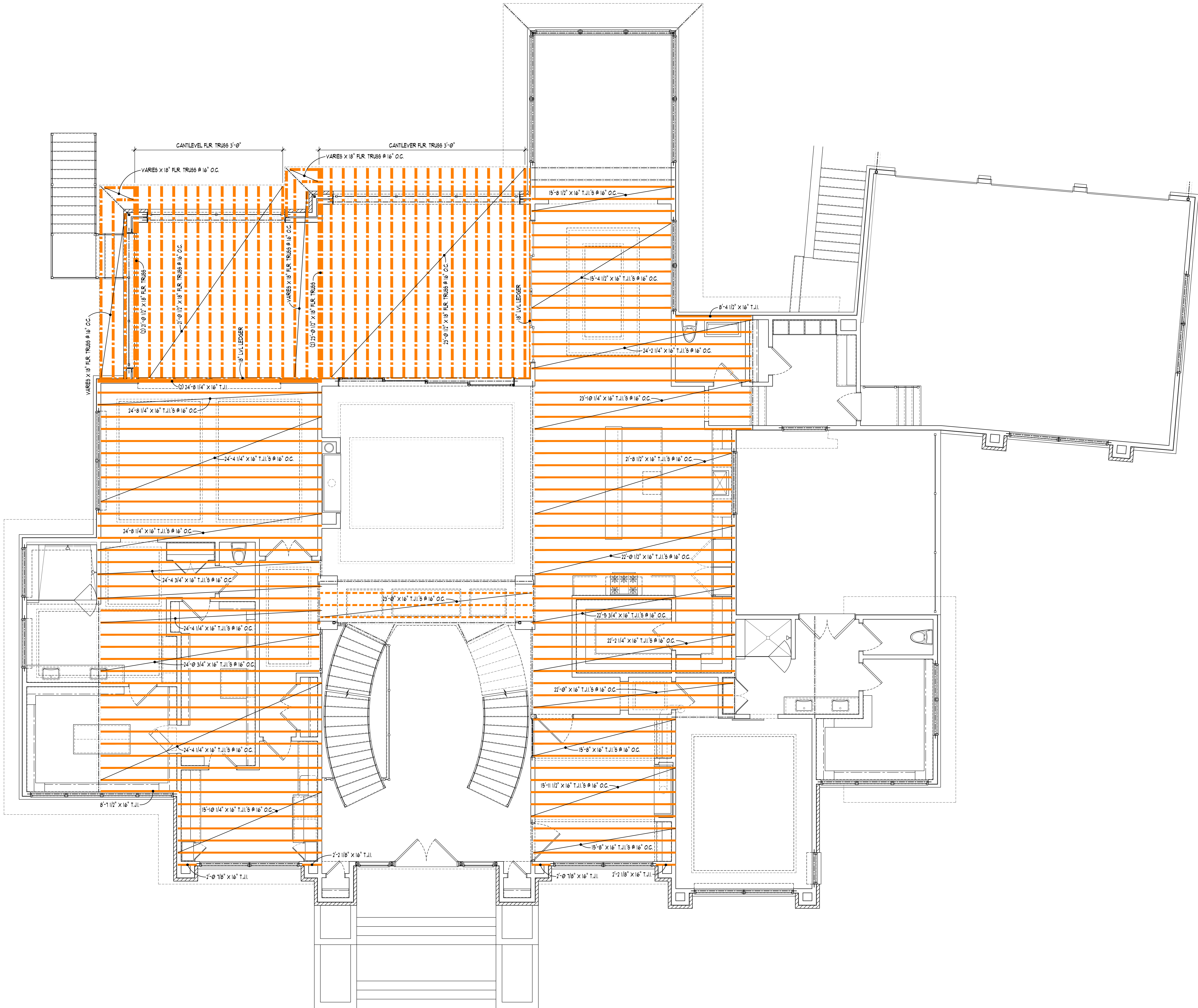
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02-19-24

SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER



MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"



FRAMING PLAN NOTES

- BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETINGS AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
- BUILDING/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETINGS AND CONFORMING TO THE 2009 IBC AND 2012 INDIANA RESIDENTIAL ENERGY CODES AND CHOOSING THE METHOD AND MANNER OF DOING SO.
- LUMBER SIZE AND SPACING, AND ALL BEAM SIZES (IF LABELED) ARE FOR DESIGN INTENT ONLY. ALL CONSTRUCTION MEMBER SIZING, SPACING AND CONNECTIONS SHALL BE DETERMINED BY A QUALIFIED ENGINEER AND SHALL BE THE BUILDER'S RESPONSIBILITY.
- JOIST LAYOUT ALLOWS FOR 1/2" SHEATH AT ALL EXTERIOR EDGES AND 1 1/4" LVL RIM JOIST AT EXTERIOR EDGES PERPENDICULAR TO JOIST DIRECTION.

JOIST LEGEND	
	20' O.W.J.S @ 16" O.C. (BTH @ 10'-0" / 12' ABV. LOWER LEVEL FLR.)
	18' O.W.J.S @ 16" O.C. (BTH @ 10'-0" / 12' ABV. LOWER LEVEL FLR.)
	11/16" LVL @ 15 @ 16" O.C. (BTH @ 8'-0" / 10' ABV. LOWER LEVEL FLR.)
	18' FLR TRUSS @ 16" O.C. (BTH @ 8'-0" / 10' ABV. LOWER LEVEL FLR.)

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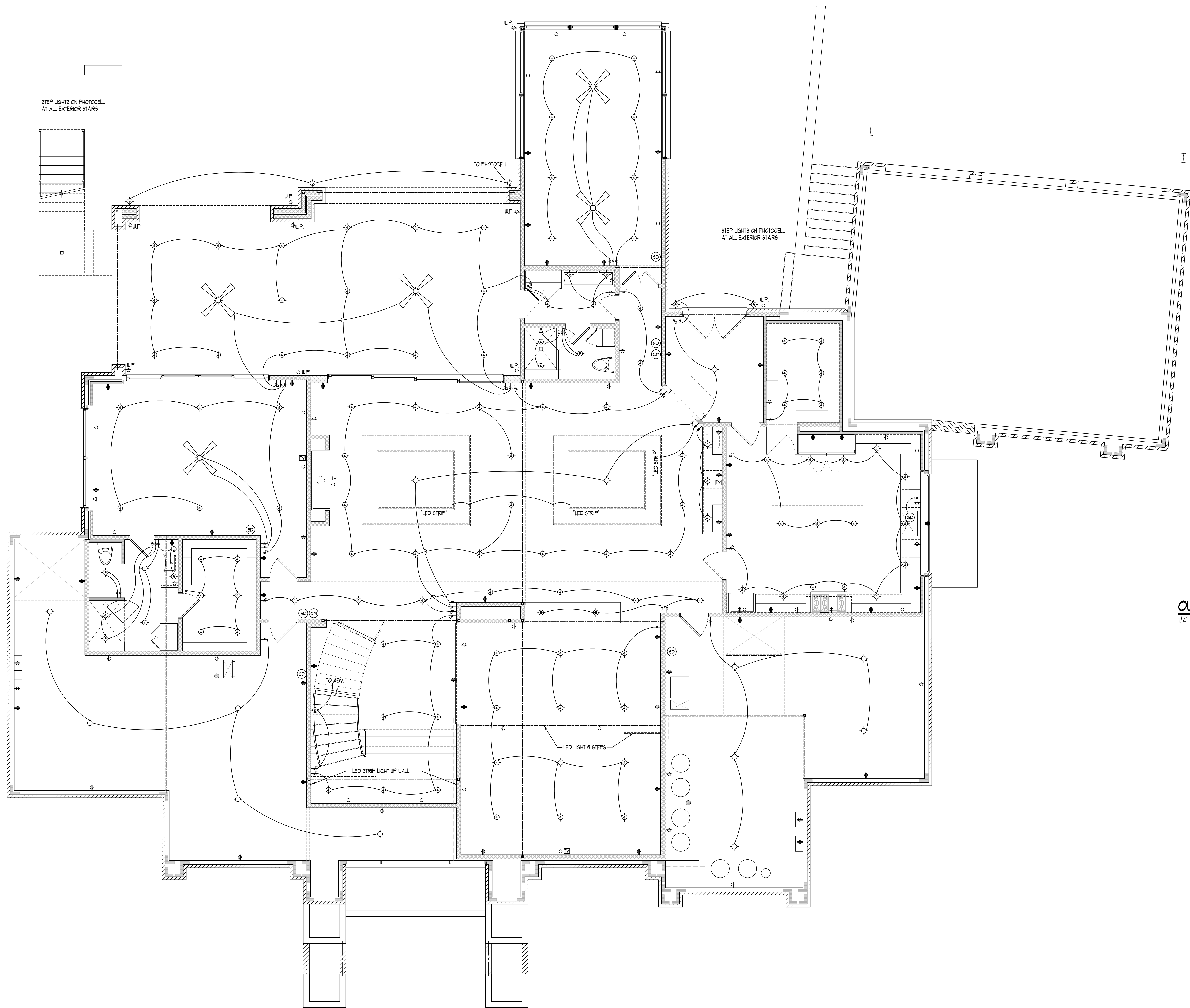
SHEET NUMBER

F2

SECOND FLOOR FRAMING PLAN

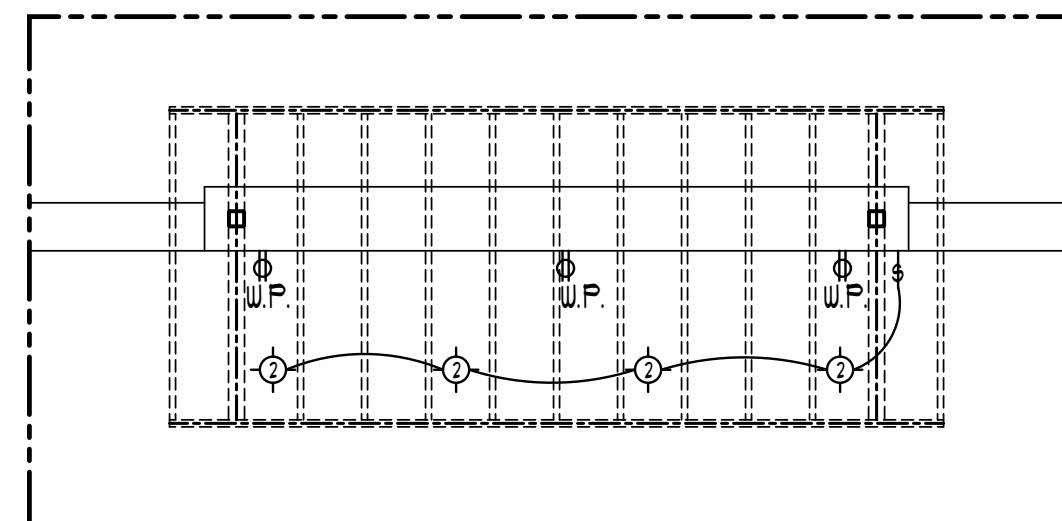
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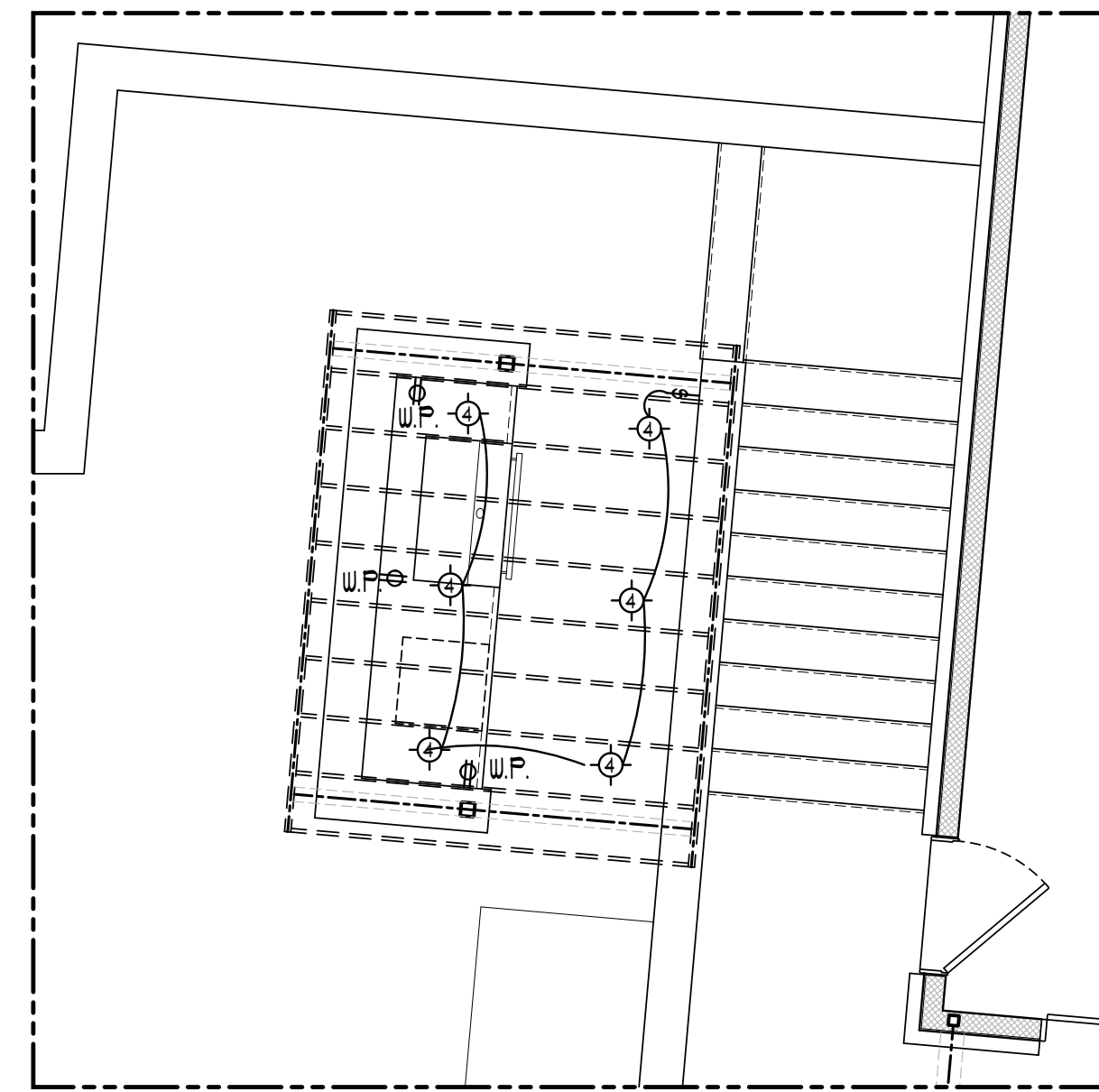


ELECTRICAL SYMBOLS	
	6\"/>
	4\"/>
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	4\"/>
	WALL SCONCE
	SURFACE MOUNT LIGHT
	PENDANT LIGHT
	110 VOLT DUPLEX OUTLET
	220 VOLT OUTLET
	110 VOLT DUPLEX OUTLET (FLOOR MOUNT)
	TELEPHONE / CAT-6
	CABLE TELEVISION
	EXHAUST FAN
	EXHAUST FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL
	SMOKE DETECTOR
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	MOTION ACTIVATED SWITCH
	THERMOSTAT
	LANDSCAPE TRANSFORMER
	FLOOD LIGHT
	CEILING FAN & LIGHT

NOTE: THIS PLAN IS A GENERAL SCHEMATIC.
ACTUAL INSTALLATION MAY VARY.



OUTDOOR SCREEN WALL ELECTRICAL PLAN
1/4" = 1'-0"



OUTDOOR KITCHEN ELECTRICAL PLAN
1/4" = 1'-0"

LOWER LEVEL ELECTRICAL PLAN
1/4" = 1'-0"

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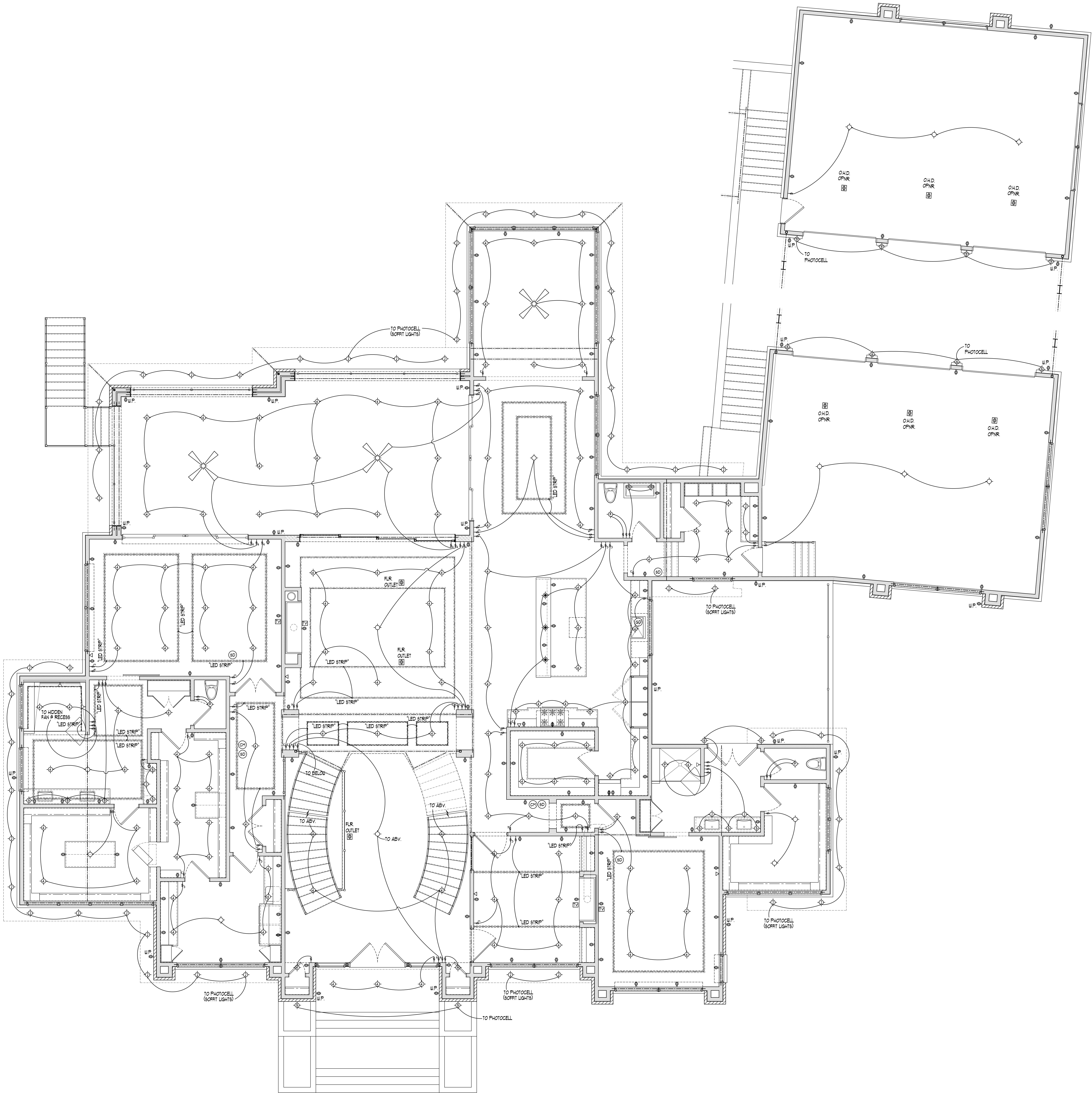
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steve@golbergdsgroup.com
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DATE: 09-19-23
02-19-24

SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

E1



ELECTRICAL SYMBOLS	
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	WALL SCONCE
	SURFACE MOUNT LIGHT
	PENDANT LIGHT
	110 VOLT DUPLEX OUTLET
	220 VOLT OUTLET
	110 VOLT DUPLEX OUTLET (FLOOR MOUNT)
	TELEPHONE / CAT-6
	CABLE TELEVISION
	EXHAUST FAN
	EXHAUST FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL
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DATE: 09-19-23
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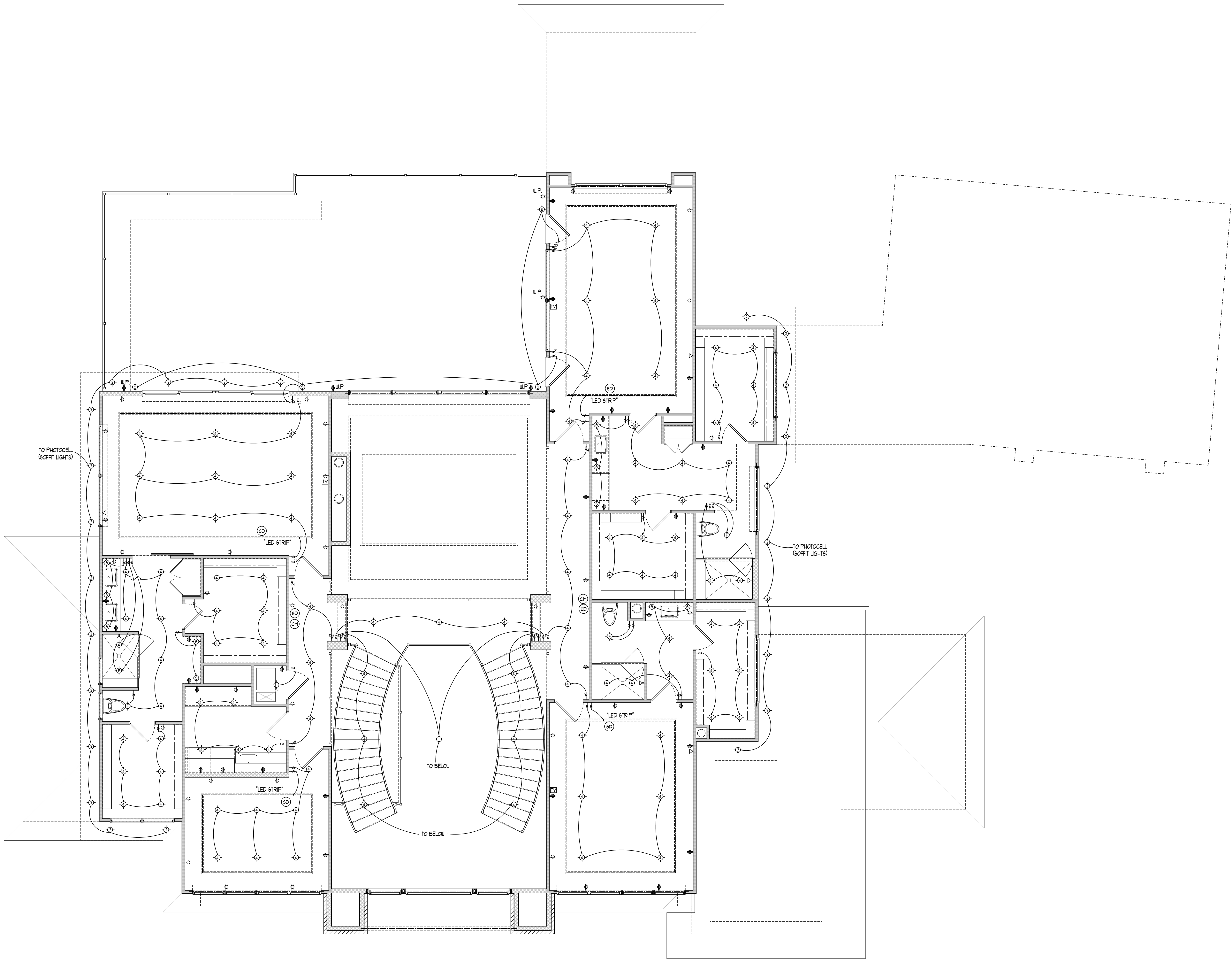
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E2

MAIN FLOOR ELECTRICAL PLAN
1/4" = 1'-0"

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ELECTRICAL SYMBOLS	
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	WALL SCONCE
	SURFACE MOUNT LIGHT
	PENDANT LIGHT
	110 VOLT DUPLEX OUTLET
	220 VOLT OUTLET
	110 VOLT DUPLEX OUTLET (FLOOR MOUNT)
	TELEPHONE / CAT-6
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02-19-24

SAVE NAME: SINGH S&J CONN AVE

SHEET NUMBER

E3

RULES AND PROCEDURES
OF THE
FISHERS BOARD OF ZONING APPEALS-
FALL CREEK TOWNSHIP DIVISION
August 22, 2024

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ARTICLE I

GENERAL GOVERNING RULES

1. The City of Fishers Board of Zoning Appeals – Fall Creek Township Division - (hereinafter referred to as the Board) shall be governed by Indiana's Planning and Zoning Statutes, Ind. Code §36-7-4 et seq., as amended, the Unified Development Ordinance of the City of Fishers, as amended, and the Rules of Procedures set forth herein, as adopted and amended by the Board.
2. Any member of the Board who has a conflict of interest in a matter before the Board shall not vote thereon as defined under Article III.
3. Nothing herein shall be construed to give or grant to the Board the power of authority to alter or change the UDO, including all official zoning maps; this authority is reserved to the Common Council of the City of Fishers.
4. The Fishers Board of Zoning Appeals Attorney shall be consulted in cases where the powers of the Board are not clearly defined.
5. The office of the Board shall be located in the office of the City of Fishers, Planning & Zoning Department, One Municipal Drive, Fishers, Indiana, 46038-1574.

ARTICLE II

OFFICERS, MEMBERS AND DUTIES

1. The Board shall elect a Chair and Vice Chair (who shall be acting in the absence of the Chair) annually at its first meeting of each year.
2. In the case of death or resignation of the Chair, the Vice Chair shall succeed to the Chair and a new Vice Chair shall be selected from the membership.
3. A temporary Chair shall be elected in case both Chair and Vice Chair are absent.
4. The Chair (or in his/her absence the Vice Chair) shall preside at all meetings and hearings of the Board and decide all points of order and procedure. The Board may provide for an oath to be administered to all witnesses in cases before the Board.
5. The Department of Planning and Zoning of the City of Fishers shall serve as the office of the Board. The Secretary of the Board shall be appointed at the beginning of each calendar year. The Secretary shall conduct all correspondence of the Board. A Recording Secretary shall also be appointed at the beginning of each calendar year. The Recording Secretary shall be responsible to keep minutes recording attendance, the vote of each member upon each question, or, if absent or failing to vote, indicating such fact; and records of examinations and hearing and other official actions; and shall carry other official duties as may be assigned by the Board. Records and minutes of all such procedures shall be filed in the office of the Board.
6. The Board shall consist of five (5) members, appointed in accordance with the statutes governing such appointments.
7. The jurisdiction of the Board shall be the territory within the corporate boundaries of the City of Fishers as from time to time extended by annexation. The Board shall also exercise jurisdiction two (2) miles outside of its corporate boundaries pursuant to IC 36- 7-4-205 or under an interlocal agreement with another municipality pursuant to IC 36-7- 4-1208. The City of Fishers Board of Zoning Appeals, Fall Creek Township Division, exercises sole jurisdiction in the unincorporated area of Fall Creek Township pursuant to IC 36-7-4-903(b).
8. Major responsibilities of the Board are:
 - a. To render a decision on variances of development standards.
 - b. To render a decision on a variances of use.
 - c. To render a decision on a special exceptions.

- d. To render a decision on appeals of an Administrative Determination of the City of Fishers, Department of Planning & Zoning on matters arising from the exercise of Powers within its jurisdiction.

ARTICLE III

MEETINGS

1. The regular meeting of the Board shall be held monthly at a standard meeting date established at a regular meeting. The Board will designate the standard meeting dates and times from January to the following January. From time to time these regular meeting dates may be modified. Such modifications shall be determined with as much advanced notice as reasonably practical. Meetings will be held at 6:00 p.m., in the Fishers Municipal Center, or at such other place as will accommodate the public unless there is no cause for holding such meeting. If there is to be no regular meeting, the Secretary shall make every effort to inform the members of the Board at least 48 hours in advance.
2. Special meetings may be called by the Chair, by written request of two (2) members, or as determined at a regular meeting provided at least 48 hours' notice of such meeting is given to each member. Only matters included in the call for special meeting shall be considered except by unanimous approval of all members of the Board.
3. A quorum shall consist of a majority of the appointed members of the Board. No action shall be taken by less than a quorum of the Board. Such public hearings shall be continued until a quorum is present.
4. Each case to be publicly heard before the Board shall be filed in proper form by the required date set by the Planning & Zoning Department and shall be numbered serially and placed on the agenda of the Board by the Secretary. The case numbers shall begin anew on January 1 of each year. As soon as the case receives a number, it shall be placed on the agenda of the Board and a date set for a hearing by the Secretary. Cases shall come before the Board in the regular order of their consecutive numbers unless otherwise directed by the Board.
5. Conflict of Interest. No member of the Board shall be qualified to hear or vote upon a petition or appeal in which they are directly or indirectly interested in a personal or financial way. Further, no member of the Board shall hear or vote upon a petition or appeal in which they are biased or prejudiced or otherwise unable to be impartial. Board members are required to fully disclose any conflict of interest as defined herein on any matter appearing on the Board's agenda during its public meeting. The Secretary of the Board shall note in the minutes that a member has been disqualified for a conflict of interest. When a member is recused in a particular matter due to a conflict of interest, they may exit the room for that item of business.

6. Conduct of Meetings. All meetings shall be open to the public. The Chair or, in his/her absence, the Vice Chair may administer oaths or compel the attendance of witnesses. The order of business at meetings shall be as follows:
 - a. Call to order/Pledge of Allegiance
 - b. Swearing in of new member(s) (when appropriate)
 - c. Roll Call
 - d. Election of Officers (when appropriate)
 - e. Appointments (when appropriate)
 - f. Approval of Previous Minutes
 - g. Public Hearings
 - h. Old Business
 - i. New Business
 - j. Staff Communications
 - k. Board Signatures - Findings of Fact
 - l. Adjournment
7. Adjourned Meetings. The Board may adjourn a regular meeting if all business cannot be disposed of on the day set, and no further public notice shall be necessary for such a meeting if the time and place of its resumption is stated at the time of adjournment and is not changed after adjournment.
8. **Continuances** may be granted at the discretion of the Board in any case for good cause shown, as follows:
 - a. New cases appearing for the first time on the agenda--continuances may be granted upon request.
 - b. Continued cases. All cases which have previously appeared on the agenda of the Board constitute continued cases. A request for the further continuance of a case may be granted by the Board for any of the following reasons:
 - i. At the request of a Petitioner because they will be unable to proceed with their evidence at this hearing to allow time to answer questions or modify the petition.
 - ii. At request of staff to allow time for research or modification to the Petition.

9. **Failure of petitioner to appear:**

- a. The Chair may entertain a motion from the Board to dismiss the case for failure of the petitioner to appear. In the absence of a motion by the Board, the Petition shall be continued to the next regular meeting.
- b. In cases which are dismissed for failure of the Petitioner to appear, the Petitioner will be furnished written notice by the Secretary of the Board.
- c. The Petitioner shall have 30 days from the date of the notice of dismissal to apply for reinstatement of the case. In such cases, the Petitioner must file a written request with the Secretary for reinstatement. Reinstatement shall be at the discretion of the Chair for good cause shown, and upon payment of the appropriate fee by the Petitioner.
- d. In all cases reinstated in the above-described manner, the case will be docketed and readvertised in the usual manner prescribed for new cases.

10. No matter requiring a vote will be placed upon the regular meeting agenda unless received by the Secretary or designee by the deadline set by the Planning & Zoning Department. Items may be added to the agenda at any regular meeting if agreed to through a majority vote of the Board.

11. The Board shall continue any case(s) that are not called onto the floor by 10:30 pm.. Such cases shall be continued to either the next regular meeting or to a special meeting. The Board shall adjourn the meeting no later than 11:30 pm. This rule can be suspended by simple majority vote.

12. **Electronic Participation Policy:**

- a. The provisions of P.L. 88-2021 (HEA 1437) (the "Act"), including definitions, are hereby incorporated into this Policy, per IC 5-14-1.5-3.5.
- b. Subject to the following sections, any member may participate in a meeting by any electronic means of communication that: (i) allows all participating members of the governing body to simultaneously communicate with each other; and (ii) allows the public to simultaneously attend and observe the meeting.
- c. A member who participates by an electronic means of communication: (i) shall be considered present for purposes of establishing a quorum; and may participate in final action only if the member can be seen and heard.
- d. All votes taken during a meeting at which at least one (1) member participates by an electronic means of communication must be taken by roll call vote.

- e. A member who participates by an electronic means of communication shall strive to notify the Secretary at least 48 hours in advance of the meeting, unless emergency circumstances dictate otherwise.
- f. Restrictions:
 - i. At least fifty percent (50%) of the members must be physically present at a meeting at which a member will participate by means of electronic communication. Not more than fifty percent (50%) of the members may participate by an electronic means of communication at that same meeting.
 - ii. A member may not attend more than a fifty percent (50%) of the meetings in a calendar year by an electronic means of communication, unless the member's electronic participation is due to:
 - 1. military service;
 - 2. illness or other medical condition;
 - 3. death of a relative; or
 - 4. an emergency involving actual or threatened injury to persons or property.
 - iii. A member may attend two (2) consecutive meetings (a "Set") by electronic communication. A member must attend in person at least one (1) meeting between a Set that the member attends by electronic communication, unless the member's absence is due to:
 - 1. military service;
 - 2. illness or other medical condition;
 - 3. death of a relative; or
 - 4. an emergency involving actual or threatened injury to persons or property.
- g. Minutes/Memoranda: The minutes or memoranda of a meeting at which any member participates by electronic means of communication must:
 - i. Identify each member who:
 - 1. was physically present at the meeting;
 - 2. participated in the meeting by electronic means of communication; and
 - 3. was absent; and
 - ii. identify the electronic means of communication by which:
 - 1. members participated in the meeting; and

2. members of the public attended and observed the meeting.

h. Declaration of Emergency: If an emergency is declared by (i) the governor under Ind. Code§ 10-14-3-12; or (ii) the mayor under Ind. Code §10-14-3-29; members are not required to be physically present for a meeting until the emergency is terminated. Members may participate in a meeting by any means of communication provided that:

- i. At least a quorum of the members participate in the meeting by means of electronic communication or in person.
- ii. The public may simultaneously attend and observe the meeting.
- iii. The minutes or memoranda of the meeting must comply with the above section.
- iv. All votes taken during a meeting at which at least one member participates by an electronic means of communication must be taken by roll call vote.

ARTICLE IV

VACANCIES

The Chair shall inform the appropriate appointing official as promptly as possible when a member fails to attend three consecutive meetings or three of any seven meetings for the purpose of considering the replacement of said member so that the appointing official may appoint a replacement to fill out the unexpired term. Other vacancies occurring in office shall also be reported to the appropriate official for similar action.

ARTICLE V

NOTICE OF HEARINGS

A Public Hearing is required for all variances of development standards, variances of use, special exceptions, ordinance interpretations, and appeals of administrative determination by the Planning & Zoning Department.

1. Timing: When a Public Hearing is required, public notice though newspaper and/or mailed notices shall be given not less than ten (10) calendar days (not counting the day of the hearing) prior to said Public Hearing, or as otherwise specified by State law. The meeting agenda shall be published at least 48 hours before the meeting, or as otherwise required by State code.
2. Mailed Notice: Names and addresses of the adjacent property owners must be obtained by the Planning & Zoning Department from the Hamilton County Real Property Department and/or City of Fishers Geographic Information System (GIS) Department. This list should be obtained not more than ninety (90) days prior to the date of the hearing. The adjoiner list must be requested for the entire parcel if no deed has been recorded for smaller parcels. The Planning & Zoning Department must mail notice to every entity on the adjoiner list through certified mail or a certificate of mailing.
3. Newspaper Notice: Notice by publication shall be made by the Planning & Zoning Department in accordance with Ind. Code §5-3-1, as amended. Newspapers recognized for publishing notice are The Current in Fishers, The Current in Lawrence/Geist, and the Hamilton County Recorder.
4. Proof: Proof of newspaper publication and public notice mailing must be obtained by the Planning & Zoning Department at least two (2) business days before the scheduled hearing.
5. Re-notice: If, for any reason, the petition is not heard within seventy (70) days of the date of the published hearing date, a new or updated list of adjacent property owners from the Hamilton County Real Property Department and/or City of Fishers Geographic Information System (GIS) Department must be obtained, and a revised notice stating the new public hearing date shall be sent at least ten (10) calendar days (not counting the day of the hearing) before the hearing to any new or revised adjacent property owners.
6. All means of notice shall include:
 - a. The case number assigned;
 - b. The time, place, and date of the hearing;

- c. A description of the petition, and requested action;
 - d. A description of the subject property location or address;
 - e. A statement that the full legal description is on file with the Department of Planning and Zoning, City of Fishers, One Municipal Drive, Fishers, IN 46038, (317) 595-3155;
 - f. A brief description of the general procedure concerning submission of public comments; and,
 - g. The name of the Petitioner.
7. On-Site Notice: The Department of Planning and Zoning shall place a notice sign on the affected property, where applicable. Notices shall be large enough to be legible from the road and shall be placed in a conspicuous place on the property.
8. Exception. The notice requirements herein shall be applicable to all petitions except those initiated by the City. In this case, the City shall determine the notice requirements, if any.

ARTICLE VI

HEARING AND REHEARING

1. Variance Applications shall be heard within 60 days from the filing of the completed application with the Secretary unless it is withdrawn. If amended, it shall be heard within 60 days from filing of completed application. Cases will be heard in the order of their assigned case number; amended cases will have priority according to date of amendment.
2. At the public hearing, the Petitioner or any other party may appear on his/her own behalf or be represented by agent or by legal counsel. In the event that remonstrators retain counsel to represent them at a hearing before the Board, then such counsel shall state that they has so been retained and is present to object.
3. Order of the Hearing shall be:
 - a. The petitioner or their representative may make a statement outlining the nature of the request and introduce such evidence as they may wish.
 - b. The floor shall be open for public hearing. Persons wishing to address the Board shall state their name and address and make such remarks as they wish, pertinent to the subject matter of the application.
 - c. The Petitioner may reserve time for rebuttal at the conclusion of the public hearing as they carry the burden of proof.
 - d. The Chair shall formally close the public hearing and permit the members of the Board to direct questions to the Petitioner or any other persons.
 - e. The Chair shall ask for any staff comments, concerns or recommendations.
 - f. The Chair shall call for a motion and, upon motion duly made and seconded following discussion by members of the Board only, the matter shall be concluded by recorded vote on the motion.

Witnesses may be called and factual evidence and exhibits submitted by either Petitioner, remonstrator, or those in favor of the petition.

The Chair may establish appropriate time limits for arguments, but such time limits shall be equal for both sides. The Chair may request representatives of each side to speak for the entire group or portions of the group but shall not require such representation against the wishes of the group involved. General guidelines are as follows:

Presentation by Petitioner	15 minutes
Public Hearing	
Individuals	2 minutes
Spokesperson	5 minutes
Petitioner Rebuttal	5 minutes
Staff	As needed for complete response

The Board may, at the discretion of the Chair, extend any or all time limits.

4. The Board shall not be bound by strict rules of evidence and may exclude irrelevant, immaterial, incompetent, or repetitious testimony.
5. A Petitioner or remonstrator, or the agent or attorney of either, may submit a list of persons favoring or opposing the petition. Such list will be accepted as an exhibit if it contains nothing more than a brief statement of the position of the persons favoring or opposing the petition together with the signatures and addresses of the persons subscribing to such statement.
6. The Chair may rule on all questions relating to the admissibility of evidence, which may be overruled by the majority of the Board.
7. The Petitioners and remonstrators must present all evidence they possess concerning the case at the public hearing. No further oral testimony will be accepted after the public hearing is closed. Only a written response by Petitioners or remonstrators to the staff report, prepared solely for the case under consideration, will be accepted by the Secretary after the close of the public hearing. Statements will be accepted no later than the day on which the Board's decision is made on the specific case in question.
8. Roberts Rules of Order shall apply in the absence of specific procedures established herein.
9. Application for rehearing may be in the same manner as the original application. Application for rehearing may be denied by the Board if from the record it shall appear that there has been no substantial change in facts, evidence, or conditions. However, any matter not previously reviewed may be heard again on motion adopted by unanimous vote of all members at a meeting at which a quorum is present.

ARTICLE VII

DECISIONS

1. The Board shall conduct its vote in public session.
2. All decisions of the Board shall be made at a public meeting by a motion made, seconded, and determined by a roll call vote by the Secretary. Exception: approval of minutes, adjournment, and other procedural items may be made by a voice vote.
3. The motion shall include explicitly, or by reference, any findings-of-fact of the Board. If conditions are imposed in the recommendation, such conditions shall be implicitly included in the motion.
4. Any motion deciding in favor of the Petitioner on any petition, shall require the concurring vote of the majority of the members on the Board. The motion shall include the reasons for the determination made, and if in favor of the Petitioner, shall set forth any conditions and/or safeguards required, and any time limitations prescribed.
5. When a vote of the Board does not result in an official action of the Board, the petition shall be automatically continued and heard at the next regularly scheduled meeting.

A case may not be withdrawn by the Petitioner after the vote has been ordered by the Chair. No case which has been withdrawn by the Petitioner shall again be placed on the agenda for consideration by the Board within a period of three months from the date of said withdrawal, except upon the motion of a member, and adopted by the majority vote of all members in attendance at a regular or special meeting.

ARTICLE VIII

RECORDS

1. A file of materials and decision relating to each case, including notation concerning the decision, shall be kept in the office of the Board.
2. All records of the Board are to be considered public documents.

ARTICLE IX

AMENDMENT OF RULES

- 1. Amendments to these rules of procedure may be made by the Board following the circulation of said amendment to the total membership prior to a regular meeting. The amendment may then be adopted upon an affirmative vote of a simple majority of the membership of the Board.
- 2. The proposed amendment must be presented in writing at a regular or special meeting preceding the meeting at which the vote is taken.
- 3. These rules may be suspended for due cause upon the affirmative vote of all members present.

ADOPTION OF RULES AND PROCEDURES

These rules of procedure were adopted by the City of Fishers Board of Zoning Appeals – Fall Creek Township - September 26, 2024.

Chairperson

Vice-Chairperson

Member

Member

Member

Secretary